



PLANNING & ZONING COMMISSION

Regular Meeting Agenda
CITY OF PARKVILLE, MISSOURI
Tuesday, June 10, 2025 5:30 PM
City Hall Board Room

1. Call to Order

2. Roll Call

3. General Business

- A. Approval of the June 10, 2025, regular meeting agenda.
- B. Approve the minutes for the May 13, 2025, regular meeting
- C. Election of Officers
 - 1. Chairperson
 - 2. Vice Chairperson
 - 3. Secretary

4. Unfinished Business

5. Public Hearing

- A. Application for Zoning Map Amendment for Creekside Irish Golf, a planned recreation development on 15.98 acres, more or less. (Case No. PZ2025-14); *Parkville Development 38, LLC, Applicant.*
- B. Application for Preliminary Development Plan for Creekside Irish Golf, a planned recreation development on 15.98 acres, more or less. (Case No. PZ2025-15); *Parkville Development 38, LLC, Applicant.*

6. Regular Business

- A. Application for Subdivision - Preliminary Plat for Hills at The National, a residential development consisting of 52 lots for single-family homes and 12 tracts of open space on 49.22 acres (more or less). (Case No. PZ2025-11); *The Hills at The National, LLC, Applicant.*
- B. Application for Subdivision - Final Plat for Hills at The National, a residential development consisting of 52 lots for single-family homes and 12 tracts of open space on 49.22 acres (more or less). (Case No. PZ2025-12); *The Hills at The National, LLC, Applicant.*

7. Other Business

- A. Upcoming meetings & dates of importance:
 - Board of Aldermen Meetings: Tuesday, June 17 and July 1 at 6:00 p.m.

- Board of Zoning Adjustments Meeting: Awaiting Application
- Planning & Zoning Commission Regular Meeting: Tuesday, July 8 at 5:30 p.m.

8. Adjournment

**Minutes of the
Planning & Zoning Commission Regular Meeting
City of Parkville, Missouri
Tuesday, May 13, 2025 5:30 PM
City Hall Board Room
City Hall Board Room**

1. Call to Order

Chair Wright called the meeting to order at 05:32 PM.

2. Roll Call

Commissioners Present:

Michael Wright
R. Douglas Krtek
Walt Lane
Spencer Keesee
Andrew Barchers (arrived during Item 5.A.)
Timothy Cahill

Absent:

Barbara Wassmer
Gareld Butler
Jackson Kutey

A quorum of the Commission was present.

Staff Present:

Stephen Lachky, Community Development Director
Brad Stanton, Planner
John Mautino, City Attorney
Dan Harper, Public Works Director

3. General Business

A. Approval of the May 13, 2025, regular meeting agenda.

ACTION: R. Douglas Krtek moved to approve, Spencer Keesee seconded. Motion Passed: 5-0.

AYES: Michael Wright, R. Douglas Krtek, Walt Lane, Spencer Keesee, Timothy Cahill

NOES: None

ABSTAIN: None

B. Approve the minutes for the February 11, 2025, regular meeting

ACTION: Spencer Keesee moved to approve, Walt Lane seconded. Motion Passed: 5-0.

AYES: Michael Wright, R. Douglas Krtek, Walt Lane, Spencer Keesee, Timothy Cahill

NOES: None

ABSTAIN: None

4. Unfinished Business

5. Public Hearing

- A. Application for Zoning Map Amendment for five (5) parcels of land to City of Parkville "R-2" Single-Family Residential for The Hills at The National. (Case No. PZ2023-17B); *The Hills at The National, LLC, Applicant.*

STAFF ANALYSIS & SUMMARY

Brad Stanton, Planner, presented a request to rezone five parcels totaling approximately 39.4 acres, located between NW Crooked Road and The National clubhouse, from Platte County jurisdiction to the City's R-2 Single-Family Residential district upon their voluntary annexation into Parkville. Public notice requirements were satisfied through newspaper publication, certified-mail notifications to property owners within 185 feet, and an on-site sign. Staff explained that although the Parkville 2040 Master Plan's Future Land-Use Map designates the area as Parks & Recreation, that designation does not preclude single-family development; the parcels lie in Annexation Priority Area 3a and are surrounded predominantly by R-2 or equivalent low-density residential zoning, making the proposed district compatible and low-impact on municipal utilities and services. Details such as access, street layout, and setbacks will be addressed during future platting applications. Concluding that the proposal meets all eight criteria for a zoning map amendment, staff recommended approval, and both staff and the applicant stood ready to answer questions, with no objections raised during the hearing.

DEVELOPER'S PRESENTATION

Jake Hattock, Shlagle, Engineer for the Applicant.

Jacie Lieber, 7004 N Coventry Ave, applicant

Mr. Hattock stated the development is planned at about 1 unit per acre with 40% open space preserved. Mr. Hattock stated that they will hold a neighborhood meeting with neighbors for the road layout and plan. He stated that the surrounding properties are all R-2-P and they are matching as best as they can as R-2.

QUESTIONS & CLARIFICATIONS

Chair Wright inquired about the existing cemetery. Mr. Hattock responded it was located on the property that is already half annexed into the city. It is their plan to preserve the cemetery's current location. Commissioner Keesee inquired whether they would be "trying" to preserve the cemetery or fully preserving. Mr. Hattock responded they would be fully preserving the existing cemetery.

PUBLIC HEARING

No public comment.

BOARD DISCUSSION & ANALYSIS

Commissioner Barchers inquired of the applicant about their response to the letter by the neighbors. Mr. Hattock responded that they feel the concerns are valid and would like to address them with the forthcoming plat. Commissioner Keesee asked about the timetable for the developer. Mr. Hattock responded that they did not have that at this time, but would be clear once the neighborhood meeting is scheduled.

MOTION

ACTION: R. Douglas Krtek moved to recommend approval, Timothy Cahill seconded. Motion Failed: 3-3.

AYES: Michael Wright, R. Douglas Krtek, Timothy Cahill

NOES: Walt Lane, Spencer Keesee, Andrew Barchers

ABSTAIN: None

- B. Application for Text Amendment to Parkville Municipal Code, Title IV – Development Code, Section 405.040 Standards Applicable to Specific Uses, Subsection K., to create provisions for short-term residential dwelling rentals operating exclusively during the 2026 FIFA World Cup football tournament. (Case No. PZ2025-09); *City of Parkville, Applicant*.

STAFF ANALYSIS & SUMMARY

Stephen Lachky, Director of Community Development, provided an overview of the application. He stated that the 2026 FIFA World Cup will hold matches in Kansas City, MO. The City is proposing to relax the total number of short-term rentals and the number of dwelling units per property for the duration of the tournament. Mr. Lachky stated that other regional cities are considering similar relaxing of regulations.

QUESTIONS & CLARIFICATIONS

Commissioner Barchers asked about the ability for the City to enforce the regulations. Mr. Lachky responded he is not concerned about regulations during the event, moreso illegal continuation past the end of this proposal. Mr. Lachky stated that Code Enforcement enforces the regulations via violation and fines. Chair Wright asked whether the application was per unit or per property. Mr. Lachky responded one application per property and that he could add a line on the application for number of units on the property. Commissioner Lane asked why the timeline was 3 months. Mr. Lachky responded that it was to give people time before and after the games. Commissioner Keesee stated that large sporting events have a set up and tear down time. Mr. Lachky stated that this is a large, international special event and that's why this is unique. Commissioner Cahill stated that these teams will have followers and fans before and after the tournament. Mr. Lachky stated that VisitKC and MARC recommended an earlier day and staff has kept the dates simple as beginning of May to end of July. Commissioner Keesee has concerns about the activities that may be allowed by this action. Commissioner Krtek responded that the laws and regulations will still be enforced. Commissioner Krtek stated he was concerned that if we do not relax the regulations then we will have more issues than if we don't.

PUBLIC HEARING

Annette Hagen, 4727 N Cliff Hills Cir, stated that she has a four-plex that one unit is currently an Airbnb. She stated that Airbnb has rules against parties in the rental units.

MOTION

ACTION: Walt Lane moved to approve, Andrew Barchers seconded. Motion Passed: 6-0.

AYES: Michael Wright, R. Douglas Krtek, Walt Lane, Spencer Keesee, Andrew Barchers, Timothy Cahill
NOES: None
ABSTAIN: None

6. Regular Business

7. Other Business

Commissioner Lane had questions regarding Sanctuary Hill at the National. Mr. Lachky responded he would follow up. Commissioner Lane had concerns regarding sewer smell. Dan Harper, Director of Public Works, responded that the sewer was Platte County Regional Sewer in that area and he would put Commissioner Lane in contact with them. Chair Wright inquired about the status of the grocery store and event space at Creekside. Mr. Lachky responded that the developer is still hoping to have a grocery store but was waiting on financial situation.

A. Upcoming meetings & dates of importance:

- Board of Aldermen Meetings: Tuesday, May 20 and June 3, 2025 at 6:00 p.m.
- Board of Zoning Adjustments Meeting: Awaiting Application
- Planning & Zoning Commission Regular Meeting: Tuesday, June 10, 2025 at 5:30 p.m.

8. Adjournment

Chairman Wright called further discussion. Seeing none, he called for a motion to adjourn.

Submitted by:

Stephen Lachky, AICP
Community Development Director

Date

Brad Stanton
Planner

Date



Staff Analysis

<u>Agenda Item:</u>	5.A; 5.B
<u>Proposal:</u>	Application for Zoning Map Amendment and an Application for Preliminary Development Plan for Creekside Irish Golf, a planned recreation development on 15.98 acres, more or less, generally located to the west of Old Town at Creekside and to the east of Interstate 435 in Parkville, MO 64152.
<u>Staff Recommendation:</u>	Approval
<u>Case No:</u>	PZ 2025-14; PZ 2025-15
<u>Applicant and Owners:</u>	Brian Mertz, Parkville Development 38, LLC
<u>Location:</u>	Generally located to the west of Old Town at Creekside and to the east of Interstate 435
<u>Zoning:</u>	Existing: Platte County "PI" Planned Industrial Proposed: "B-2" General Business District
<u>Parcel #s:</u>	Platte County parcel # 20-4.0-19-000-000-009.000 (1.95 acres, more or less), # 20-4.0-19-000-000-008.000 (3.93 acres, more or less), and part of # 20-4.0-19-000-000-008.001 (15.36 acres, more or less)
<u>Exhibits:</u>	A. This Staff Analysis B. Application for Zoning Map Amendment (Case No. PZ 2025-14) C. Application for Preliminary Development Plan (Case No. PZ 2025-15) D. Subject Area Property Map E. Creekside Irish Golf – Preliminary Development Plans (prepared by Renaissance Infrastructure Consulting; dated May 9, 2025) F. Notice of Public Hearing placed on the subject property G. Additional exhibits as may be presented at the public hearing
<u>By Reference:</u>	A. Parkville Municipal Code, Title IV – Development Code in its entirety (https://www.ecode360.com/PA3395-DIV-05) 1. Section 403.030 Zoning Map Amendment 2. Section 403.040 Master Planned Development 3. Section 405.010 Zoning Districts Established 4. Section 405.020 Districts & Uses 5. Section 405.030 Standards Applicable to All Districts B. Parkville Master Plan (http://parkvillemo.gov/departments/community-development-department/master-plan/)

- C. Notice of Public Hearing mailed certified mail to owners within 185 ft. of the subject property
- D. Hearing notice published in The Platte County Citizen newspaper on May 28, 2025
- E. Hearing notice published on the Parkville City webpage (<http://parkvillemo.gov/government/public-hearings/>)

Comments

Received:

The Community Development Department has received no public comments as of the drafting of this staff report.

Overview

The applications propose rezoning and re-platting the subject property to accommodate Creekside Irish Golf, a planned recreation development. The applicant is proposing a *recreation – outdoor, limited* use of an “Irish” golf course, a shorter, 9-hole golf course utilizing only pitching wedges and putters. The applicant notes that this style of golf course is increasing in popularity in other parts of the United States as well as internationally. In addition to the golf course, the development proposes a bar area structure, a pedestrian bridge capable of accommodating emergency vehicles, and associated parking.

The applicant proposes rezoning the subject parcels, Platte County parcel #20-4.0-19-000-000-009.000 (1.95 acres, more or less), # 20-4.0-19-000-000-008.000 (3.93 acres, more or less), and part of # 20-4.0-19-000-000-008.001 (15.36 acres, more or less) from Platte County “PI” Planned Industrial to City of Parkville “B-2” General Business District in conjunction with the preliminary development plan for Creekside Irish Golf. Per the City of Parkville’s Development Code, a property maintaining a Platte County zoning designation must be rezoned to a City of Parkville zoning district prior to development. The subject property is currently platted but undeveloped.

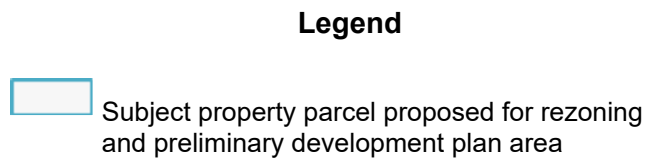
A 100’ stream buffer setback from the top of the bank of Brush Creek will be observed as required by § 407.050(C) of the Development Code. No structures will be located in this setback, only portions of the golf course as allowed. An irrigation pond is proposed as a course feature, for stormwater management, and to provide water for irrigation of the golf course turf.

This project is bounded by the Old Town at Creekside development to the east including Connections Bank and Char Bar, The Meadows at Creekside to the south, Interstate 435 to the west, and Highway 45 to the north.

A Landscaping Plan has been provided pursuant to the requirements of Section 407.020 Site and Landscape Design Standards of the Development Code. Landscape islands will need to be added to the proposed parking lot design such that no more than a maximum of 10 contiguous parking stalls is provided in any given row of parking. The proposed selection of landscaping material does not meet the native/native cultivar requirements and must be amended. A revised Landscaping Plan meeting the requirements of Section 407.020 of the Development Code shall be required prior to Final Plat approval.

A Lighting Plan meeting the requirements of Section 407.040 Outdoor Lighting of the Development Code shall be submitted prior to Final Plat approval.

These applications have been reviewed against the City of Parkville’s Development Code, including the applicable general requirements in Table 403-1, Section 403.010, Section 403.030, Section 403.040, and Section 403.050. Per these requirements, notice of the public hearing has been published in a newspaper in general circulation in the City, The Platte County Citizen newspaper on May 28, 2025; a sign announcing the time, place and nature of the public hearing was placed on the subject property within view from public right of way; and mailed notice via certified mail was provided to all property owners within 185 ft. of the subject properties.



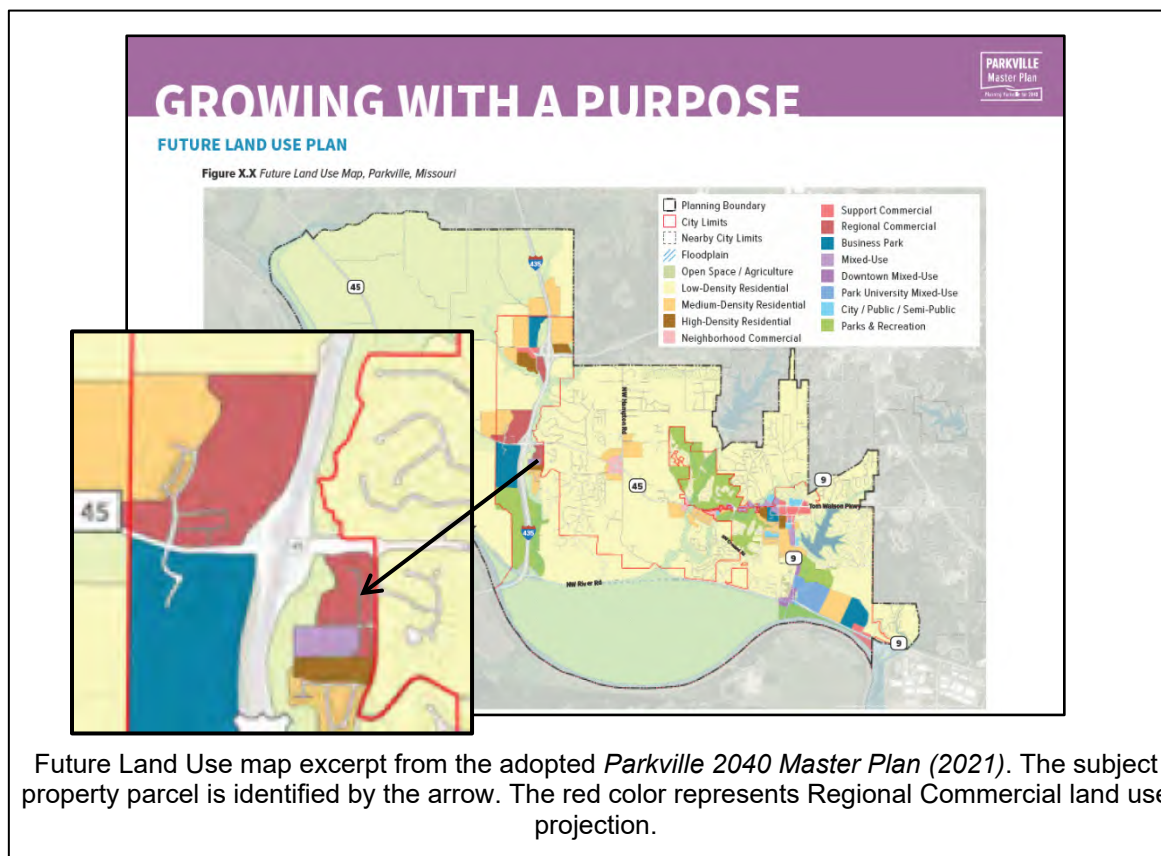
Review and Analysis

Zoning Map Amendment (Case No. PZ25-14)

The applications have been reviewed against the Parkville Municipal Code, including the applicable “B-2” zoning district regulations, the adopted *Parkville 2040 Master Plan (2021)* and its Future Land Use Map. Parkville Municipal Code, Section 403.030, Subsection B. provides review criteria for how the Planning and Zoning Commission shall determine if a zoning map amendment is appropriate. The following are staff’s findings and conclusions.

- 1. The application is consistent with the Master Plan and any official plan or program developed under the guidance of the Master Plan, and in particular the relationship of land uses within the proposed district and relationship with uses existing or anticipated in surrounding districts.**

The *Parkville 2040 Master Plan (2021)* projects Regional Commercial, Mixed-Use, and Open Space land use for the subject property. The Regional Commercial use is primarily comprised of large-scale, auto-oriented uses. The Mixed-Use land use projection is typically retail, office, and multi-family uses.



The *Parkville 2040 Master Plan* notes that “areas adjacent to the Interstate 435 intersections within Parkville’s city limits have been shown as a mixture of regional commercial, residential, and business park development to take advantage of these key areas.”

The proposed recreation – outdoor, limited land use is similar in character to the uses on the southeast corner of the intersection of I-435 and 45 Highway. Additionally,

entertainment/recreation uses are complementary to the existing retail and commercial uses in the surrounding area. The “B-2” General Business District was selected for rezoning as it matches the zoning of the Old Town at Creekside development immediately adjacent to the subject properties.

- 2. The character of the neighborhood, including the design of streets, civic spaces and other open spaces; the scale, pattern and design of buildings; the zoning of property and compatibility of potential future uses; and the operation and uses of land and buildings.**

The subject property lies across Brush Creek from the Old Town at Creekside development and adjacent to the Interstate 435 right-of-way. This property is not suitable for substantial development, however the proposed development takes the site context into account and provides a use that is complementary to the existing surrounding uses.

- 3. The application furthers the intent of the proposed zoning district and supports that of any abutting zoning districts, and in particular the building form, site design, and other development patterns and urban design aspects of the proposed project in furthering the intent.**

In conjunction with the proposed preliminary development plan (Case No. PZ 2025-15, the application for zoning map amendment furthers the intent of the B-2 General Business District. The B-2 General Business District provides a wide range of retail, service and employment uses that are not easily integrated with neighborhoods or are at a scale, intensity or in a format that requires a high level of vehicle accessibility and visibility. This district should be used generally for commercial and service uses that cannot be easily integrated or in close proximity to neighborhoods.

- 4. Compliance of any proposed development with the requirements of the development code, and the intent or design objectives associated with any specific standards.**

The application for zoning map amendment is proposed in conjunction with preliminary development plans (Case No. PZ 2025-15).

- 5. The ability of the City or other government agencies to provide any services, facilities or programs that might be required if the application were approved.**

The proposed rezoning does not appear to significantly impact the ability for the City or other governmental agencies to respond with public and emergency services; this includes police, fire and the ability to maintain the peace. Southern Platte Fire Protection District has been in discussions with the applicant throughout the development of the plans and emergency vehicle access to the golf course is planned across the proposed pedestrian bridge.

- 6. The effect of approval on the condition or value of property in the city or in the vicinity including the likelihood of surrounding areas to be developed in accordance with the Master Plan.**

The development of currently undeveloped property will increase the value of the property. Staff does not expect that this development will impact the likelihood of the surrounding area to be developed.

- 7. The consistency of the application with other adopted policies of the City, including any other relevant implications of the change beyond any specific proposed project.**

The application has been reviewed against the Parkville Municipal Code, including the applicable “B-2” zoning district regulations; as well as the adopted *Parkville 2040 Master Plan (2021)* and its Future Land Use Map. The associated preliminary development plan (Case No. PZ 2025-15) is considered a master planned development and can consider relevant impacts to the proposed project.

8. The recommendations of professional staff or other technical reviews associated with the application.

Staff recommends approval of the application for Zoning Map Amendment.

Preliminary Development Plan (Case No. PZ24-28)

The master planned development process is intended for development concepts that require a higher degree of specific planning based on the complexity of the project, the relationship of the site to the context, and the ability to meet or exceed the purpose, intent and objectives of the Development Code through more flexible application of the standards. This preliminary development plan application is the first of two steps through the process which generally looks at: *Public Realm Plan* (e.g., location, streets/circulation, and stormwater management), *Development Plan* (e.g., building types/scales, building design), *Existing Conditions* (e.g., infrastructure, utilities, and vegetation), *Public Input Summary* (e.g., previously adopted plans), *Phasing or Implementation*, and an *Illustrative Plan* (applicable renderings).

Parkville Municipal Code, Section 403.040, Subsection C. provides criteria for how the Planning and Zoning Commission shall determine if a preliminary development plan is appropriate. The following are staff’s findings and conclusions for the preliminary development plan (Case No. PZ 2025-15).

1. The plan represents an improvement over what could have been accomplished through strict application of otherwise applicable base zoning district standards, based on the goals of the Master Plan, and based upon generally accepted planning and design practice.

Due to the unique nature of the project, a master planned development represents an improvement to a traditional major site plan development, and can better meet the goals of the adopted *Parkville 2040 Master Plan (2021)*.

2. The benefits from any flexibility in the standards proposed in the plan promote the general public health, safety and welfare of the community, and in particular of the areas immediately near or within the proposed project, and are not strictly to benefit the applicant or a single project.

An advantage of having a master planned development for the subject property is that public health, safety and welfare can be addressed through the site planning process; specifically building location/orientation, landscaping/buffering, lighting, circulation/access, and stormwater management.

3. The benefits from any flexibility in the standards proposed in the plan allow the project to better meet or exceed the intent statements of the base zoning district(s) and the standards proposed to be modified when applied to the specific project or site.

The Master Planned Development process allows for a holistic review of the property to ensure that negative impacts on surrounding properties are minimized and compatibility with existing uses is examined.

4. **The plan reflects generally accepted and sound planning and urban design principles with respect to applying the Master Plan and any specific plans to the area.**

The *Parkville 2040 Master Plan (2021)* projects Regional Commercial, Mixed-Use, and open space future land uses for the subject property. The outdoor recreation land use meets this projection due to the retail component and utilization of open space for recreation.

5. **The plan meets all of the review criteria for a zoning map amendment.**

The preliminary development plan is proposed in conjunction with an application for zoning map amendment (Case No. PZ 2025-14) to rezone the subject property from its current Platte County "PI" Planned Industrial zoning designation to City of Parkville "B-2" General Business District zoning designations.

Staff Conclusions and Recommendations

Following review, staff recommends approval of the Application for Zoning Map Amendment (Case No. PZ 2025-14) and Application for Preliminary Development Plan (Case No. PZ 2025-15). Staff bases this decision on the merits of the application and the findings and conclusions in the report, subject to the following conditions:

Preliminary Development Plan (Case No. PZ 2025-15)

1. Approval is based on the representations of the drawings presented as part of this application and does not waive any requirement or development standard contained within the Municipal Code.
2. The subject property be platted via an Application for Subdivision – Final Plat — prior to construction permits being issued.
3. Prior to Final Plat approval, a revised Landscaping Plan shall be submitted meeting the requirements of Section 407.020 of the Development Code.
4. Prior to Final Plat approval, a Lighting Plan shall be submitted meeting the requirements of Section 407.040 of the Development Code.
5. Any other conditions the Planning and Zoning Commission determines are necessary.

It should be noted that the recommendation contained in this report is made without knowledge of facts, public comments or any additional information which may be presented during the public hearing. For that reason, the conclusions herein are subject to change as a result of evaluating additional information; additionally, staff reserves the right to modify or confirm the conclusions and recommendations herein based on consideration of any additional information that may be presented.

Necessary Action

Following consideration of the Application for Zoning Map Amendment and Application for Preliminary Development Plan, supporting information, associated exhibits, factors discussed above and any testimony presented during the public hearing, the Planning and Zoning Commission should recommend approval (with or without conditions), denial, or postpone the application for further consideration. If approved subject to conditions, the conditions should be noted for the record. Unless postponed, the Planning and Zoning Commission's action will be forwarded to the Board of Aldermen on July 1, 2025 for first action.



End of Memorandum

Brad Stanton, AICP
Planner

6-06-2025
Date



Application #: _____
Date Submitted: _____
Public Hearing: _____
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Zoning Map Amendment

Pre-application meeting required per Parkville Municipal Code Title IV, Section 403.010, Subsection C

1. Applicant / Contact Information

Applicant(s)

Name: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

Engineer/Surveyor(s) preparing legal description

Name: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

Owner(s), if different from applicant(s)

Name: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

Contact Person, if different from applicant(s)

Name: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that rezoning in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above- mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) _____  _____ **Date:** _____

Property Owner's Signature (Required) _____ **Date:** _____

2. Property Information

Legal description: Attach a separate sheet with complete writing and graphical legal description of the subject property.

Property address / general location: _____

Parcel ID Number: _____

Present zoning: _____

Proposed zoning: _____

Present use of the property: _____

Length of use: _____

3. Neighboring land uses and zoning

Describe the existing land use and zoning on the surrounding properties:

Existing Land UseExisting Zoning

North:

North:

South:

South:

East:

East:

West:

West:

Attach a narrative addressing:

1. How the application is consistent with the Master Plan and any official plan or program developed under the guidance of the Master Plan. In particular, the relationship of land uses within the proposed district and the relationship with uses existing or anticipated in surrounding districts.
2. The character of the neighborhood, including design of the streets, civic spaces and other open spaces; the scale, pattern and design of buildings; the zoning of property and compatibility of potential future uses; and the operation and uses of land and buildings.
3. How the application furthers the intent of the proposed zoning district and supports that of any abutting zoning districts, in particular, the building form, site design, and other development patterns and urban design aspects of the proposed project in furthering the intent.
4. Compliance of any proposed development with the requirements of the development code, and the intent or design objectives associated with any specific standards.
5. The ability of the City or other government agencies to provide any services, facilities or programs that might be required if the application were approved.
6. The effect of approval on the condition or value of property in the city or in the vicinity, including the likelihood of surrounding areas to be developed in accordance with the Master Plan.
7. The consistency of the application with other adopted policies of the City, including any other relevant implications of the change beyond any specific proposed project.
8. The recommendations of professional staff or other technical reviews associated with the application.

4. Checklist of required submittals

- ☐ Completed application, including all required details and supporting data.
- ☐ Nonrefundable application fee of \$500.00. Applicant will be billed to recover costs for required publication, posted and mailed notice per Parkville Municipal Code, Title IV, Section 403.010, Subsection E.
- ☐ Complete written and graphical legal description of subject property in paper and electronic formats, an area map showing the subject property and surrounding major features including roads.
- ☐ If the proposed rezoning is for a Master Planned Development (i.e., "planned" district) such as a "B-4-P" *Planned Business District*, a complete site plan/development plan is required per Parkville Municipal Code, Title IV.
- ☐ Notarized affidavit of ownership and authorized signature of the applicant and owner of record of the property.

For City Use OnlyApplication accepted as complete by: _____
Name/Title _____ Date _____

Application Fee (26.0000): \$ _____

By: ☐ Check # _____ ☐ MO# _____

Date Paid: _____

☐ Credit Card _____ ☐ Cash _____

Payment by: _____

Received by: _____

Final reimbursable costs paid (if applicable). _____ Date of Action: _____

Planning Commission Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Rezoning Description

Description

All that part of Section 19, Township 51 North, Range 34 West, in the City of Parkville, Platte County, Missouri, described as follows:

Beginning at the Northwest corner of Lot 1, Old Town at Creekside - Seventh Plat, thence South 08°46'04" East along the West line of said Lot 1, a distance of 49.92 feet; thence continuing along said West line for the following 3 courses, South 24°13'00" East a distance of 153.72 feet; thence south 63°26'10" East a distance of 54.49 feet; thence South 01°31'00" West a distance of 72.95 feet; thence South 35°07'08" East a distance of 103.52 feet; thence South 11°54'09" West a distance of 68.00 feet; thence South 03°25'16" East a distance of 45.25 feet; thence South 22°11'16" West a distance of 43.72 feet; thence South 85°36'32" West a distance of 28.50 feet; thence South 61°59'36" West a distance of 200.39 feet; thence South 14°29'04" West a distance of 159.29 feet; thence South 10°15'06" West a distance of 218.54 feet; thence North 41°47'16" West a distance of 71.23 feet; thence North 03°00'25" East a distance of 196.86 feet; thence North 23°21'20" East a distance of 130.37 feet; thence South 89°59'31" West a distance of 379.76 feet to the West line of the Northwest Quarter of said Section 19; thence North 00°16'33" East, along said West line, a distance of 11.93 feet; thence North 54°58'12" East a distance of 247.75 feet; thence North 14°51'35" East a distance of 477.50 feet to the South Right-of-way line of Missouri Hwy. 45; thence North 88°36'36" East, along said Right-of-way line of Missouri Hwy. 45, a distance of 174.77 feet to the POINT OF BEGINNING;.

containing 253,637 square feet or 5.823 acres more or less.



Application #: _____
Date Submitted: _____
Public Hearing: _____
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Preliminary Development Plan

Pre-application meeting required per Parkville Municipal Code Title IV, Section 403.010, Subsection C.

1. Applicant/Contact Information

Applicant(s)

Name: Brian Mertz
Company: Parkville Development 38, LLC
Address: 7607 NW John Anders Road
City, State: Kansas City, MO 64152
Phone: (816) 616-9016 Fax: _____
E-mail: bmertz1975@gmail.com

Engineer/Surveyor(s) preparing plans & legal desc.

Name: Patrick Cassity
Company: Renaissance Infrastructure Consulting
Address: 5015 NW Canal St. Suite 100
City, State: Riverside, MO
Phone: 816-800-0950 Fax: _____
E-mail: pcassity@ric-consult.com

Owner(s), if different from applicant

Name: _____
Company: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

Contact Person, if different from applicant

Name: _____
Company: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that development in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) _____ Date: _____

Property Owner's Signature (Required)  _____ Date: _____

2. Property Information

Property address and general location: See attached description. Generally located east of I-435 N and south of MO 45 HWY.

Legal description (may be attached): Attached separately.

Description of proposed use(s): _____

Zoning district: B-2
Gross acreage of lot: 15.98 Ac.
Open space acreage: 15.98 Ac.
Proposed block and lot pattern: 1 Lot

Lot coverage: 15.98 Ac.
Density/Intensity: N/A
Net acreage of lot: 15.98 Ac.
Building types/scale: 500 SF Barn and 1,600 SF Shipping Container

3. Factors affecting the project

Are any public improvements required for this project? No.

Explain (may be attached): _____

4. Public Realm

- **All public improvements must be designed to city standards and require approval, guarantees and permits prior to installation.**

Functions of proposed new roadways: N/A

Proposed surface material: N/A Maximum grade: N/A

General design characteristics, open spaces, civic spaces and circulation network:

Are area streets and utilities sufficient to serve the property once developed? N/A
(Note: a traffic study may be required in order to adequately address this question)

Explain: _____

Attach a stormwater management study showing facilities/improvements needed to handle stormwater adequately.

Attach a narrative addressing:

1. *How the plan represents an improvement over what could have been accomplished through strict application of otherwise applicable base zoning district standards, based on the goals of the Master Plan, and based upon generally accepted planning and design practice.*
2. *How the benefits from any flexibility in the standards proposed in the plan promote the general public health, safety and welfare of the community, in particular areas immediately near or within the proposed project, and not strictly to benefit the applicant or single project.*
3. *How the benefits from any flexibility in the standards proposed in the plan allow the project to better meet or exceed the intent statements of the base zoning district(s) and the standards proposed to be modified when applied to the specific project or site.*
4. *How the plan reflects generally accepted and sound planning and urban design principles with respect to applying the Master Plan and any specific plans to the area.*
5. *How the plan meets all of the review criteria for a zoning map amendment.*

5. Checklist of required submittals

- ☐ Completed application, including site plans with all required details and supporting data.
- ☐ Nonrefundable application fee of \$500.00.
- ☐ Five (5) copies 24" x 36" size, or larger sets, and one (1) electronic set (PDF format) of the site plan and elevations for staff and service providers to review.
- ☐ Authorization signature of the applicant and owner of record of the property.
- ☐ If subject to covenants and/or deed restrictions, signed approval of the association/entity enforcing such.

For City Use Only

Application accepted as complete by: _____ Date: _____
Name/Title

Application Fee (25.0000): \$ _____ By: ☐ Check # _____ ☐ MO# _____

Date Paid: _____ ☐ Credit Card _____ ☐ Cash _____

Payment by: _____ Received by: _____

Final reimbursable costs paid (if applicable). Date of Action:

Planning Commission Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

6. Preliminary Development Plan checklist for staff review

1. Basic Information

- a. Name of the development
- b. Name, address, contact information of person or firm that prepared the plan
- c. Date plan was prepared, including any revision dates
- d. Graphic, engineering scale
- e. North arrow
- f. Vicinity map identifying boundaries and location of property in relation to City

2. Development Summary Table | *Provided on site plan in chart format*

- a. Existing zoning and proposed zoning if applicable
- b. Total land area in square feet and acres
- c. Proposed use or uses of each building and/or structure
- d. Height above grade of buildings and structures and number of stories of each building and/or structure
- e. Gross floor area per floor and total for each building/structure
- f. Residential buildings shall also include residential building type and total number of dwelling units. Residential development shall identify gross and net density
- g. Building coverage and floor area ratio
- h. Ratio of required number of parking spaces for each use and amount of proposed parking spaces

3. Plan Drawing*

- a. Property Lines - Property lines and lot dimensions, including identification of adjacent property owners.
- b. Topography - Existing and proposed topography, with major contour lines at intervals of 10 ft., and minor contour lines at an interval of 2 ft.
- c. Floodplain - Location of FEMA Special Flood Hazard Areas (SFHA), if applicable
- d. Site Features - Location of any proposed or existing site features to be retained, including detention areas, retaining walls, existing mature trees, and other pertinent site features
- e. Rights-of-Way - Existing and proposed rights-of-way improvements (curb/gutter/sidewalk/driveways, etc.) and easements
- f. Building Footprint - Proposed building footprint(s) with lines
- g. Distance Dimensions - Building(s) with dimensions and distance to property lines.
- h. Elevation Dimensions - Elevations with dimensions of all sides of existing and proposed buildings, including roof mechanical equipment, vents, chimneys, or other projecting items above the roof line. This includes elevations and dimensions of existing or proposed solid waste and recycling enclosures
- i. Cross-Sections - Cross-sections of the site detailing the height of buildings/structures; heating, air conditioning and ventilating and electrical equipment heights, locations and screening materials to prove screening of mechanical equipment; and relationship to existing or proposed topography
- j. Identification of Uses - Identification of proposed or existing use(s) within each building, building entrances and exits, docks or other service entrances, utility entrances and screening to them, trash enclosures, exterior lighting fixtures, outdoor storage and sales areas, and other paved areas.
- k. Color Renderings - Color renderings for all primary building facades with detailed exterior descriptions, including type and color of all exterior building materials, awnings, exterior lighting, mechanical screening material, fencing, metal flashing and the like.
- l. Materials Board - Provide a display board affixed with representative examples of exterior building and finish materials and color palettes (24"x36" board or similar size to accommodate samples). Each material shall be labeled corresponding with the notations on the submitted building elevations and color renderings.

*Please label all radii, areas (in acres and sq. ft.), points of tangency, central angles and lengths of curves.

4. Parking and Circulation

- a. Location and dimensions of the widths of existing or proposed private vehicular access into the property from perimeter streets and location of existing or approved accesses on properties adjacent or opposite the property
- b. Location of proposed or existing parking spaces, aisles, and drives with setback dimensions from proposed streets right-of-way and adjacent property lines; typical width and length of parking spaces; number of parking spaces per row; and width of parking and drive aisles
- c. Illustration of AutoTURN vehicular movements for emergency vehicle access to development, specifically a Pierce Velocity fire truck (duel axle type w/ 110 ft. ladder; vehicle specifications are 43.3 ft. length X 8 ft. width)
- d. Identification of all public and private existing and proposed sidewalks, trails, bicycle facilities, and/or open space areas (Tracts A, B, C, etc.)
- e. Indication of compliance with access and parking standards per City Code ([Chapter 408](#))

5. Landscaping and Screening

- a. A plan for landscaping design and screening in conformance with City Code ([Section 407.020](#) and [407.030](#))
- b. A lighting plan in conformance with City Code ([Section 407.040](#))
- c. A stormwater management plan in conformance with City Code ([Section 407.050](#))
- d. A landscape schedule showing compliance with City Code ([Chapter 407](#))

6. Other Requirements

- a. All survey monuments and benchmarks, together with their description
- b. Show windows and entrances
- c. Label all materials
- d. Show canopies and awnings if proposed
- e. Information regarding signage if proposed, in compliance with City Code ([Chapter 409](#))

Note: Submissions of preliminary development plans to the Planning and Zoning Commission that do not conform to the above checklist may, at the discretion of the Planning and Zoning Commission, be subject to delay until unfulfilled items are complied with.

Irish Golf Concept

5/16/2025



45 HIGHWAY & I-435
Creekside Irish Golf
A DEVELOPMENT IN Parkville, Platte County, MO

Final Development Plan

TOTAL AREA: 15.98 ACRES



VICINITY MAP
(NTS)



Benchmark Information:

"+" Cut On Top of Curb Inlet Approximately 170'
South of Intersection of Brink Myers Road & County
Road on West Side of Road.
N: 1110890.3888 E:27159478.6855
Elev: 814.02

Lot Description

Part of the Northeast Quarter of Section 19, T51N, R34W of the Fifth Principal Meridian, in the City of Parkville, Platte County, Missouri, described as follows:

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UTILITY CONTACTS

City of Parkville
CPWSD #1 of Platte County
Platte County Regional Sewer District
Spire Gas Energy
Everyg
Platte Clay Electric
Century Link
Unite Private Networks
Spectrum
Missouri One Call
AT&T
Comcast

(816) 741-7676
(816) 891-3457
(816) 858-2052
(816) 756-5252
(816) 471-5275
(816) 807-7502
(816) 243-5642
(816) 903-9400
(816) 431-5818
(800) DIG-RITE
(800) 464-7928
(913) 891-3457

Sheet List Table	
Sheet Number	Sheet Title
C01	Title Sheet
C02	General Notes
C03	Existing Conditions
C04	Preliminary Plat
C05	Preliminary Plan
C06	General Layout
C07	Overall Layout
C08	Grading Plan
C09	Utility Plan
C10	Fire Protection Plan
L01	Landscape Plan

DEVELOPER:
Parkville Dev. 38, LLC
C/O: Brian Mertz
7607 NW John Anders Rd.
Kansas City, MO 64152

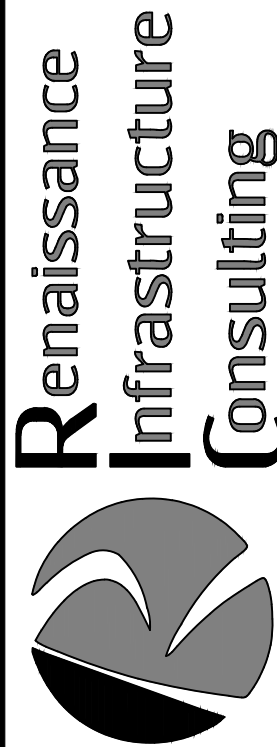
SURVEYOR:
R.L Bufford & Associates
7603 NW River Park Dr Kansas
City, MO, 64152-5023
816-741-6152

ENGINEER:
Renaissance Infrastructure
Consulting, LLC
5015 NW Canal Street, Suite 100
Riverside, MO. 64150
(816) 800-0950

Final Development Plan

25-0135
Creekside Irish Golf
Parkville, Platte County, MO

Title Sheet



400 E 17TH STREET
KANSAS CITY, MISSOURI 64108
B16-800-0950
WWW.RIC-CONSULT.COM
MO Certificate of Authority: E-2010033630



Sheet
C01

1. All construction shall conform to the City of Parkville minimum design standards.
2. Contractor shall verify horizontal and vertical location of all utilities shown. Contractor shall notify Engineer of any potential conflicts with proposed improvements shown herein prior to commencing of construction.
3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
4. The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, repair contractor caused damage according to current local standards and at the contractor's expense, and coordinate all construction with the appropriate utility company.
5. The contractor shall comply with all local codes and obtain all permits necessary or required.
6. Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Parkville public works at 816.741.7676 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
7. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary.
8. The contractor shall protect all trees to remain in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
9. Concrete walks and pads shall have a broom finish. All concrete shall be Parkville Mo standard KCMMB mix, 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
11. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
12. Excess material shall be disposed of by the contractor in a legal manner off the owner's property at no additional cost to the owner.
13. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
14. Concrete curb at sidewalks and drive in ramps shall be integral.

1. All Accessible route construction shall conform to the latest version of the ADA Standards for Accessible Design published by the Department of Justice and the Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way published by the United States Access Board.
2. Other than ramps and ramp runs, walking surfaces must have running slopes not steeper than 1:20.
3. The cross slope of walking surfaces shall not be steeper than 2%.
4. The minimum width for a linear segment of accessible route shall be 36 inches.
5. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches wide, clear width shall be 42 inches minimum approaching the turn, 48 inches minimum at the turn and 42 inches leaving the turn.
6. An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be 60 inch by 60 inch minimum.
7. Ramp runs shall have a running slope not steeper than 1:12.
8. Ramp runs with a rise greater than 6 inches shall have handrails.
9. Ramp landings with a maximum slope of 1:48 shall be provided before and after ramp runs.
10. The maximum rise of a ramp run shall be 30 inches.
11. The maximum counter slope between the pavement and the curb at a curb ramp shall be 1:20.
12. Curb ramp landings with a maximum slope of 1:48 shall be provided at the top of curb ramps with a clear width of 60 inches.
13. Detectable warning surfaces complying with the latest ADA Standards shall be provided at pedestrian street crossings and refuge islands.
14. Passenger loading zones shall be provided adjacent to any ADA Accessible stall and have a 2% maximum slope in all directions.
15. Contractor to field verify existing site conditions and contact the engineer if field conditions do not match plan prior to construction.

1. All construction shall conform to the City of Parkville's minimum design standards.
2. Spot Grades shown herein shall govern over finished grades.
3. The contractor shall provide evidence that their insurance meets the requirements of the Project.
4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
5. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
13. All National Pollution Discharge Elimination System(NPDES) standards shall be met.
14. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
15. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
16. All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA).
17. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
18. All work shall be confined within easements and/or construction limits as shown on the plans.
19. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
20. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Developer is responsible for the cost of utility relocations unless otherwise indicated on the plans.

1. Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices" latest edition.
3. Traffic control and pavement markings shall be painted with a multicomponent thermoplastic paint, such as preformed or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°f and the ambient air temperature shall not be less than 60°f and rising. Two coats shall be applied.

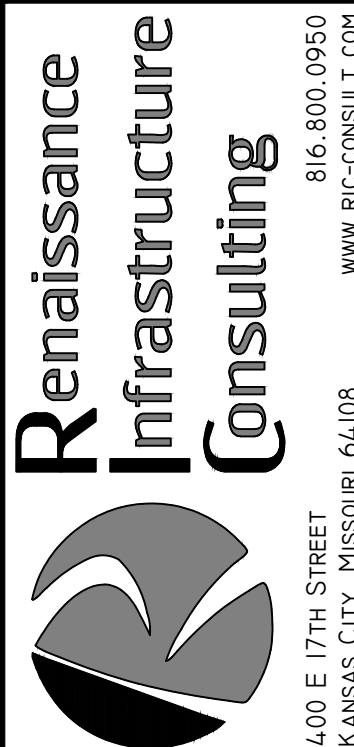
- A. Screened items indicate a pre-construction topographic survey
- B. Contraction joints shall conform to APWA Section 2200. A maximum joint spacing of 20' on center each way is required.
- C. All concrete to be based on ACI 318-2011, Section 4.2.2 which states the concrete subject to the applicable exposures "shall conform to the corresponding water-cement ratios", in Table 4.3.1, which specifies a maximum water/cement ratio of 0.45 and a minimum concrete compressive strength of 4,500 PSI. Per ACI Table 4.4.1, the air entrainment specified is 6% (+1%).
- D. Curing compound to be applied to all concrete surfaces immediately after broom finish.
- E. Contractor shall reject concrete if it cannot be placed within 90 minutes of batch time.

25-0135
Creekside Irish Golf
Parkville, Platte County, MO

General Notes

[illegible]

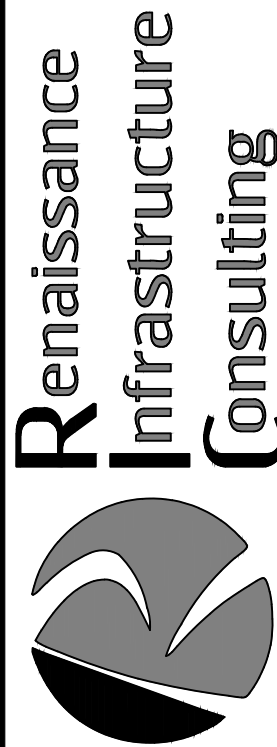
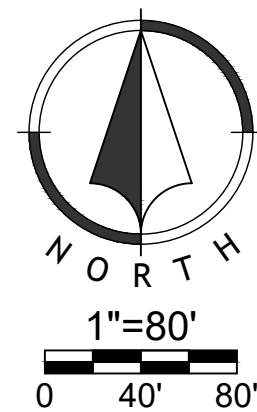
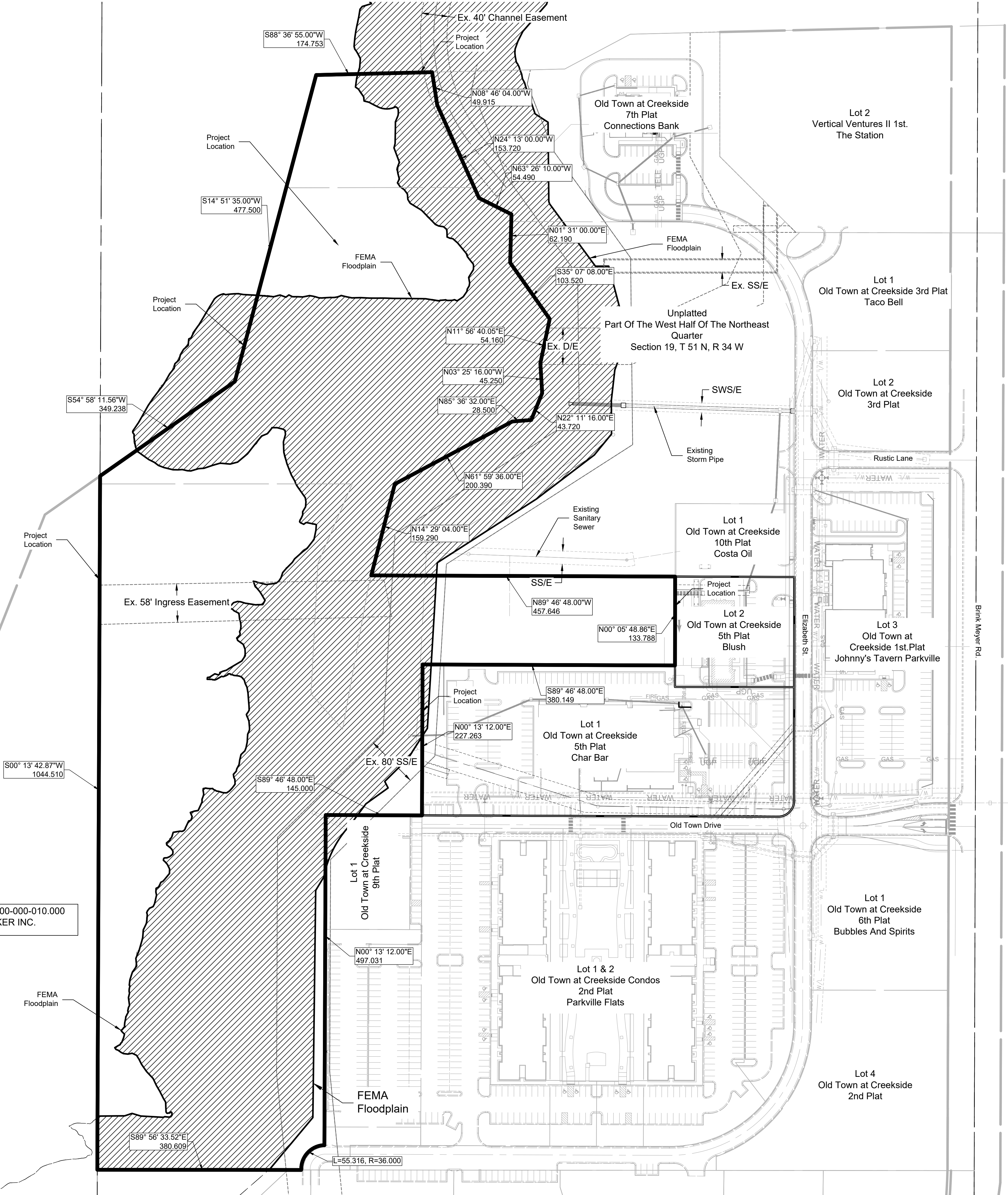
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JA	PC



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20-4.0-19-000-000-010.000
IDEKER INC.



400 E 17th STREET
KANSAS CITY, MISSOURI 64108
www.RIC-CONSULT.COM
B16-800.0950
MO Certificate of Authority: E-2010033630

Existing Conditions

Final Development Plan
25-0135
Creekside Irish Golf
Parkville, Platte County, MO

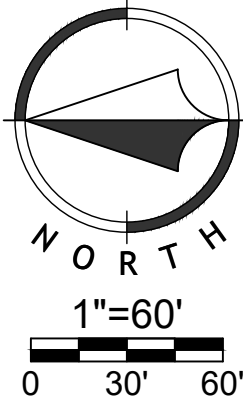
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Lot Description

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400 E 17TH STREET
KANSAS CITY, MISSOURI 64108
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B16-800.0950
MO Certificate of Authority: E-2010033630

Sheet
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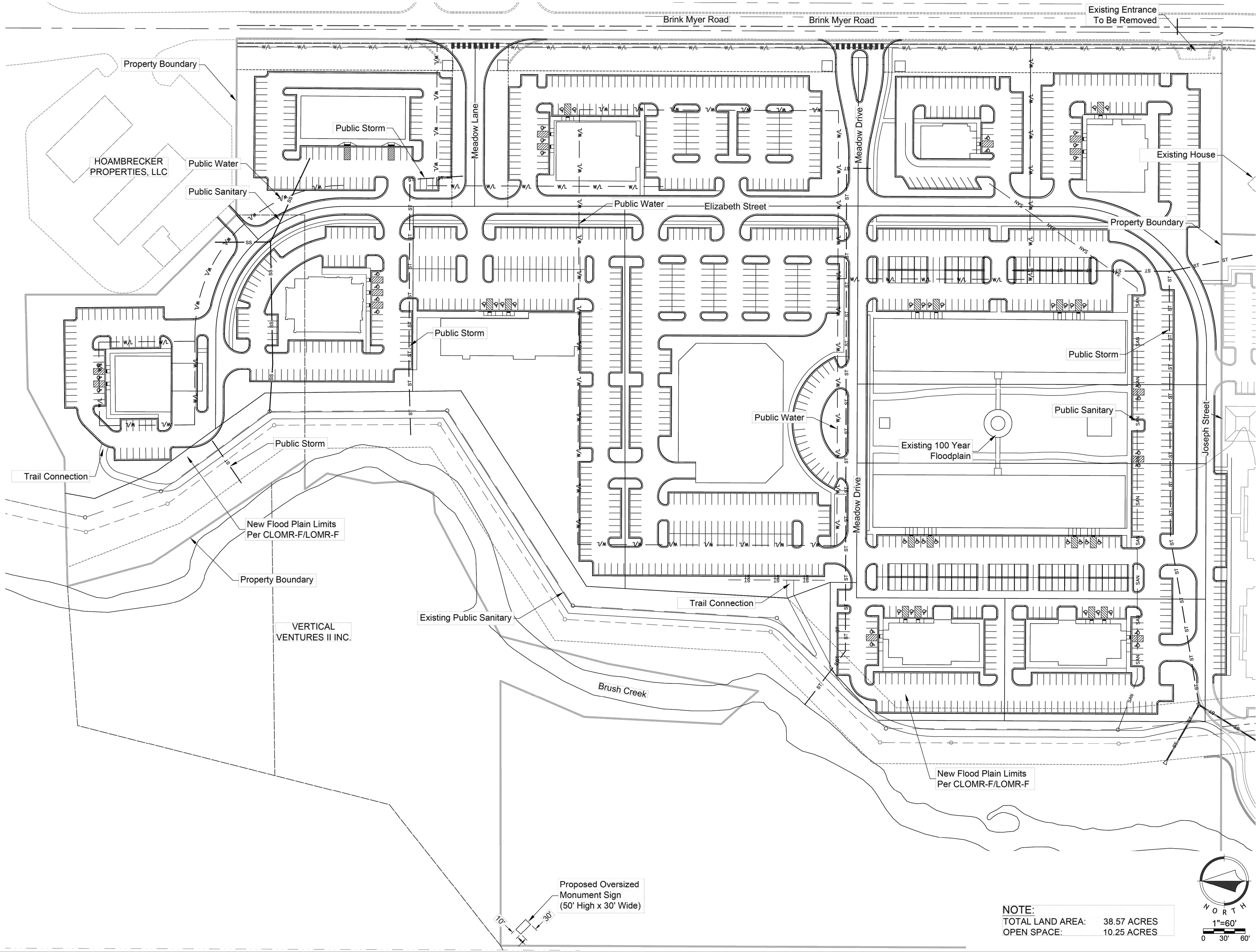
Preliminary Plat

Final Development Plan
25-0135
Creekside Irish Golf
Parkville, Platte County, MO

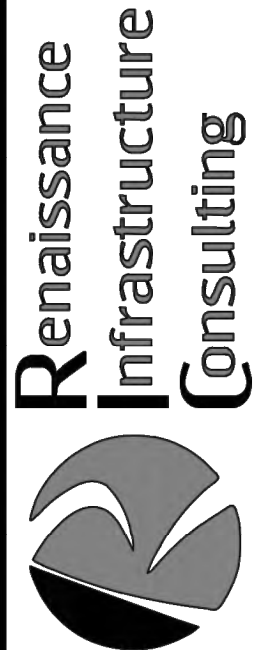
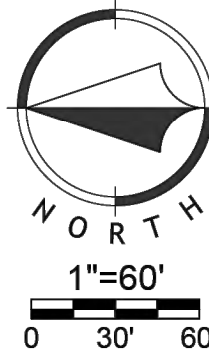
NO.	DATE	REVISION
1	06/09/2025	Per City Comments
0	05/09/2025	Original Submittal

DRAWN BY	CHECKED BY
JA	PC

Oct 23, 2018 8:11am
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NOTE:
TOTAL LAND AREA: 38.57 ACRES
OPEN SPACE: 10.25 ACRES



5015 NW CANAL STREET, SUITE 100
RIVERVIEW, MISSOURI 64150
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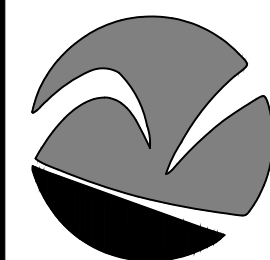
NO.	DATE	REVISION
4	JUN 10 2021	AS PER CITY COMMENTS
3	JUN 10 2021	AS PER CITY COMMENTS
2	JUN 10 2021	AS PER CITY COMMENTS
1	JUN 10 2021	AS PER CITY COMMENTS
NO.	BY	DATE
	GD	08/03/18

Development Plan

Preliminary Development Plan

18-0211
Old Town At Creekside

Sheet
3 of 10



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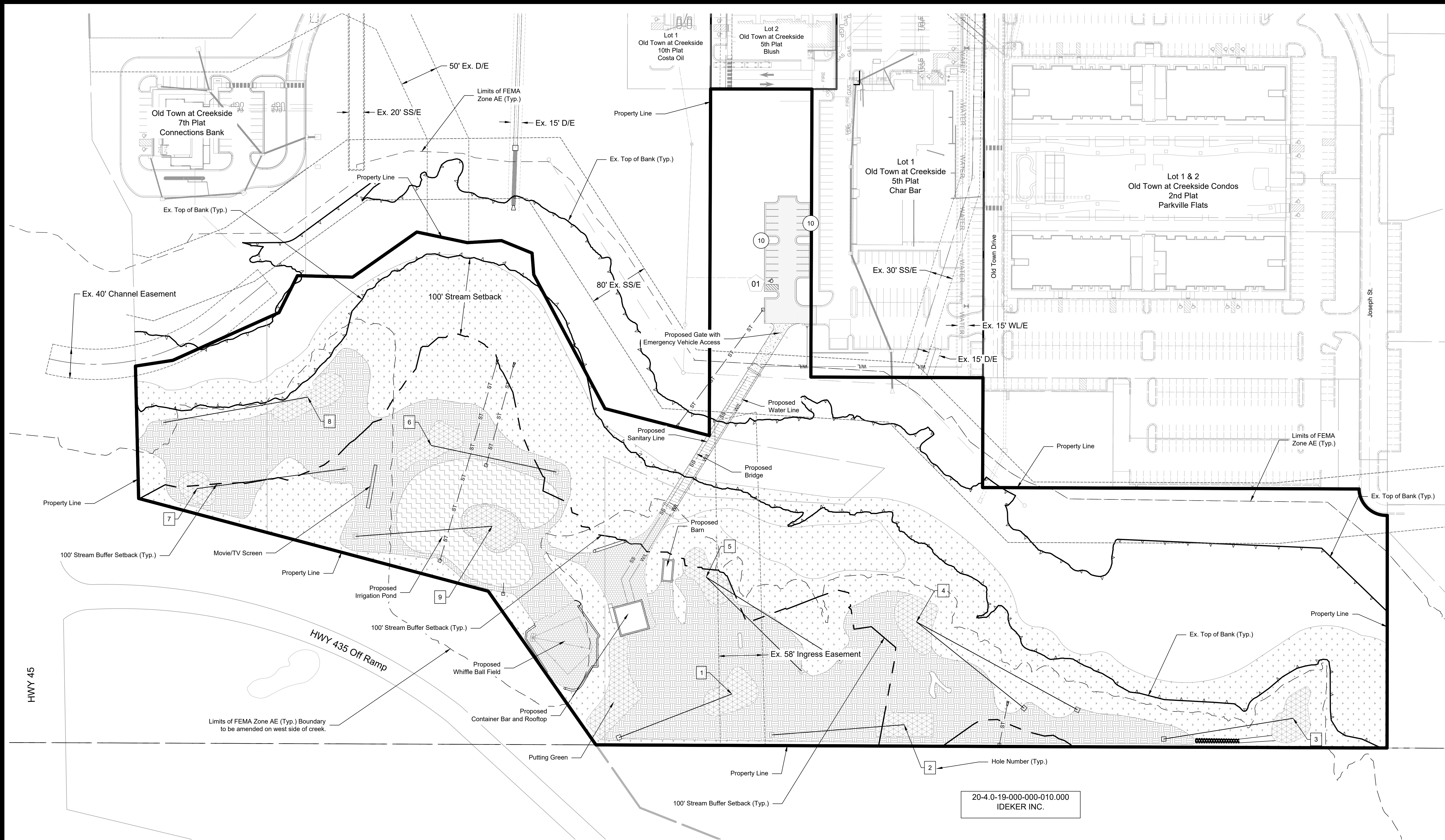
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Preliminary Plan

Final Development Plan
25-0135
Creekside Irish Golf
Parkville, Platte County, MO

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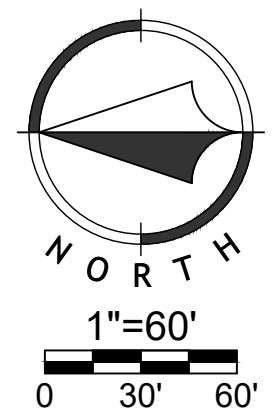


- Rough Grass
- Fairway & Greens Surrounds
- Hole Greens
- Fine Grass
- Concrete
- Asphalt

Site Data Table:

ADA Parking Spaces(Included In Total): 1
Total Provided Parking Spaces: 21

- Legend
- Auto Parking
 - ADA Parking
 - FEMA Line
 - Top of Bank
 - Stream Setback



20-4.0-19-000-000-010.000
IDEKER INC.

Final Development Plan

25-0135

Creekside Irish Golf
Parkville, Platte County, MO

General Layout

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Renaissance
Infrastructure
Consulting

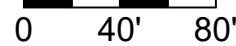
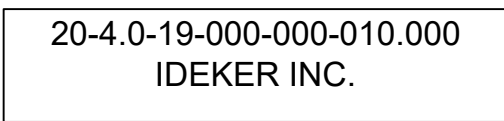
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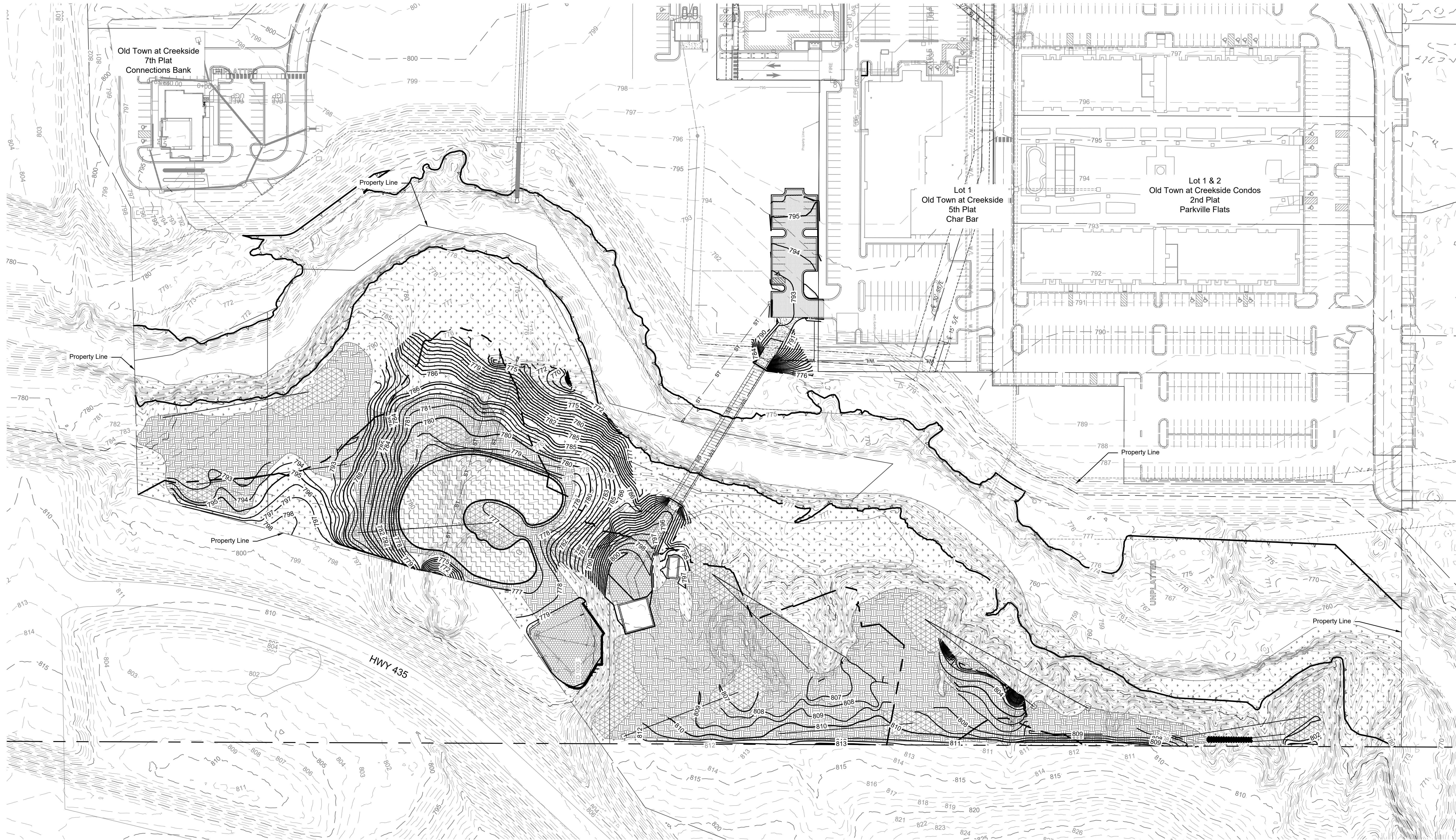
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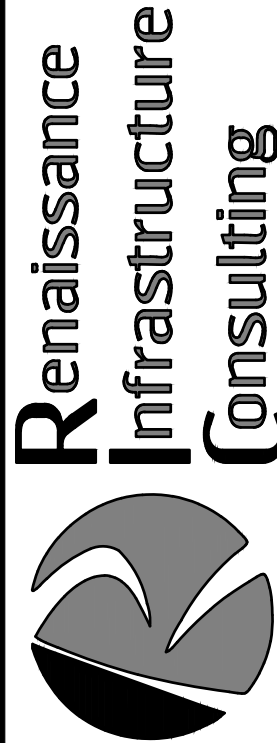
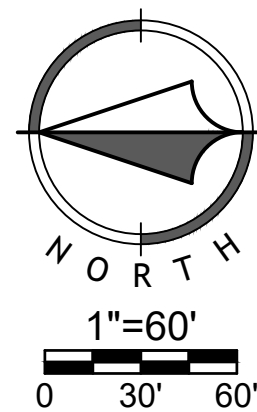


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LEGEND

- Existing Major
- Existing Minor
- Proposed Major
- Proposed Minor



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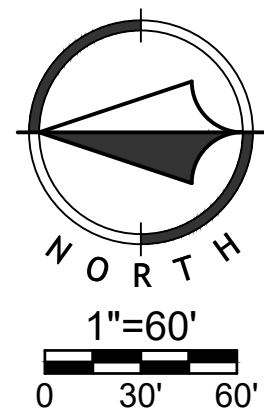
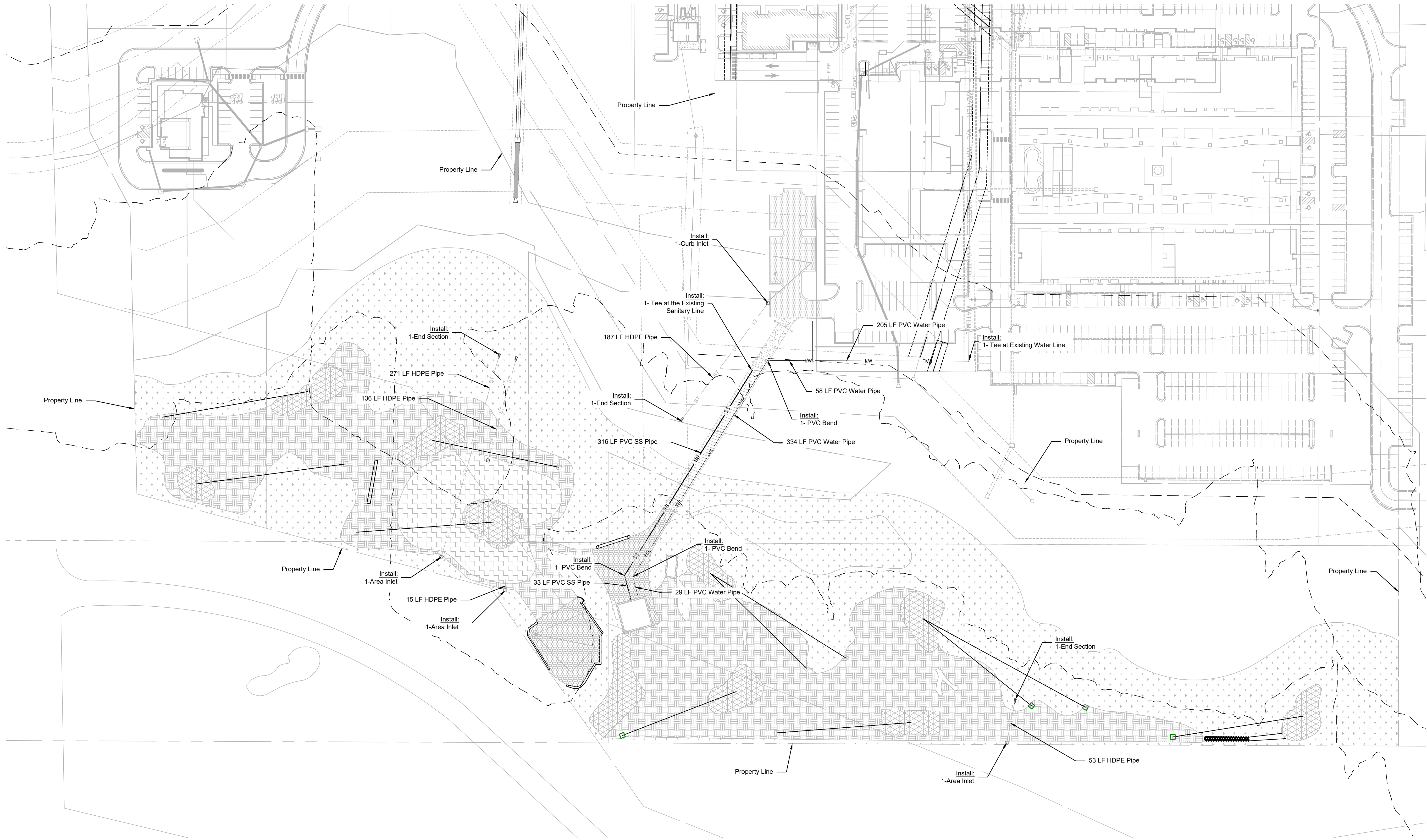
Grading Plan

Final Development Plan

25-0135
Creekside Irish Golf
Parkville, Platte County, MO

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Final Development Plan

25-0135
Creekside Irish Golf
Parkville, Platte County, MO

Utility Plan

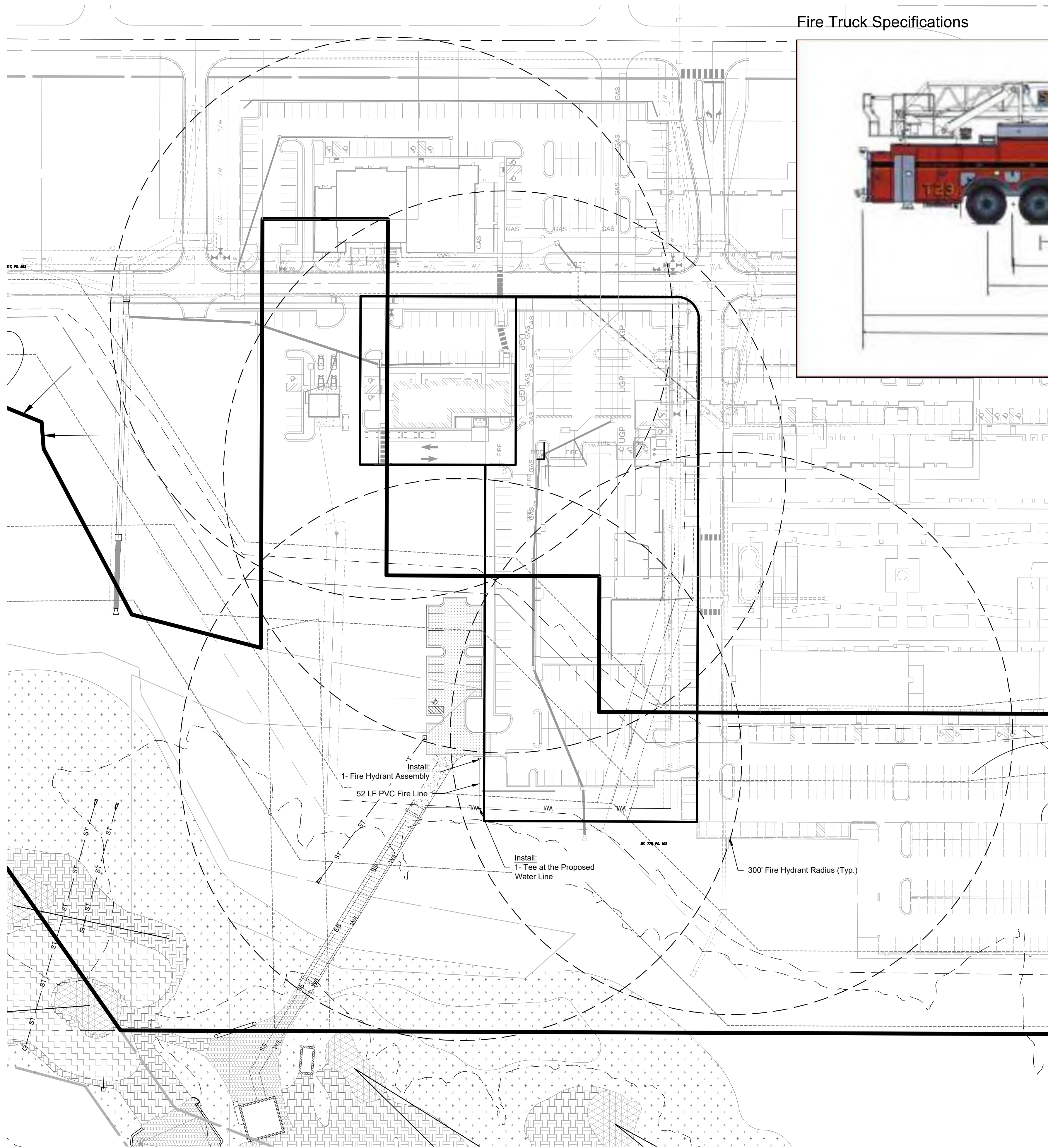
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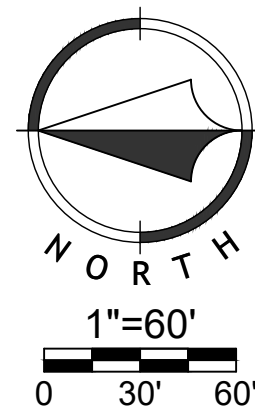
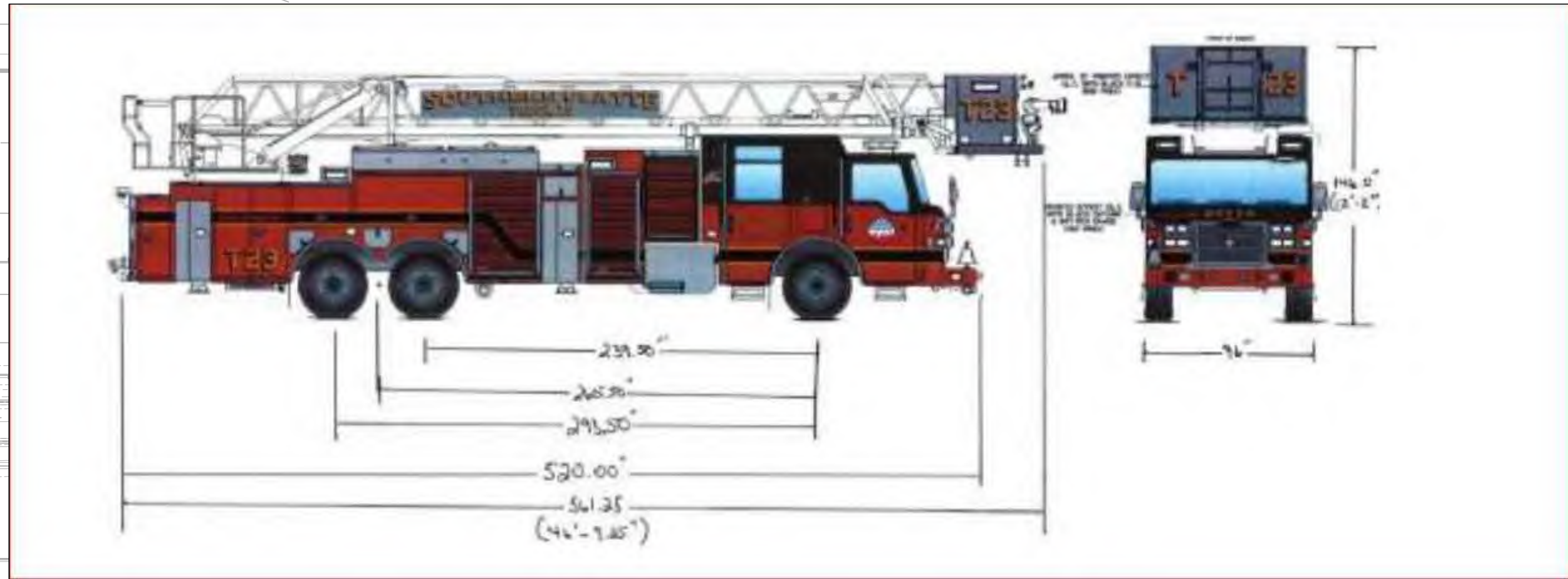
Renaissance Infrastructure Consulting
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Fire Truck Specifications



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LANDSCAPE NOTES

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- PLANT SYMBOLS ON LANDSCAPE PLAN ARE SHOWN AT FULL MATURE SIZE. ACTUAL PLANT SIZES AT INSTALLATION MAY BE SMALLER AND SHALL BE THE MINIMUM PLANTING SIZE SPECIFIED IN PLANT SCHEDULE.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
- SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL DECORATIVE GRAVEL SHALL BE INSTALLED OVER GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).

LANDSCAPE CALCULATIONS

Open Space Plantings
Required: 1 shade tree, 2 ornamentals, & 2 shrubs / 2,000 sf required open space; 12% min. open space
Provided: 744,220 sf x 12% = 89,306 sf open space; 45 shade trees, 89 ornamentals, 89 shrubs

Park Open Space
Required: 1 large tree / 40' street frontage
Provided: Hwy 45 (240') = 7 trees

Building Foundation Plantings
Required: 100% street facing facades
Provided: No buildings proposed

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	AM2	Acer saccharum 'Morton' / Crescendo™ Sugar Maple NATIVE	2" Cal.	B&B	7
	GD	Gymnocladus dioicus 'Espresso' / Kentucky Coffeetree NATIVE	2" Cal.	B&B	8
	NS	Nyssa sylvatica 'Wildfire' / Black Gum NATIVE	2" Cal.	B&B	10
	QB	Quercus bicolor / Swamp White Oak NATIVE	2" Cal.	B&B	6
	QC	Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak	2" Cal.	B&B	18
ORNAMENTAL					
	CC	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud NATIVE	1.5" Cal.	B&B	14
	CP2	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood NATIVE	1.5" Cal.	B&B	21
	MB	Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Beauty Southern Magnolia	1.5" Cal.	B&B	13
	MX	Malus x 'Spring Snow' / Spring Snow Crab Apple NATIVE	1.5" Cal.	B&B	19
	MA	Malus x 'Adirondack' / Adirondack Crabapple NATIVE	1.5" Cal.	B&B	19
SHRUBS					
	AM	Aronia melanocarpa 'Morton' / Iroquois Beauty™ Black Chokeberry NATIVE	3 Gal.	Pot	15
	CK	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 Gal.	Pot	12
	HV	Hydrangea arborescens 'NCHA3' / Invincibelle® Ruby Smooth Hydrangea NATIVE	3 Gal.	Pot	15
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal., 18"-24" Ht. Min.	Pot	14

134/191 = 70%

NOTE: Maintain and establish all landscape areas by watering, fertilizing, weeding, mowing, trimming, replanting and other operations until acceptable establishment - TYP.
RE: Specifications

Final Development Plan

25-0135

Creekside Irish Golf

Parkville, Plate County, MO

Landscape Plan

0	05/09/2025	Original Submittal
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Sheet

L01

Creekside Golf Plan

15425 Old Town Dr Suite 116, Parkville, MO 64152 , U.S



Simulation Report ver.1.0

CONTENTS

01	Summary	2
02	Result	
	Lighting Location	4
	Illuminance Calculation	5
03	Image	14

2025-05-28

GigaTera is a world-class Total Lighting Solution provider leading the market with cutting-edge manufacturing technology with the highest efficiency, reliability and most competitive price.

GigaTera Lighting Solution

Designed By G.E Park

Optical Team , Researcher Engineer

2025

Summary

FIELD TYPE :
Golf Club (Par 3)

UNIT :

DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle

CIRCULATION ENVIROMENT :

REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95

REQUIREMENTS :

POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Luminaire Schedule							
Symbol	Label	Qty	Watts	Total Watts	Lumens	LLF	Description
•	SFP600-X50S157	12	600	7200	79794	0.950	600W , 5000K, 70Ra
•	SFP600-X50A307	13	600	7800	78427	0.950	600W , 5000K, 70Ra
•	SFP600-X50S457	8	600	4800	72172	0.950	600W , 5000K, 70Ra
•	MHP600-N50A657	44	600	26400	77983	0.950	600W , 5000K, 70Ra

Calculation Summary						
Project: 1H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
1H_TEE	Fc	38.5	40	37	1.04	1.08
1H_GREEN	Fc	34.4	41	25	1.37	1.64

Calculation Summary						
Project: 2H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
2H_TEE	Fc	31.5	33	30	1.05	1.10
2H_GREEN	Fc	33.3	37	26	1.28	1.42

Calculation Summary						
Project: 3H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
3H_TEE	Fc	35.5	36	35	1.01	1.03
3H_GREEN	Fc	31.7	38	21	1.51	1.81

Calculation Summary						
Project: 4H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
4H_Tee 1	Fc	29.5	33	26	1.13	1.27
4H_Tee 2	Fc	34.5	37	32	1.08	1.16
4H_Green	Fc	30.9	36	25	1.24	1.44

Calculation Summary						
Project: 5H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
5H_Tee 1	Fc	36.5	38	35	1.04	1.09
5H_Tee 2	Fc	34.5	38	31	1.11	1.23
5H_Green	Fc	34.2	40	25	1.37	1.60

Calculation Summary						
Project: 6H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
6H_Tee	Fc	37.3	38	36	1.03	1.06
6H_Green	Fc	34.5	41	24	1.44	1.71

Calculation Summary						
Project: 7H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
7H_Tee	Fc	33.5	35	32	1.05	1.09
7H_Green	Fc	34.9	39	27	1.29	1.44

Calculation Summary						
Project: 8H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
8H_Tee	Fc	32.3	33	32	1.01	1.03
8H_Green	Fc	33.9	47	22	1.54	2.14

Calculation Summary						
Project: 9H						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
9H_Tee	Fc	36.5	38	35	1.04	1.09
9H_Green	Fc	31.8	37	23	1.38	1.61

Summary

FIELD TYPE :
Golf Club (Par 3)

UNIT :

DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle

CIRCULATION ENVIROMENT :

REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95

REQUIREMENTS :

POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

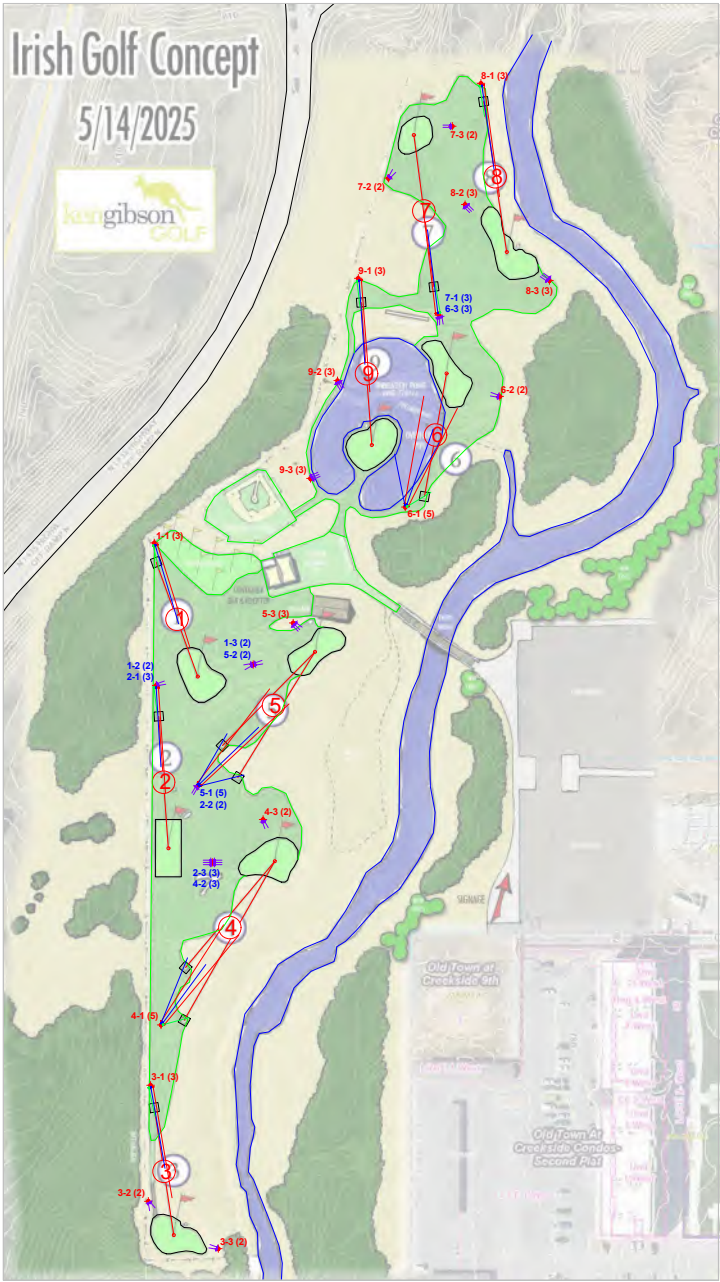
Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Z		
1	SFP600-X50S157	638.621	1587.866	50	277.869	71.565
2	SFP600-X50A307	635.723	1587.089	50	278.279	66.061
3	SFP600-X50S457	632.825	1586.312	50	279.208	39.37
4	MHP600-N50A657	594.025	1534.392	50	180	-5
5	MHP600-N50A657	594.025	1531.391	50	180	-5
6	MHP600-N50A657	512.232	1466.721	50	60	0
7	MHP600-N50A657	514.354	1464.599	50	45	0
8	MHP600-N50A657	617.417	1428.565	50	315	0
9	MHP600-N50A657	614.959	1426.844	50	315	0
10	MHP600-N50A657	612.502	1425.122	50	315	0
11	MHP600-N50A657	725.878	1331.782	50	145	0
12	MHP600-N50A657	723.757	1329.66	50	145	-5
13	SFP600-X50S157	475.621	1328.866	50	274.359	71.477
14	SFP600-X50A307	472.723	1328.089	50	273.881	65.877
15	SFP600-X50S457	469.825	1327.312	50	276.747	35.686
16	MHP600-N50A657	721.635	1327.538	50	145	0
17	SFP600-X50S457	580.225	1285.472	50	99.552	39.629
18	SFP600-X50A307	577.327	1284.695	50	97.146	65.837
19	SFP600-X50S157	574.429	1283.918	50	96.794	71.292
20	MHP600-N50A657	582.621	1279.866	50	280	0
21	MHP600-N50A657	579.723	1279.089	50	270	0
22	MHP600-N50A657	576.825	1278.312	50	270	0
23	MHP600-N50A657	447.776	1194.002	50	300	5
24	MHP600-N50A657	445.057	1192.734	50	300	5
25	MHP600-N50A657	442.337	1191.467	50	300	5
26	MHP600-N50A657	657.325	1175.803	50	160	0
27	MHP600-N50A657	656.803	1172.849	50	170	0
28	MHP600-N50A657	408.665	1068.849	50	25	5
29	MHP600-N50A657	410.165	1066.251	50	25	5
30	MHP600-N50A657	411.664	1063.651	50	25	5
31	SFP600-X50S157	533.305	1031.631	50	79.968	70.978
32	SFP600-X50A307	535.903	1030.129	50	70.701	64.848
33	SFP600-X50A307	533.604	1029.149	47	101.335	56.008
34	SFP600-X50S157	538.5	1028.627	50	63.44	70.975
35	SFP600-X50S457	536.201	1027.647	47	30.8	38.191
36	SFP600-X50S157	204.674	977.384	50	287.466	70.653
37	SFP600-X50A307	201.776	976.607	50	286.48	65.389
38	SFP600-X50S457	198.878	975.83	50	284.506	33.629
39	MHP600-N50A657	388.889	873.354	50	-35	0

Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Z		
40	MHP600-N50A657	386.768	871.232	50	-45	0
41	MHP600-N50A657	384.646	869.111	50	-45	0
42	MHP600-N50A657	334.202	819.911	50	20	5
43	MHP600-N50A657	329.278	819.043	50	190	0
44	MHP600-N50A657	334.722	816.957	50	10	5
45	MHP600-N50A657	329.798	816.089	50	210	0
46	MHP600-N50A657	204.416	792.549	50	20	0
47	MHP600-N50A657	205.915	789.951	50	10	0
48	SFP600-X50S457	200.001	787.5	50	277.246	34.307
49	SFP600-X50A307	203	787.499	50	273.527	64.722
50	SFP600-X50S157	205.999	787.498	50	273.797	70.396
51	SFP600-X50S157	258.308	661.065	50	52.466	72.329
52	SFP600-X50A307	260.605	659.135	50	43.753	65.317
53	SFP600-X50A307	258.171	658.569	47	59.879	58.922
54	SFP600-X50S157	262.902	657.205	50	42.84	72.567
55	SFP600-X50A307	260.468	656.639	47	13.776	52.307
56	MHP600-N50A657	255.531	655.733	50	240	5
57	MHP600-N50A657	257.652	653.611	50	240	5
58	MHP600-N50A657	346.939	609.794	50	300	0
59	MHP600-N50A657	343.985	609.274	50	290	0
60	MHP600-N50A657	275.529	557.996	50	180	0
61	MHP600-N50A657	280.527	557.996	50	0	5
62	MHP600-N50A657	275.528	554.996	50	180	0
63	MHP600-N50A657	280.528	554.996	50	0	5
64	MHP600-N50A657	275.527	551.996	50	180	0
65	MHP600-N50A657	280.529	551.996	50	0	5
66	SFP600-X50S157	209.655	343.833	50	57.121	71.876
67	SFP600-X50A307	211.952	341.903	50	53.622	62.495
68	SFP600-X50A307	209.518	341.337	47	67.897	63.388
69	SFP600-X50S157	214.249	339.973	50	50.191	72.034
70	SFP600-X50S457	211.815	339.407	47	14.961	38.001
71	SFP600-X50S157	199.016	256.967	50	279.667	71.511
72	SFP600-X50A307	196.061	256.446	50	279.846	65.437
73	SFP600-X50S457	193.107	255.925	50	282.637	38.025
74	MHP600-N50A657	195.167	103.672	50	310	0
75	MHP600-N50A657	192.569	102.174	50	280	0
76	MHP600-N50A657	283.914	44.04	50	160	0
77	MHP600-N50A657	282.887	41.222	50	170	0

Result : Lighting Location

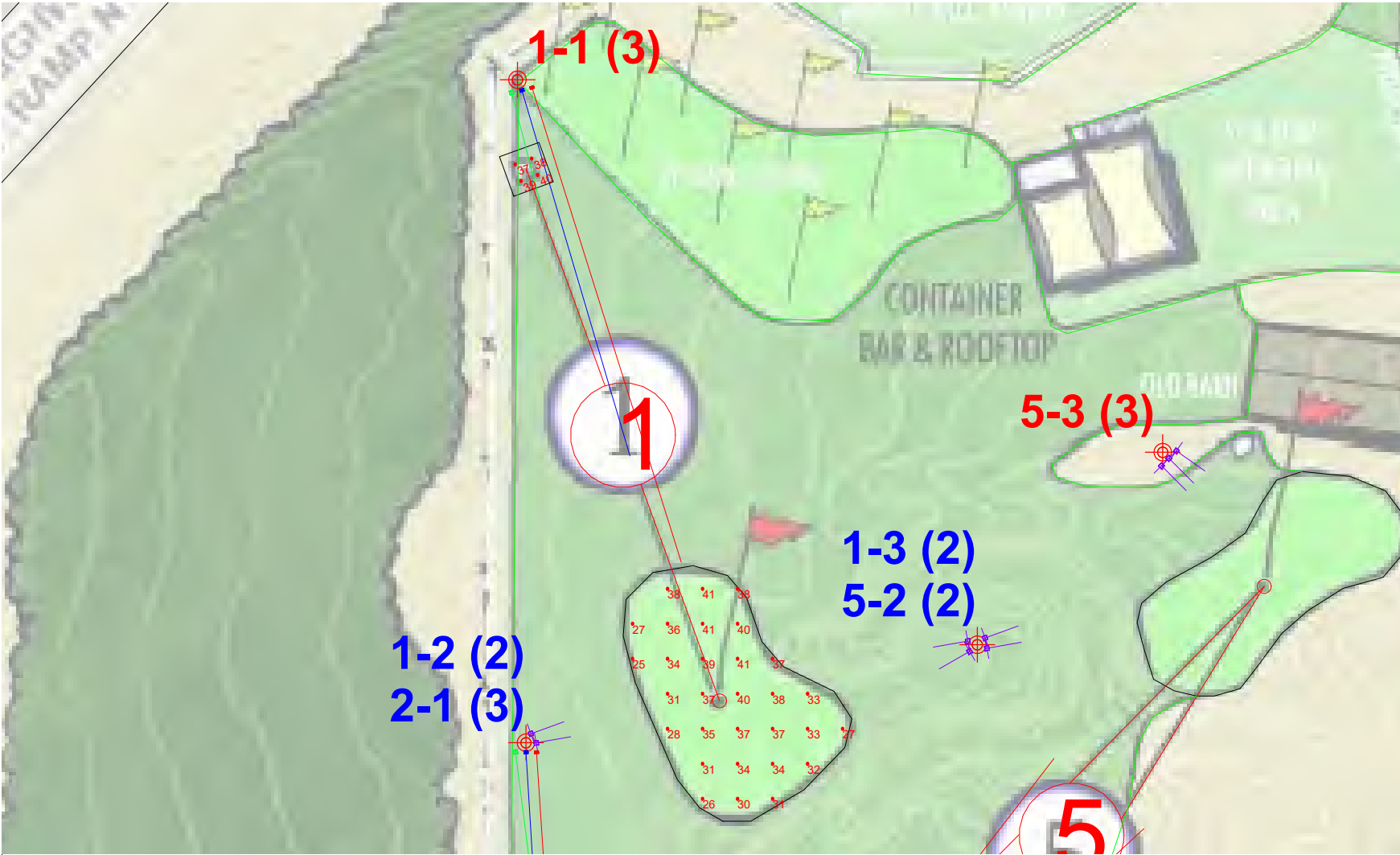
Pole / Hole	Pole No	1	2	3	Total
1H	Qty	3	2	2	7
	Watt (kW)	1.8	1.2	1.2	4.2
	Used Model	SFP600	MHP600	MHP600	
2H	Qty	3	2	3	8
	Watt (kW)	1.8	1.2	1.8	4.8
	Used Model	SFP600	MHP600	MHP600	
3H	Qty	3	2	2	7
	Watt (kW)	1.8	1.2	1.2	4.2
	Used Model	SFP600	MHP600	MHP600	
4H	Qty	5	3	2	10
	Watt (kW)	3	1.8	1.2	6
	Used Model	SFP600	MHP600	MHP600	
5H	Qty	5	2	3	10
	Watt (kW)	3	1.2	1.8	6
	Used Model	SFP600	MHP600	MHP600	
6H	Qty	5	2	3	10
	Watt (kW)	3	1.2	1.8	6
	Used Model	SFP600	MHP600	MHP600	
7H	Qty	3	2	2	7
	Watt (kW)	1.8	1.2	1.2	4.2
	Used Model	SFP600	MHP600	MHP600	
8H	Qty	3	3	3	9
	Watt (kW)	1.8	1.8	1.8	5.4
	Used Model	SFP600	MHP600	MHP600	
9H	Qty	3	3	3	9
	Watt (kW)	1.8	1.8	1.8	5.4
	Used Model	SFP600	MHP600	MHP600	

Total Summary	Ligthing	Watts (kW)	Distribution Box	Pole	Share Pole
	77	46.2	27	22	5



FIELD TYPE :	
Golf Club (Par 3)	
UNIT :	
DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle
CIRCULATION ENVIROMENT :	
REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95
REQUIREMENTS :	
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

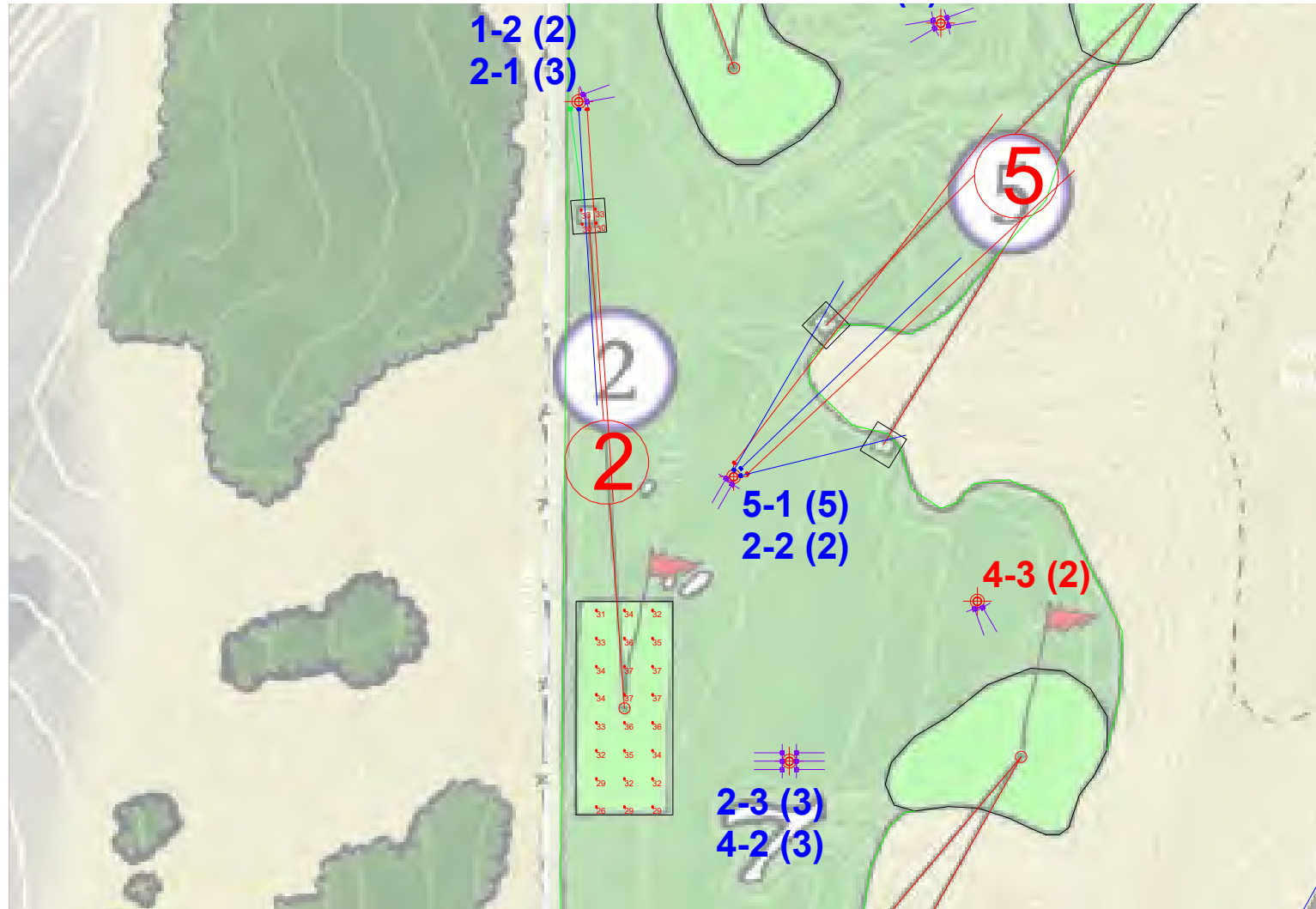
Result : Illuminance Calculation



FIELD TYPE :	
Golf Club (Par 3)	
UNIT :	
DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle
CIRCULATION ENVIROMENT :	
REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95
REQUIREMENTS :	
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary							
Project: 1H							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
1H_TEE	Fc	38.5	40	37	1.04	1.08	3
1H_GREEN	Fc	34.4	41	25	1.37	1.64	3

Result : Illuminance Calculation



FIELD TYPE :
Golf Club (Par 3)

UNIT :

DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle

CIRCULATION ENVIROMENT :

REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95

REQUIREMENTS :

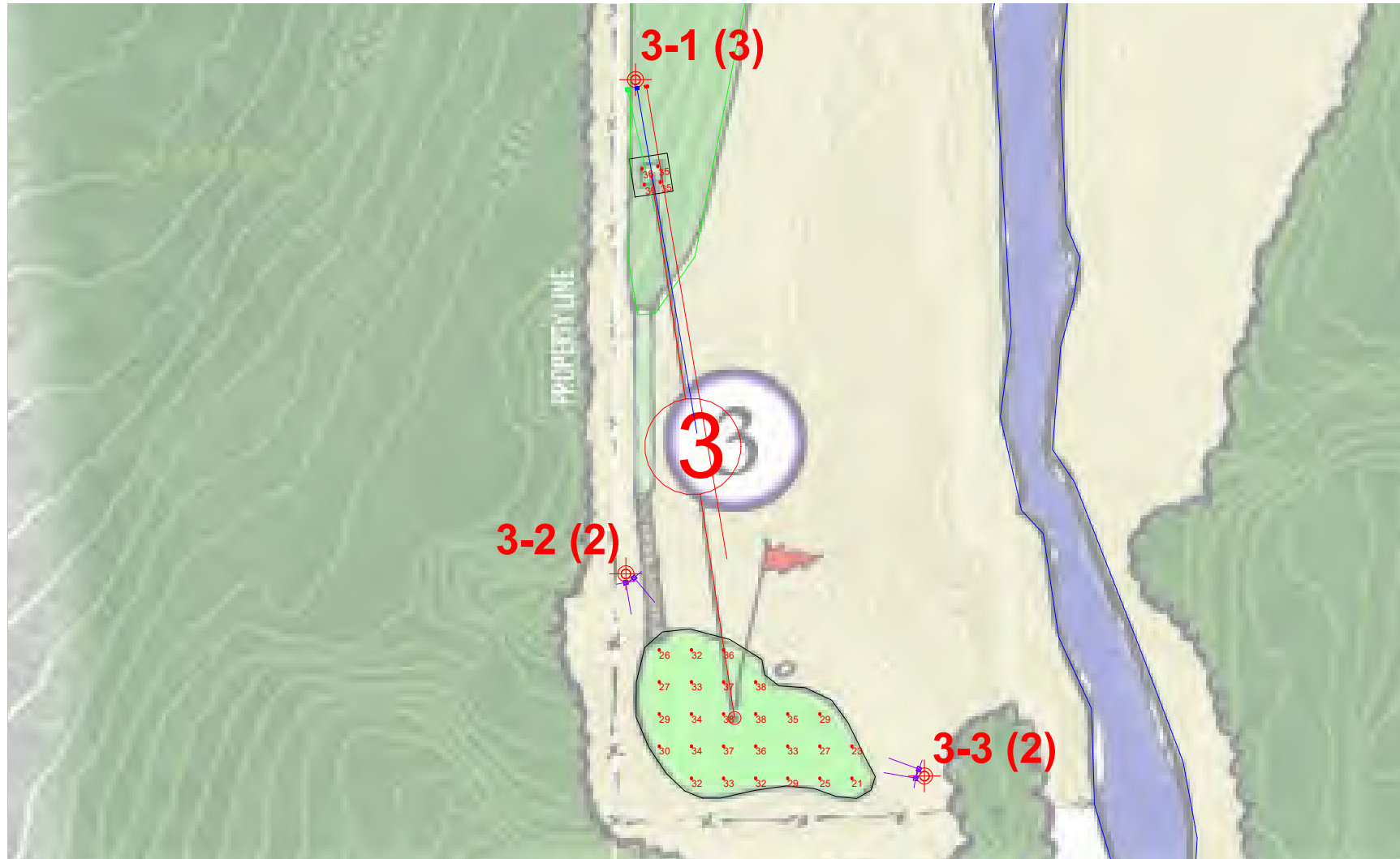
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary

Project: 2H

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
2H_TEE	Fc	31.5	33	30	1.05	1.10	3
2H_GREEN	Fc	33.3	37	26	1.28	1.42	3

Result : Illuminance Calculation



FIELD TYPE :
Golf Club (Par 3)

UNIT :

DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle

CIRCULATION ENVIROMENT :

REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95

REQUIREMENTS :

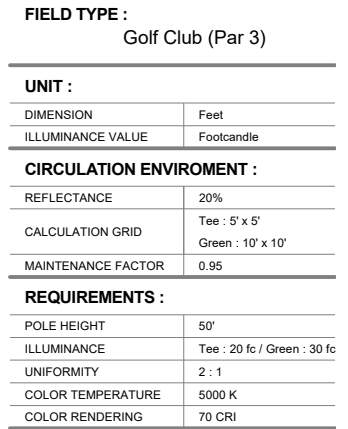
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary

Project: 3H

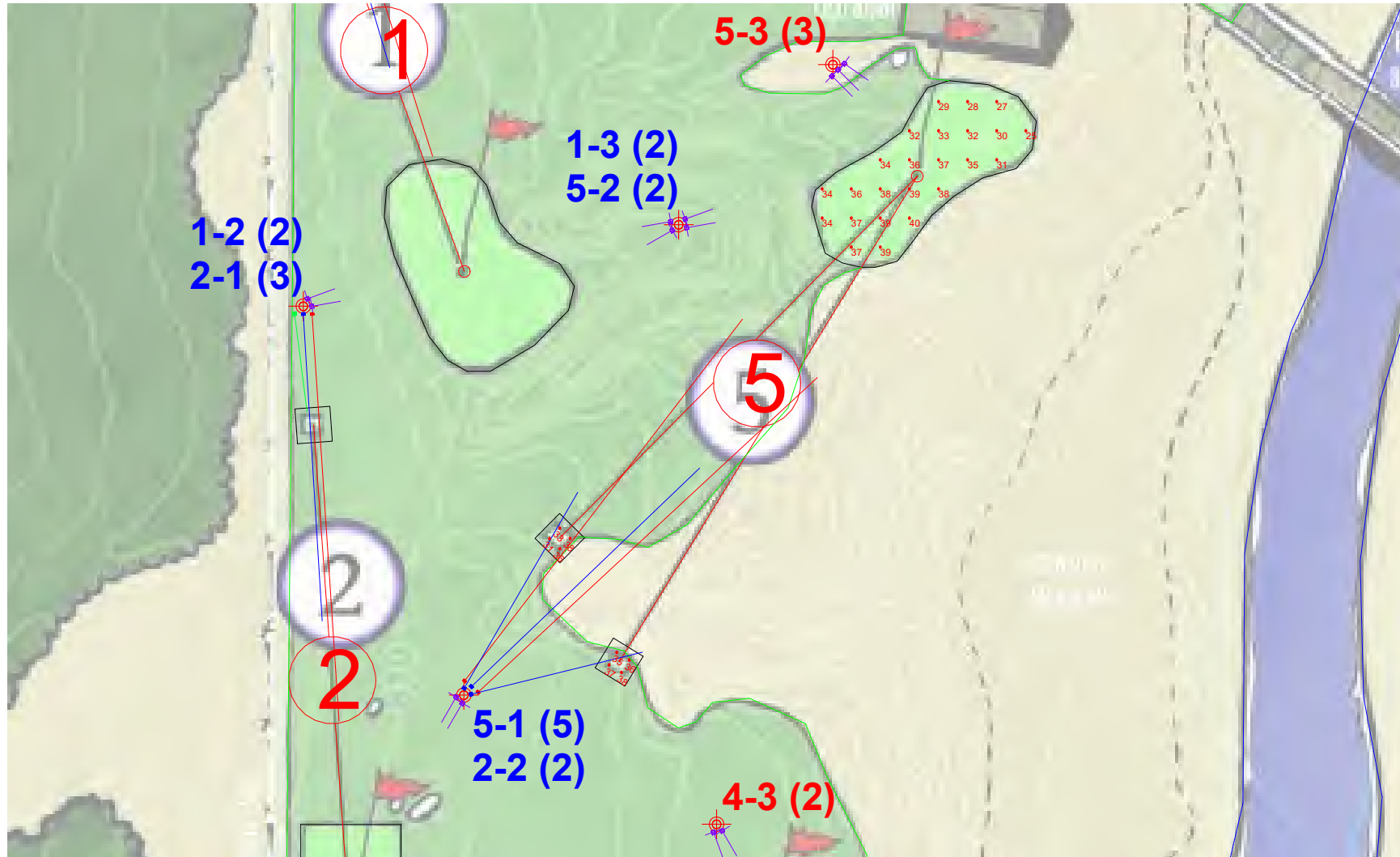
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
3H_TEE	Fc	35.5	36	35	1.01	1.03	3
3H_GREEN	Fc	31.7	38	21	1.51	1.81	3

GigaTera
beyond light



8

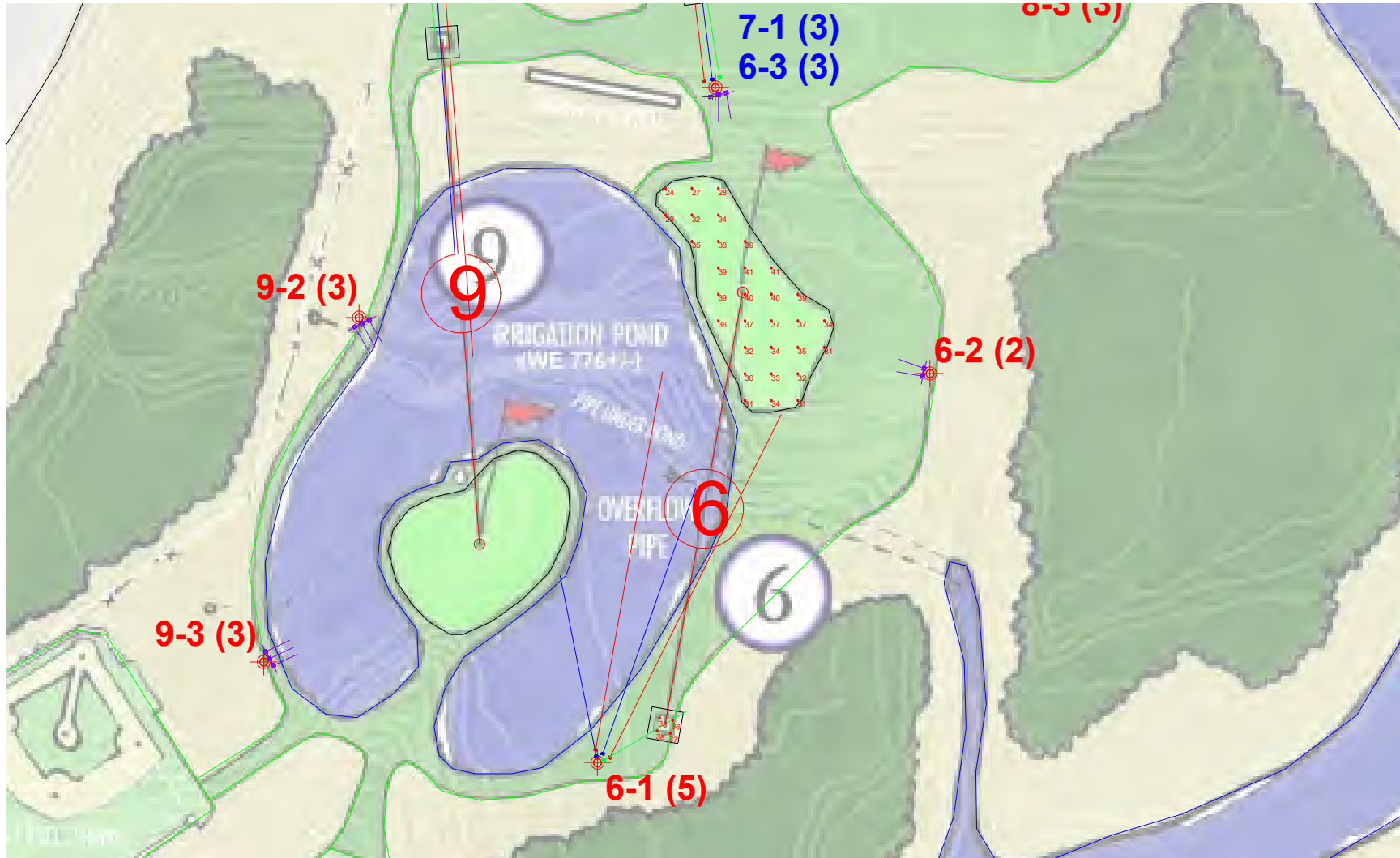
Result : Illuminance Calculation



FIELD TYPE :	
Golf Club (Par 3)	
UNIT :	
DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle
CIRCULATION ENVIROMENT :	
REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95
REQUIREMENTS :	
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary							
Project: 5H							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
5H_Tee 1	Fc	36.5	38	35	1.04	1.09	3
5H_Tee 2	Fc	34.5	38	31	1.11	1.23	3
5H_Green	Fc	34.2	40	25	1.37	1.60	3

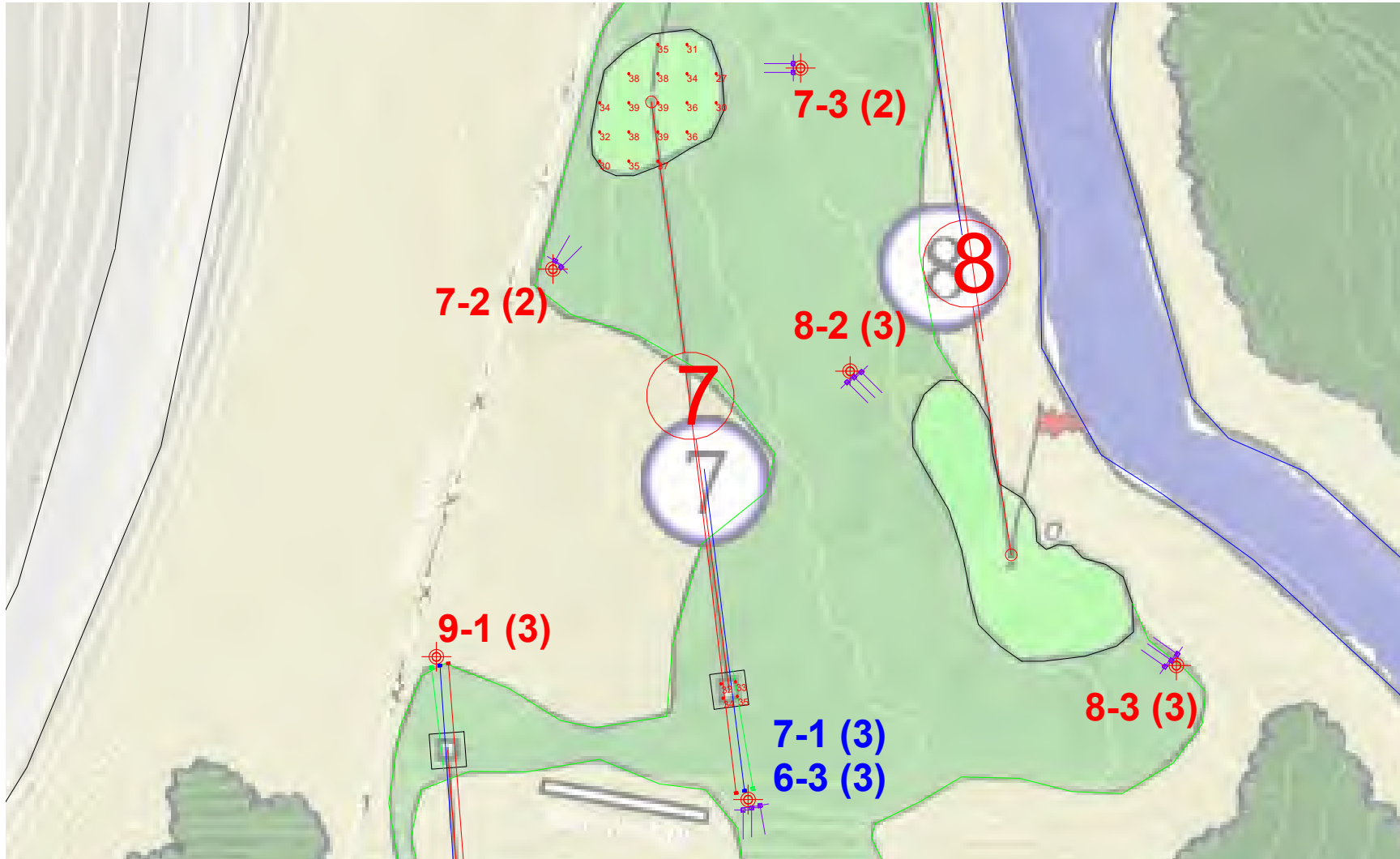
Result : Illuminance Calculation



FIELD TYPE :	
Golf Club (Par 3)	
UNIT :	
DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle
CIRCULATION ENVIROMENT :	
REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95
REQUIREMENTS :	
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary							
Project: 6H							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
6H_Tee	Fc	37.3	38	36	1.03	1.06	3
6H_Green	Fc	34.5	41	24	1.44	1.71	3

Result : Illuminance Calculation



FIELD TYPE :
Golf Club (Par 3)

UNIT :

DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle

CIRCULATION ENVIROMENT :

REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95

REQUIREMENTS :

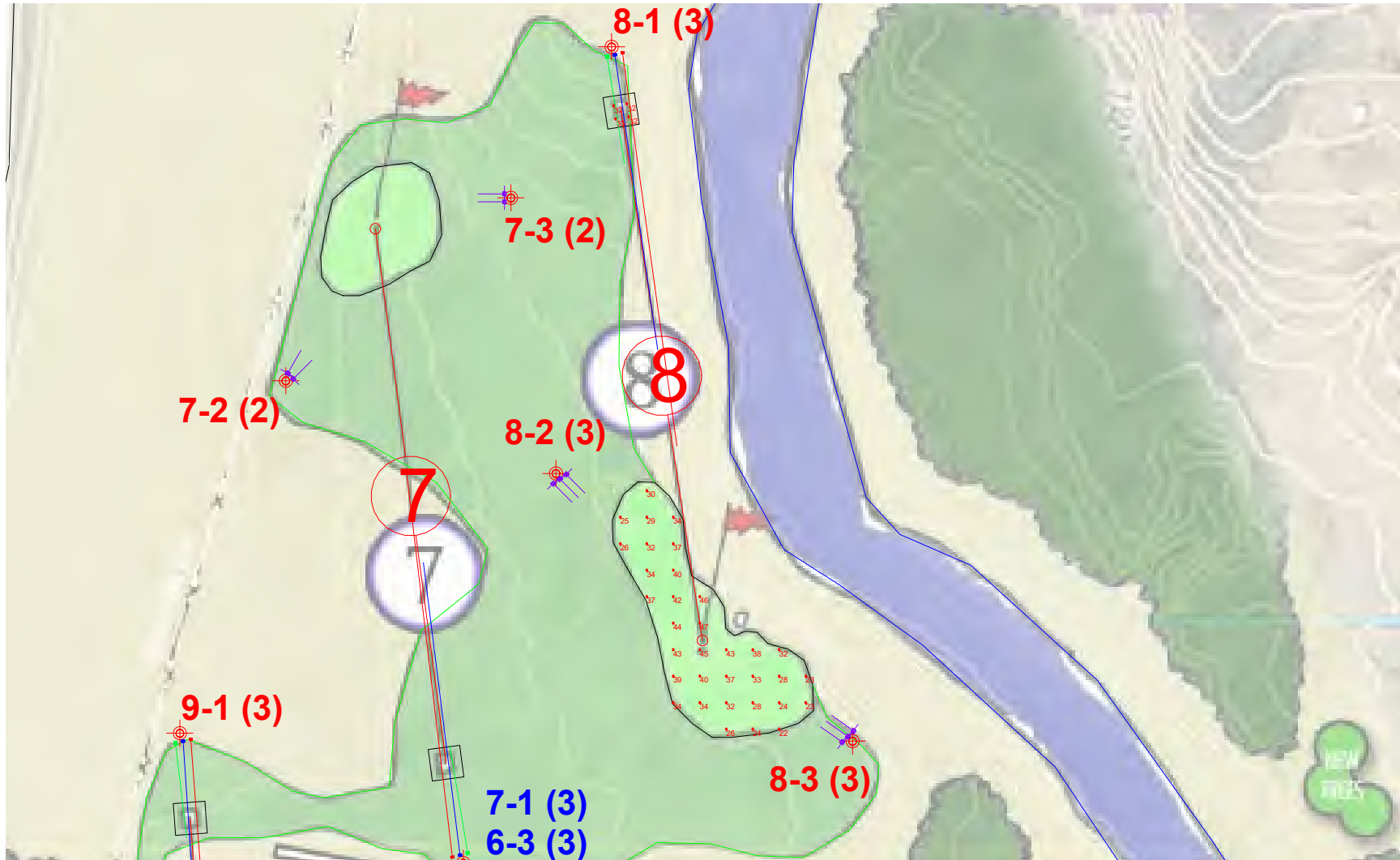
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary

Project: 7H

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
7H_Tee	Fc	33.5	35	32	1.05	1.09	3
7H_Green	Fc	34.9	39	27	1.29	1.44	3

Result : Illuminance Calculation



FIELD TYPE :
Golf Club (Par 3)

UNIT :

DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle

CIRCULATION ENVIROMENT :

REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95

REQUIREMENTS :

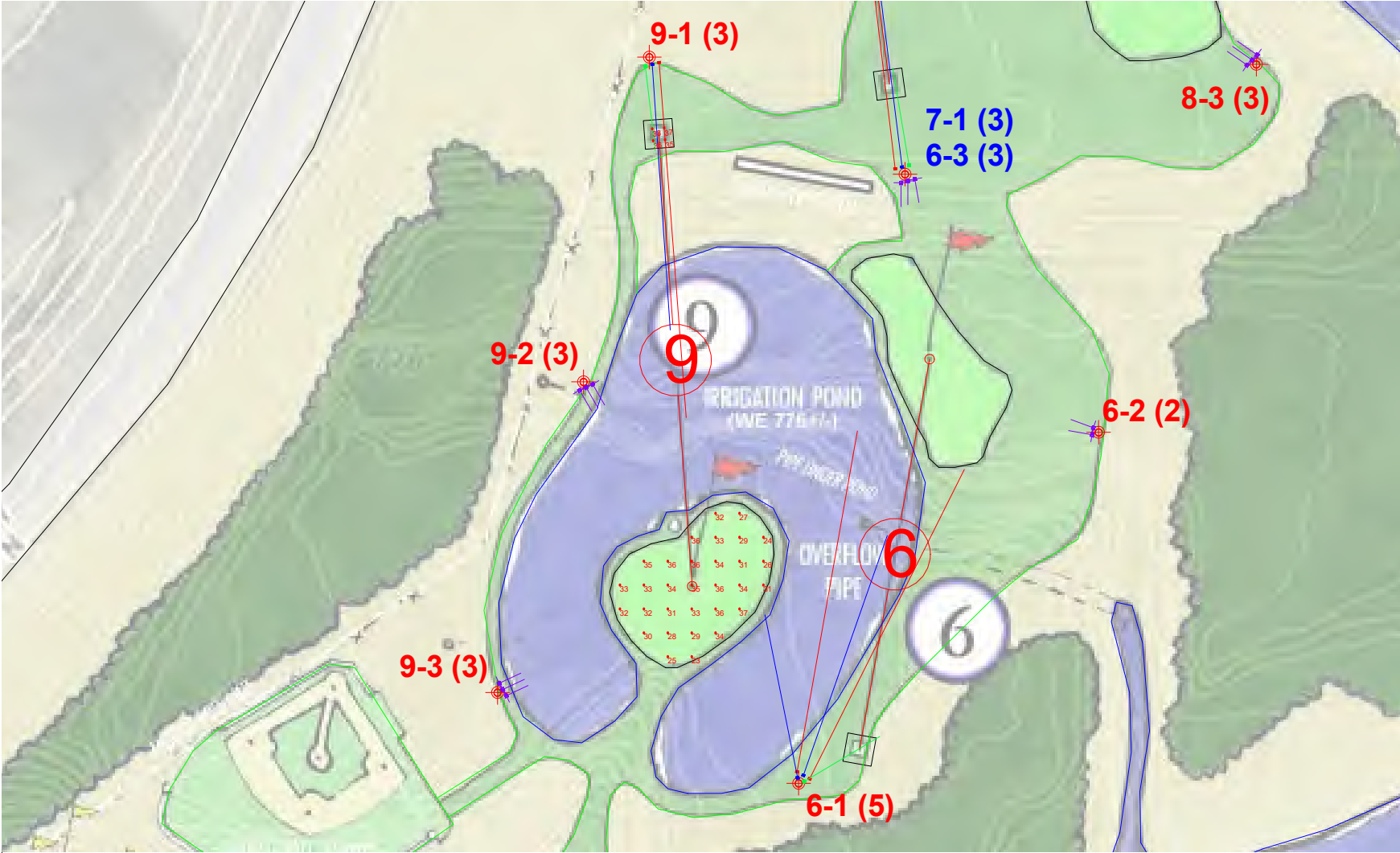
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary

Project: 8H

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
8H_Tee	Fc	32.3	33	32	1.01	1.03	3
8H_Green	Fc	33.9	47	22	1.54	2.14	3

Result : Illuminance Calculation



FIELD TYPE :
Golf Club (Par 3)

UNIT :	
DIMENSION	Feet
ILLUMINANCE VALUE	Footcandle

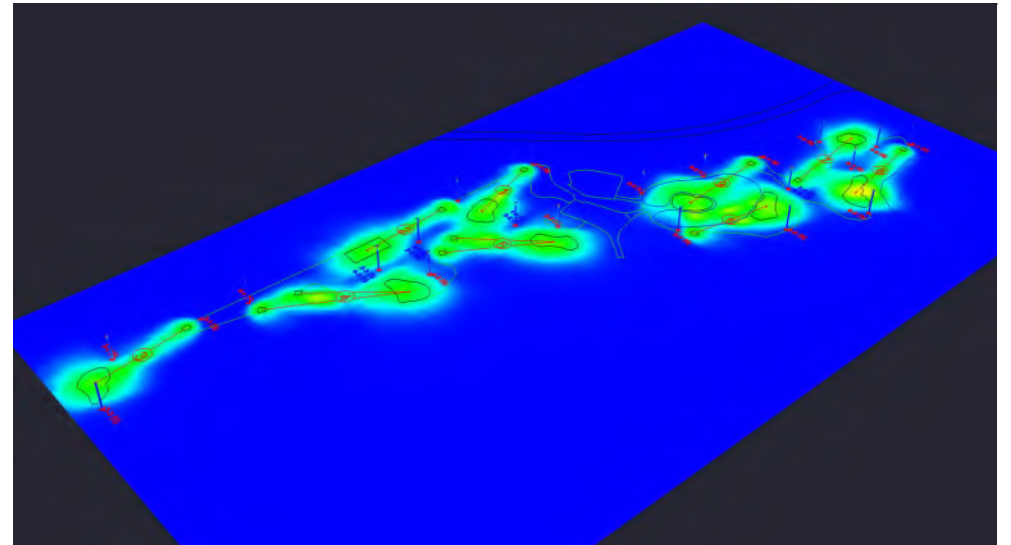
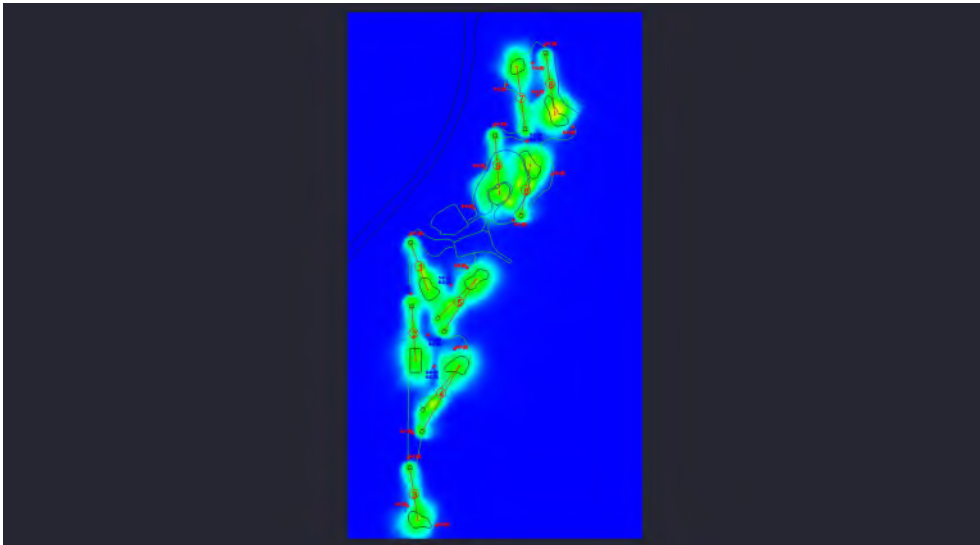
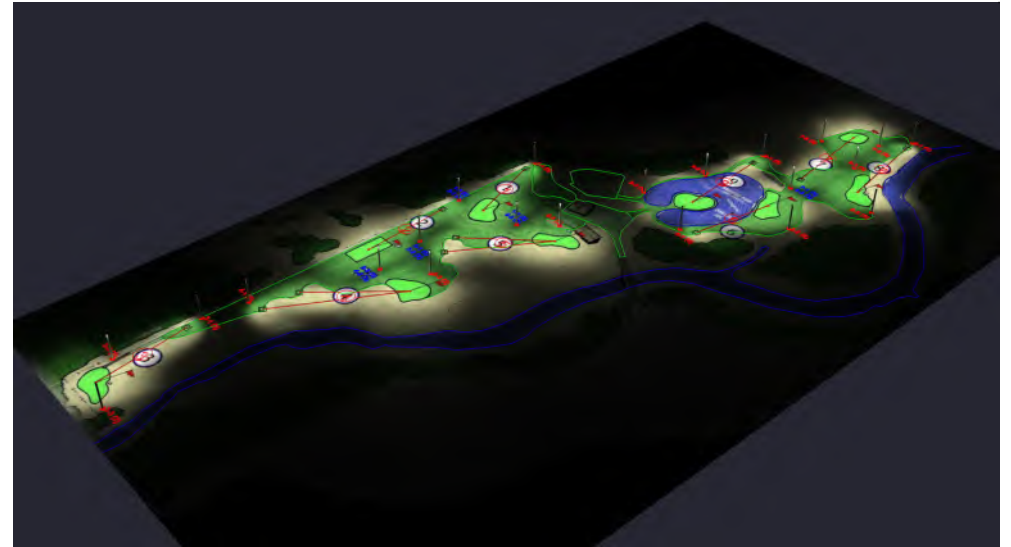
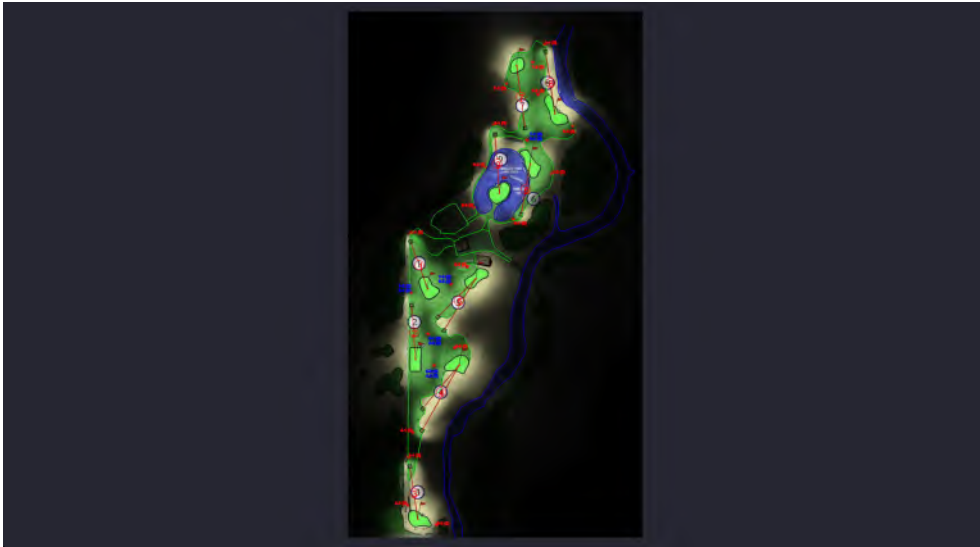
CIRCULATION ENVIROMENT :	
REFLECTANCE	20%
CALCULATION GRID	Tee : 5' x 5' Green : 10' x 10'
MAINTENANCE FACTOR	0.95

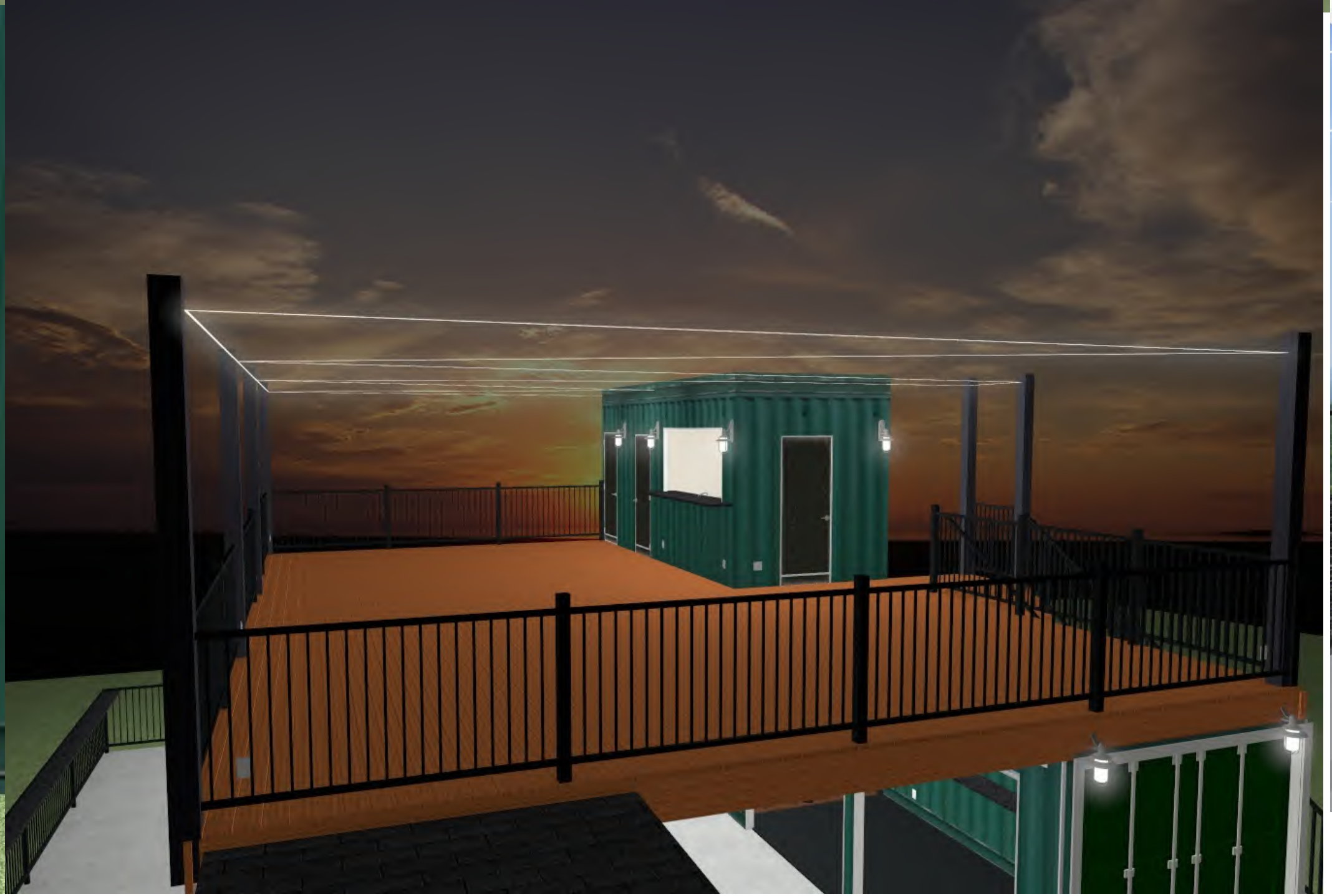
REQUIREMENTS :	
POLE HEIGHT	50'
ILLUMINANCE	Tee : 20 fc / Green : 30 fc
UNIFORMITY	2 : 1
COLOR TEMPERATURE	5000 K
COLOR RENDERING	70 CRI

Calculation Summary

Project: 9H

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
9H_Tee	Fc	36.5	38	35	1.04	1.09	3
9H_Green	Fc	31.8	37	23	1.38	1.61	3





REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISOR

CHIP & PUTT PROJECT
TBD STREET
PARKVILLE, MO

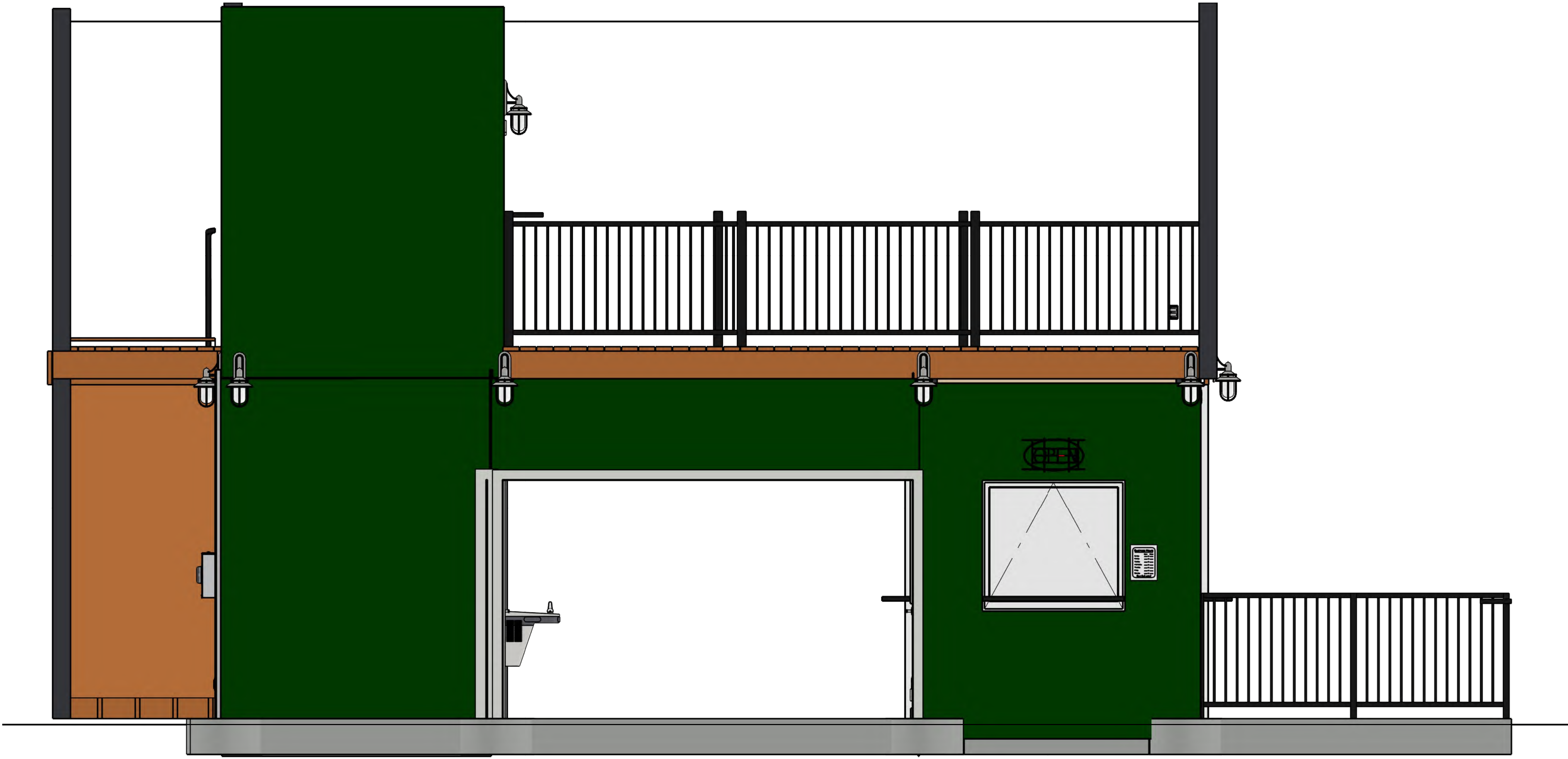
DRAWINGS PROVIDED BY:
NEXT GENERATION
CONSTRUCTION
PO BOX 7201, OVERLAND PARK, KS 66207

DATE:

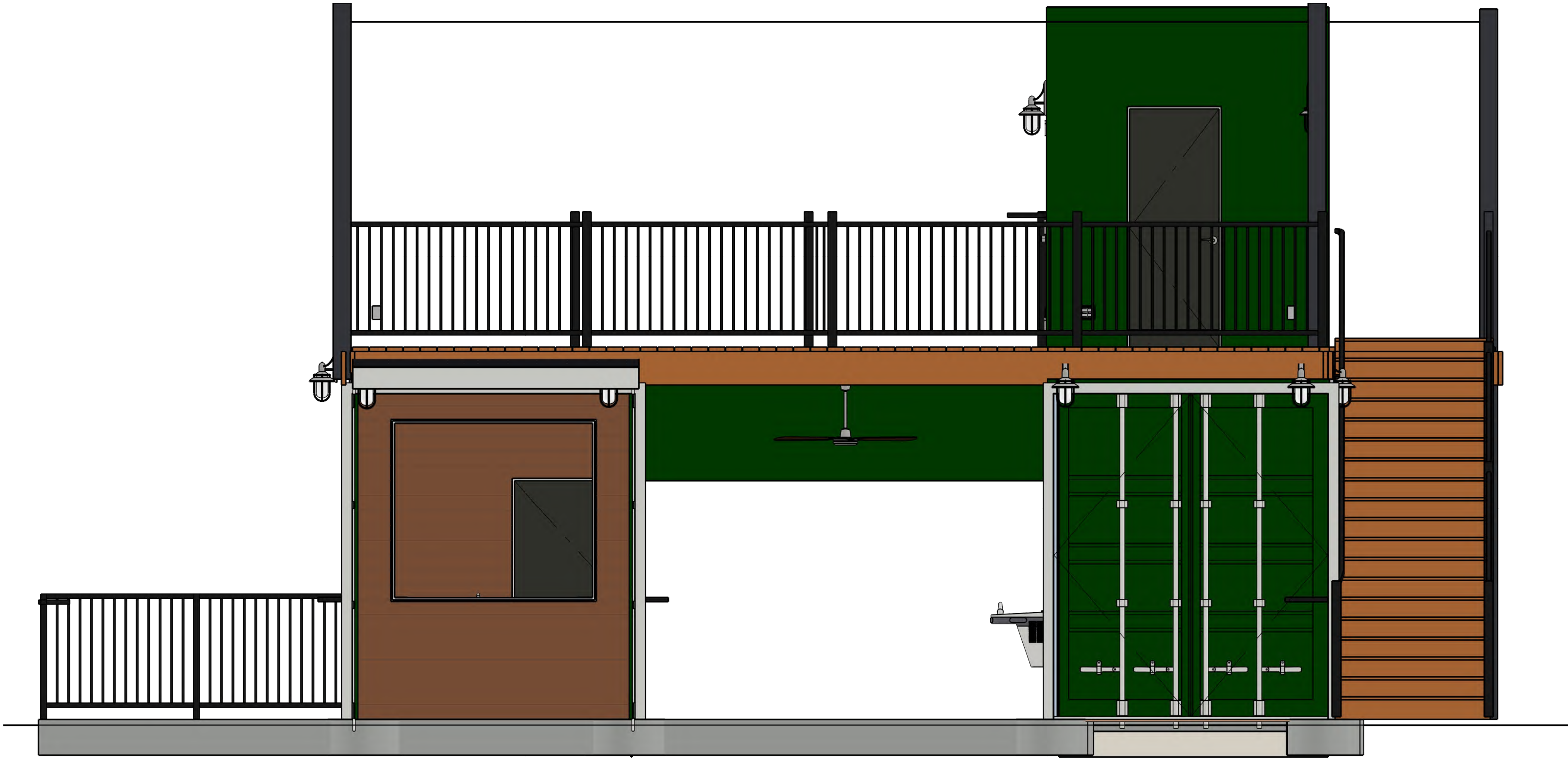
6/9/2025

SCALE:

SHEET:



FRONT ELEVATION



BACK ELEVATION

REVISION TABLE		REVISION BY	DESCRIPTION
NUMBER	DATE		

CHIP & PUTT PROJECT
TBD STREET
PARKVILLE, MO

DRAWINGS PROVIDED BY:
NEXT GENERATION
CONSTRUCTION
PO BOX 7201, OVERLAND PARK, KS 66207

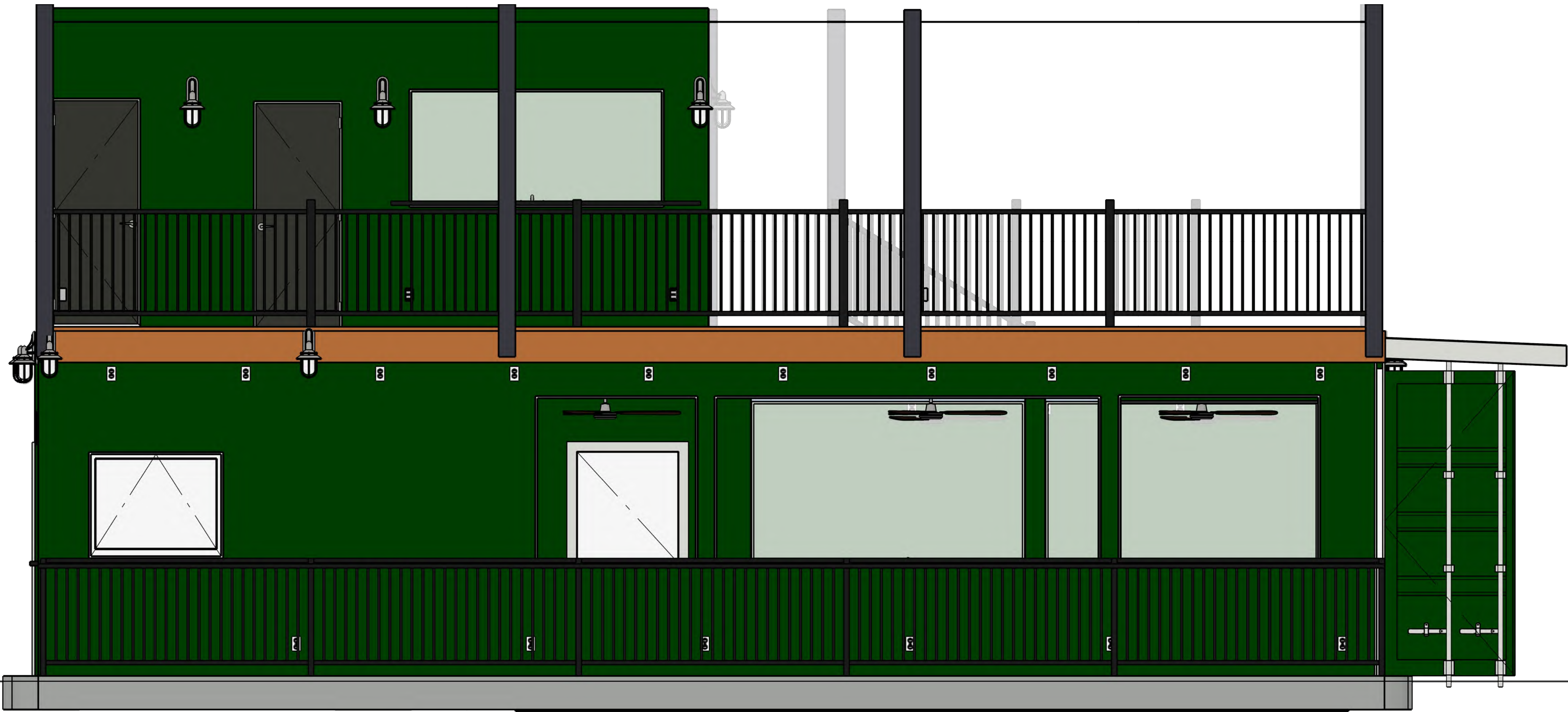
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6/9/2025

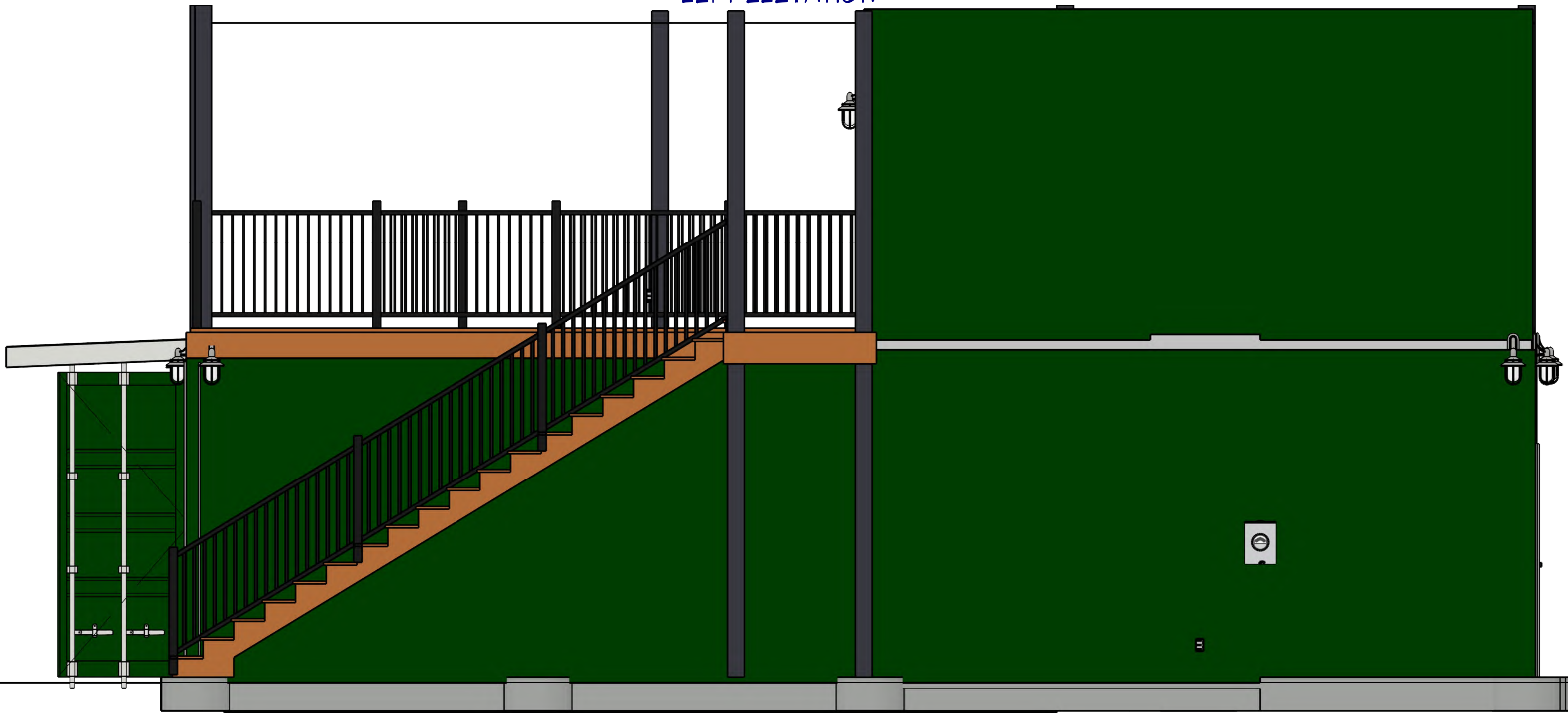
SCALE:

1/3" = 1 '0"

SHEET:



LEFT ELEVATION



RIGHT ELEVATION

REVISION TABLE		NUMBER	DATE	REVISED BY	DESCRIPTION

CHIP & PUTT PROJECT
TBD STREET
PARKVILLE, MO

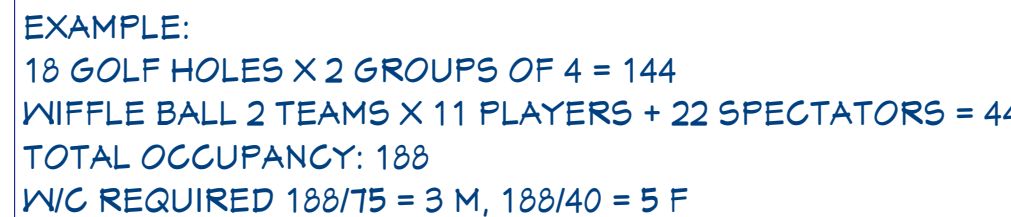
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CONSTRUCTION
PO BOX 7201, OVERLAND PARK, KS 66207

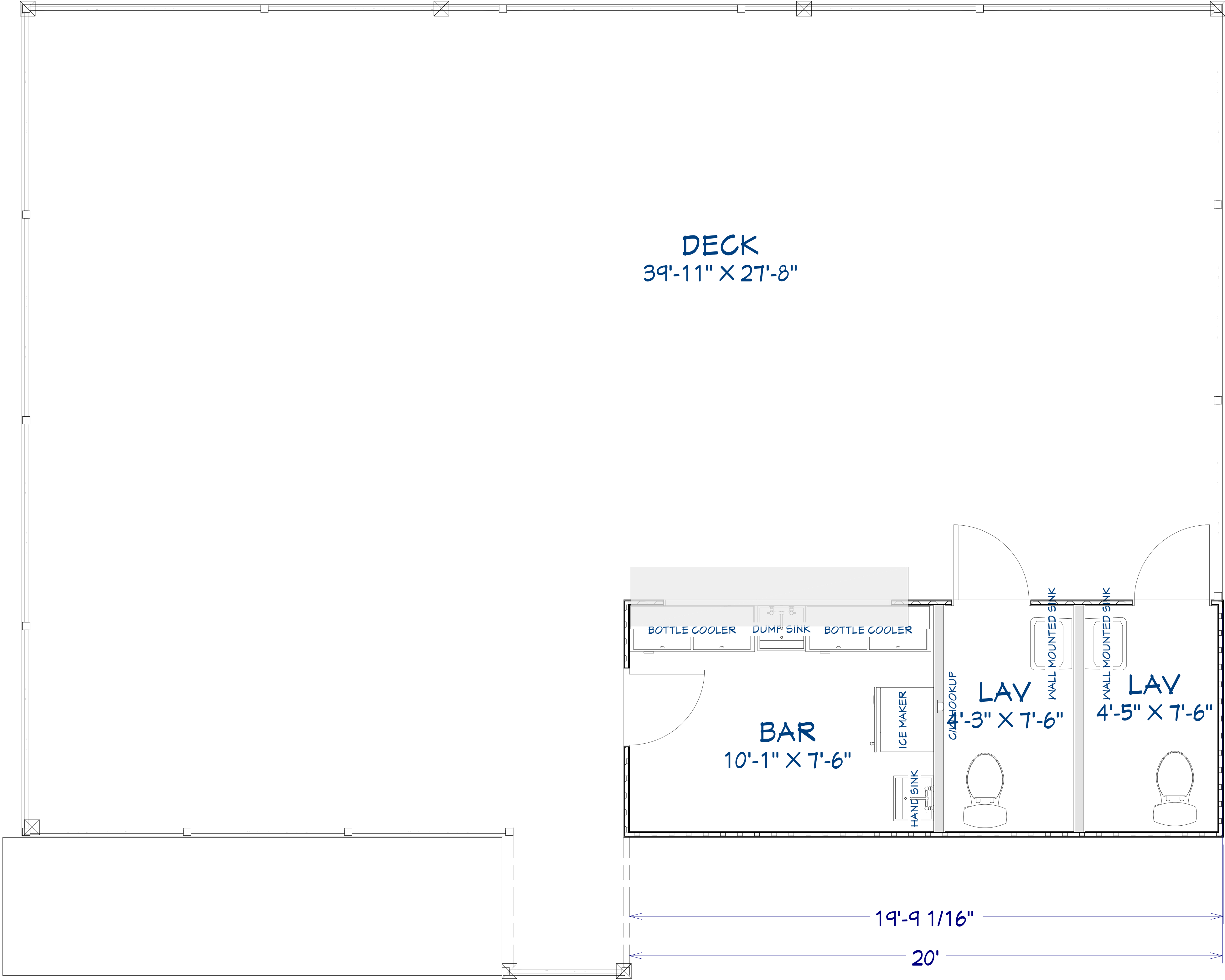
DATE:

6/9/2025

SCALE:

SHEET:





L2 FLOOR PLAN
A100 1/2 IN = 1 FT

REVISION TABLE		
NUMBER	DATE	DESCRIPTION

CHIP & PUTT PROJECT
TBD STREET
PARKVILLE, MO

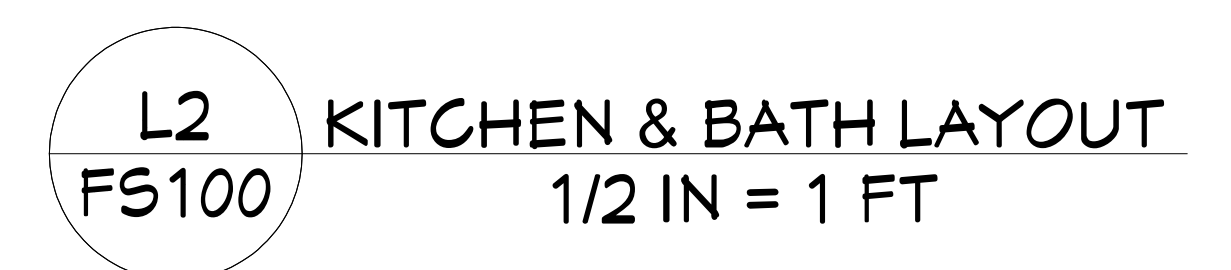
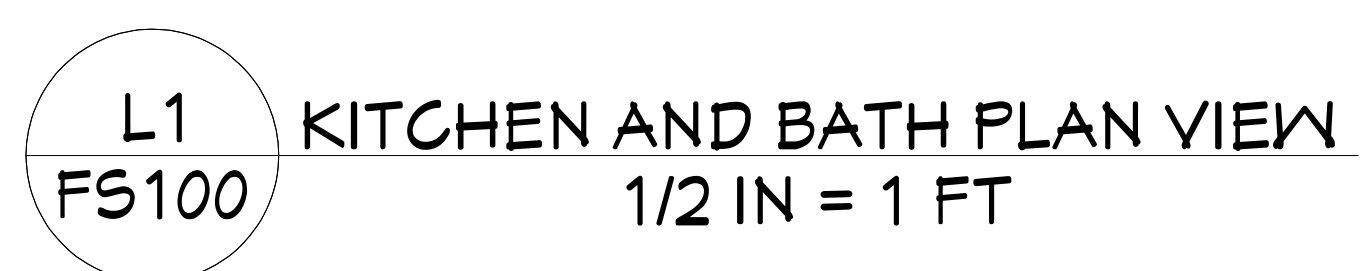
DRAWINGS PROVIDED BY:
NEXT GENERATION
CONSTRUCTION
PO BOX 7201, OVERLAND PARK, KS 66207

DATE:

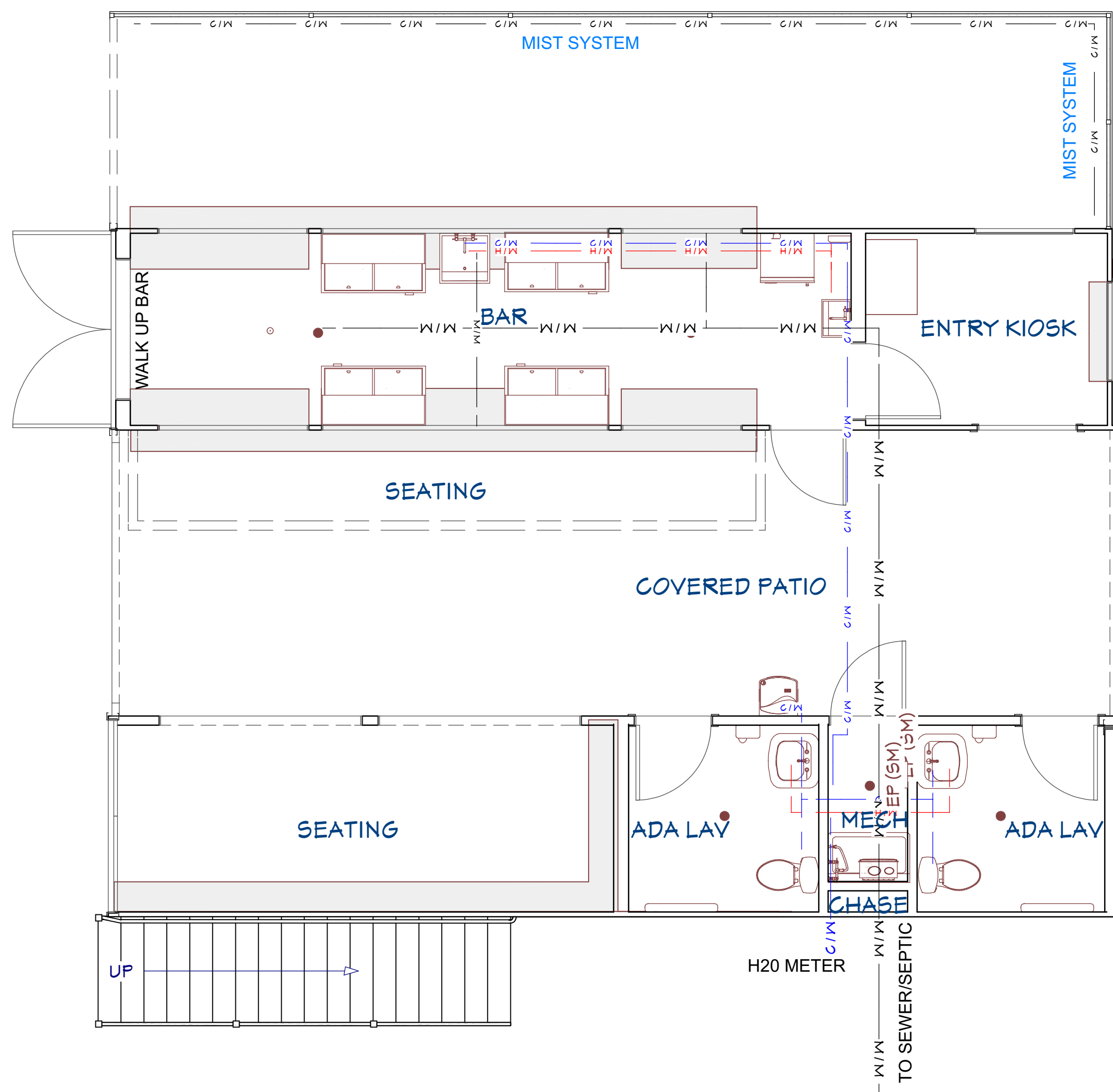
6/9/2025

SCALE:

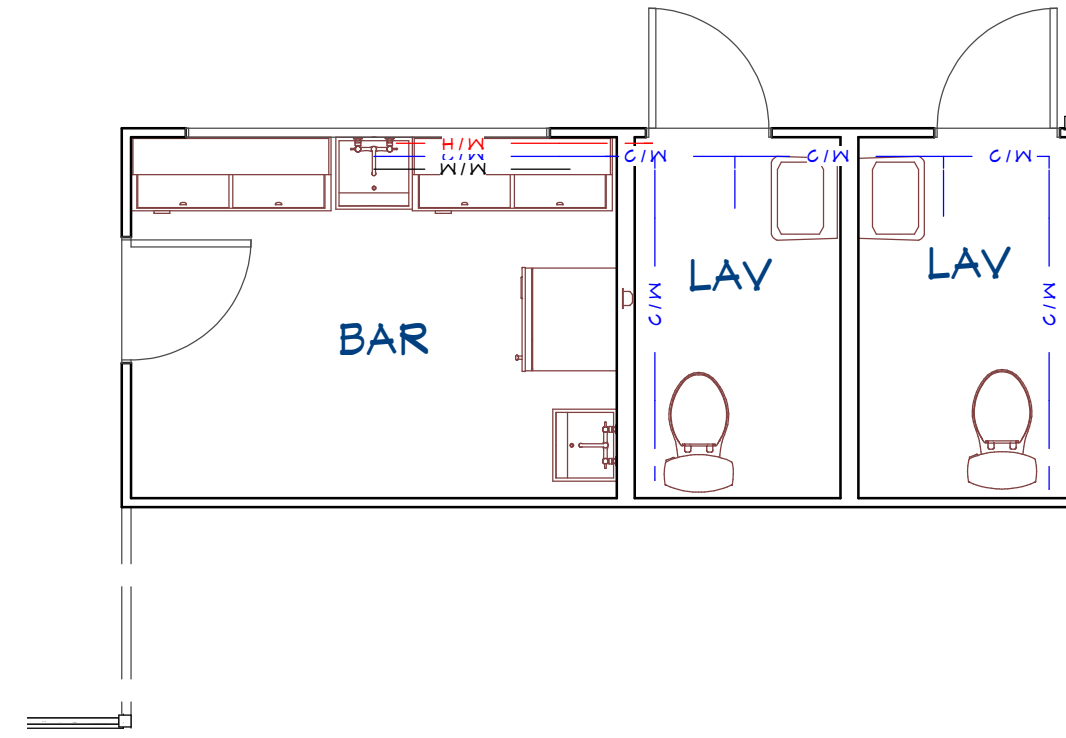
SHEET:



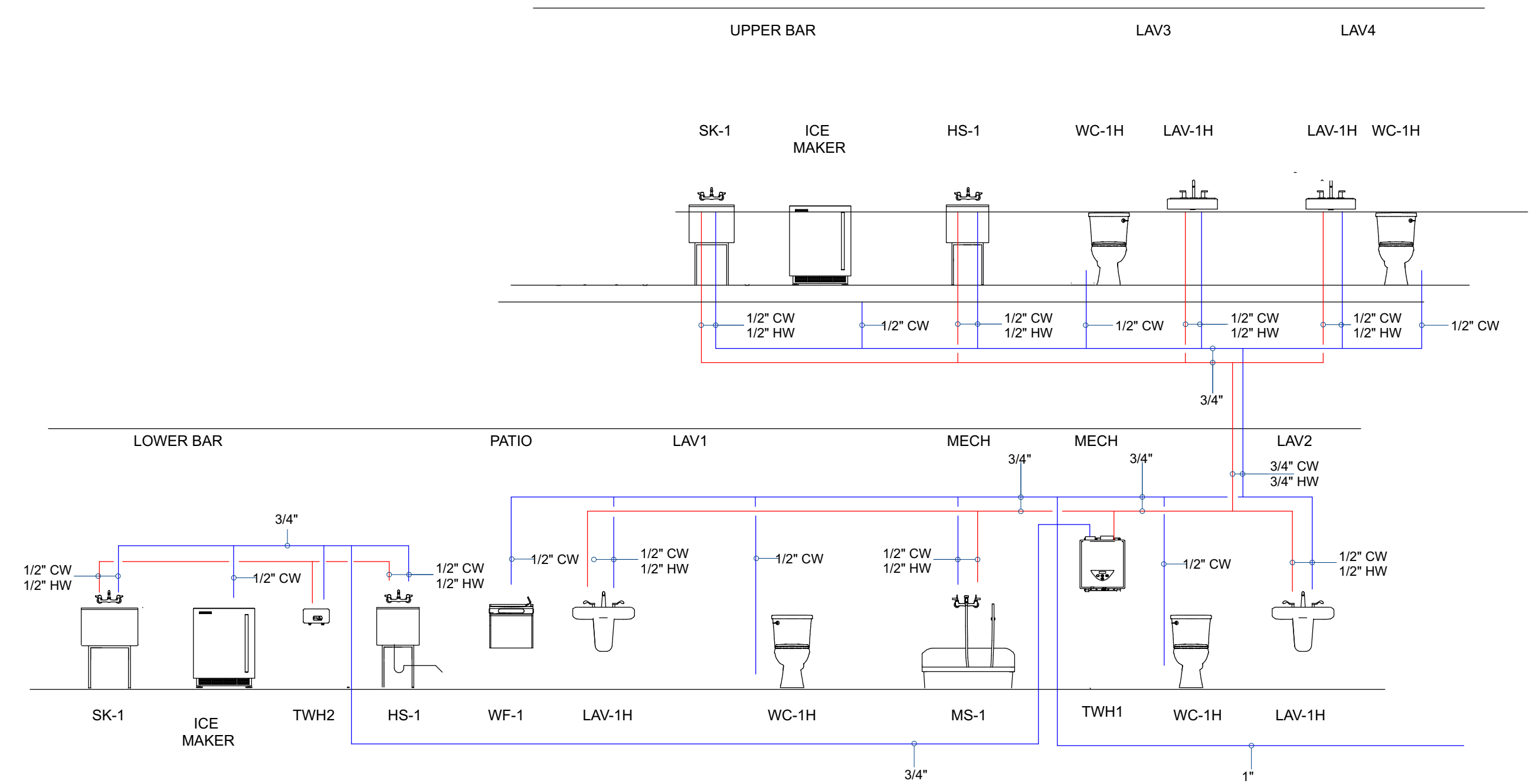
DATE:
9/9/2025
SCALE:
HEET:



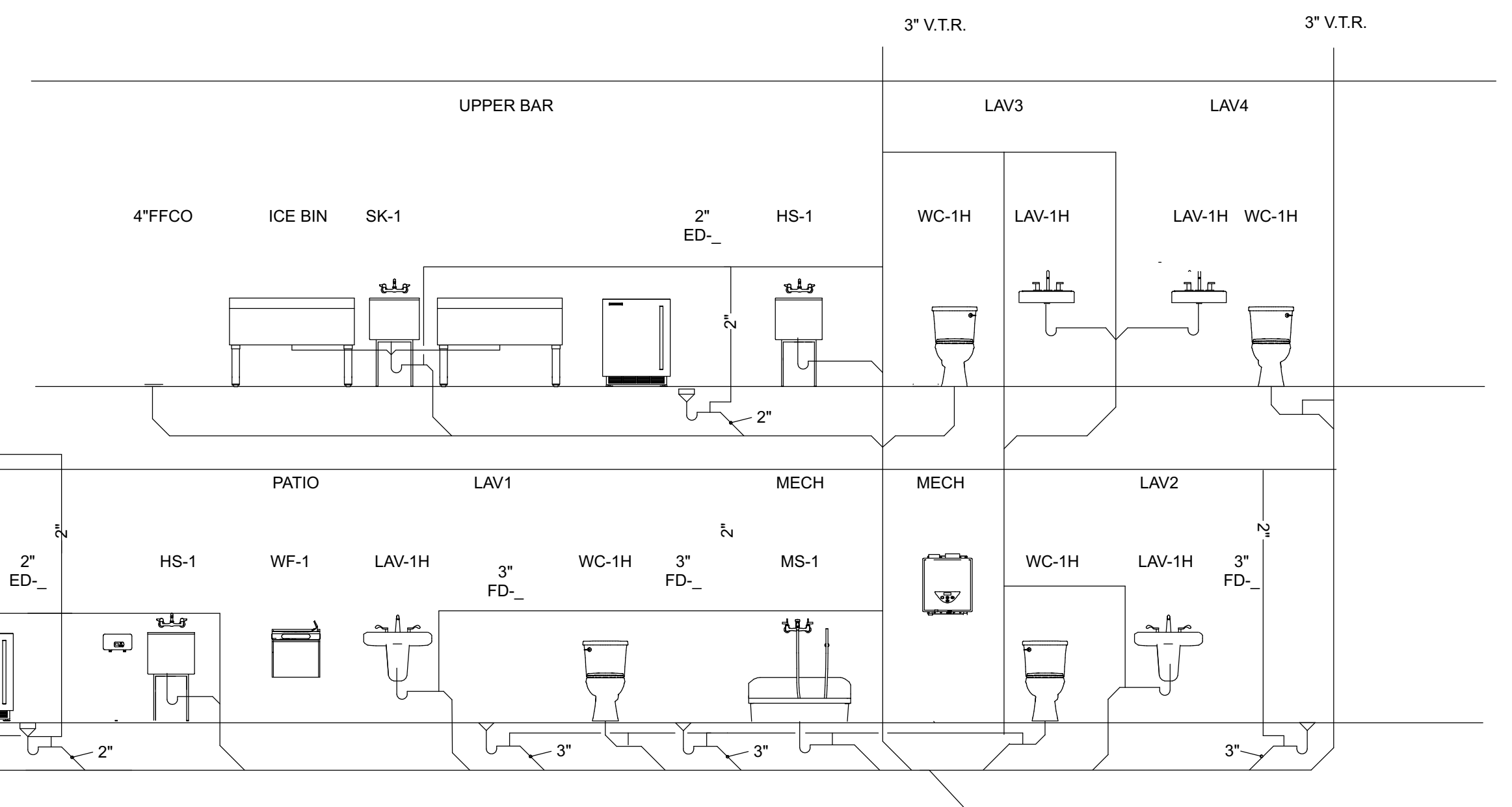
L1 PLUMBING PLAN
P100 1/4 IN = 1 FT



L2 PLUMBING PLAN
P100 1/4 IN = 1 FT



WATER SERVICE RISER DIAGRAMS
NO SCALE



SANITARY WASTE & VENT RISER DIAGRAMS
NO SCALE

REVISION TABLE	
NUMBER	DATE

CHIP & PUTT PROJECT
TBD STREET
PARKVILLE, MO

DRAWINGS PROVIDED BY:
NEXT GENERATION
CONSTRUCTION
PO BOX 7201, OVERLAND PARK, KS 66207

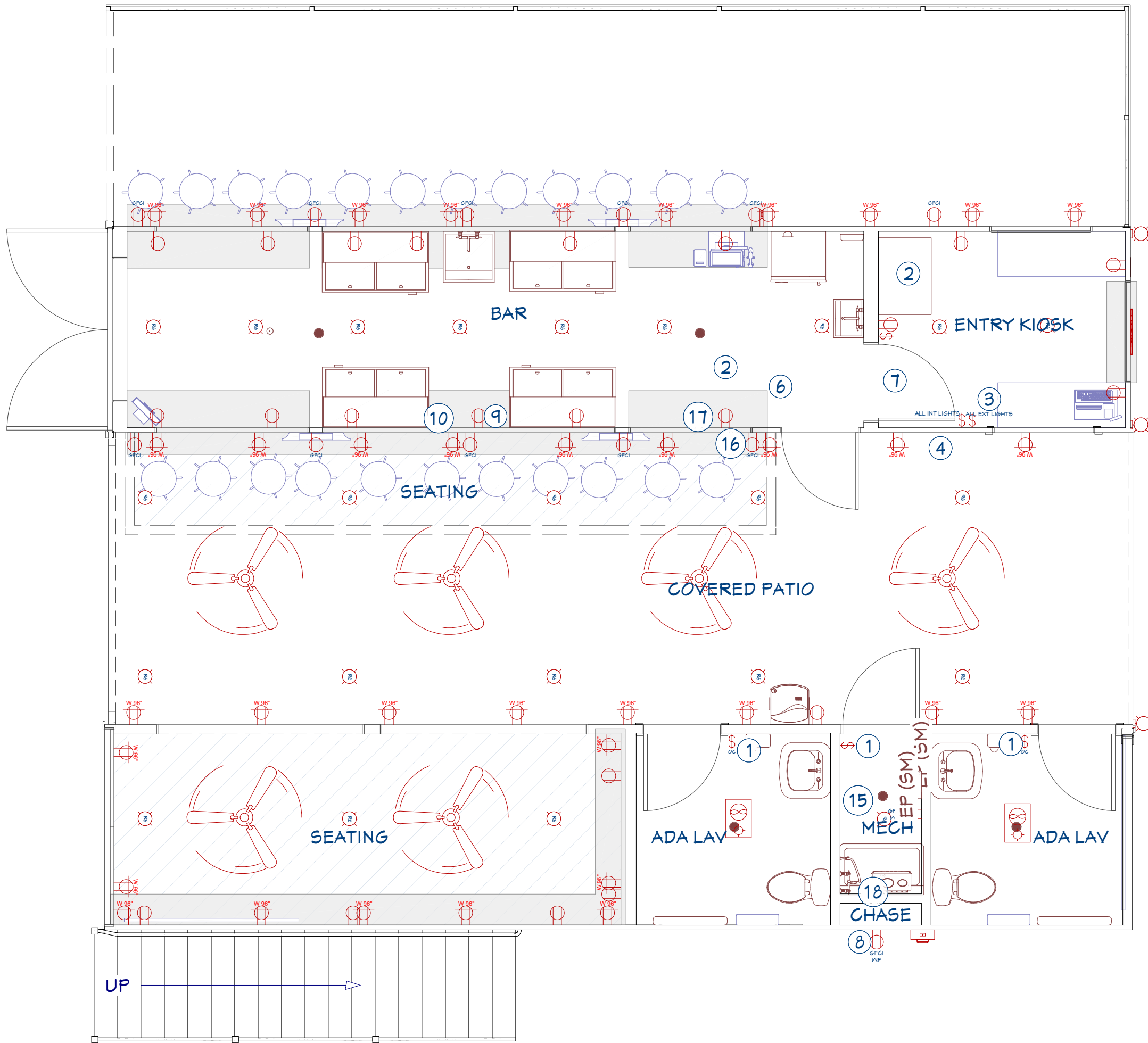
DATE:

6/9/2025

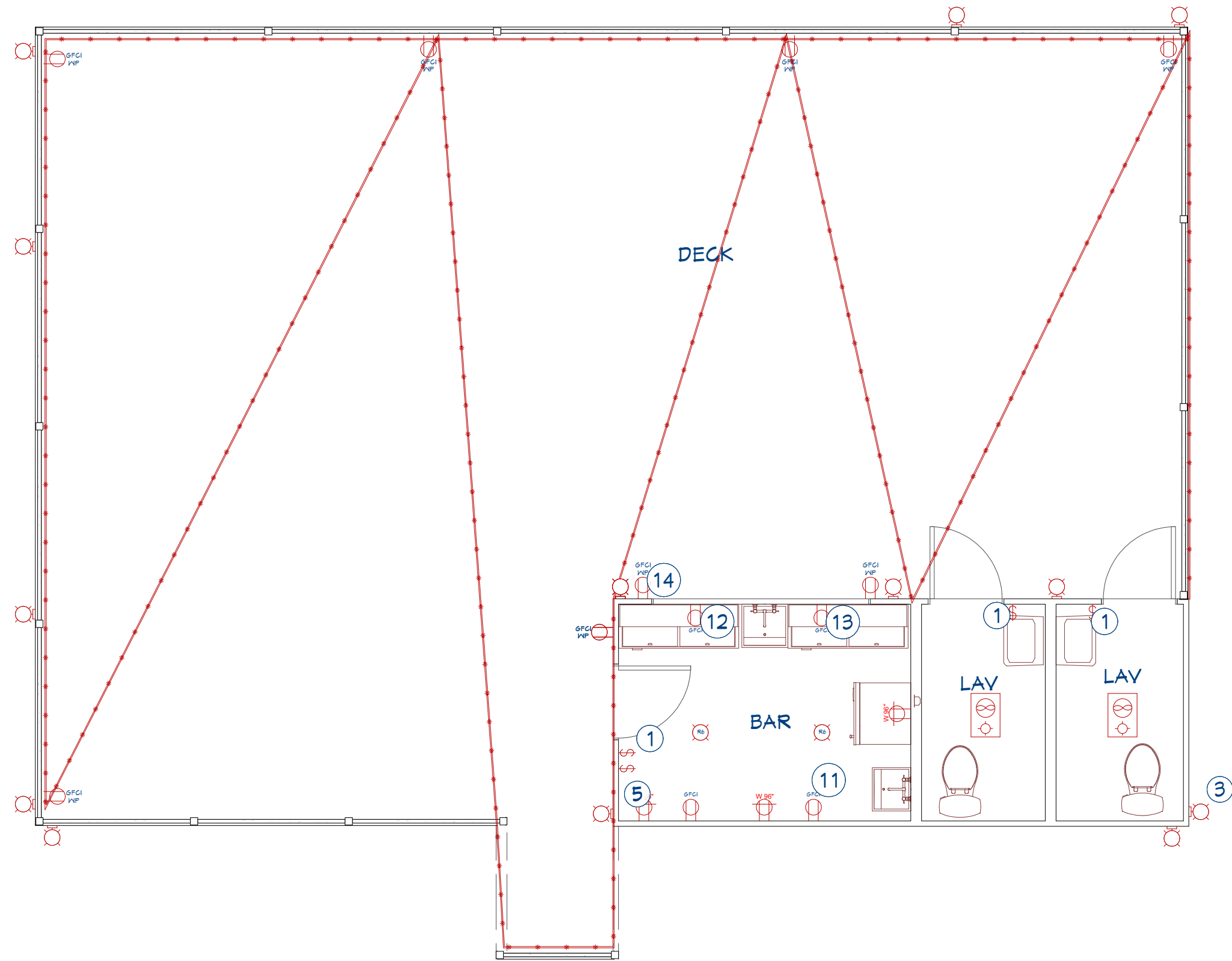
SCALE:

SHEET:

SYMBOL	PERSPECTIVE	DESCRIPTION	COMMENTS
		36K BTU WH	
		WH2	
		WH3	
		WH4	
		HVAC	
		P.O.S WH	
		OUTLETS BAR (LOWER)	
		OUTLETS, BAR (GUEST)	
		OUTLETS BAR (UPPER)	
		OUTLETS, SEATING	
		OUTLETS, DECK	
		OUTLETS, L2 BAR	
		OUTLETS, OFFICE	
		LIGHTS, OFC/BAR	
		LIGHTS, DECK/BAR (L2)	

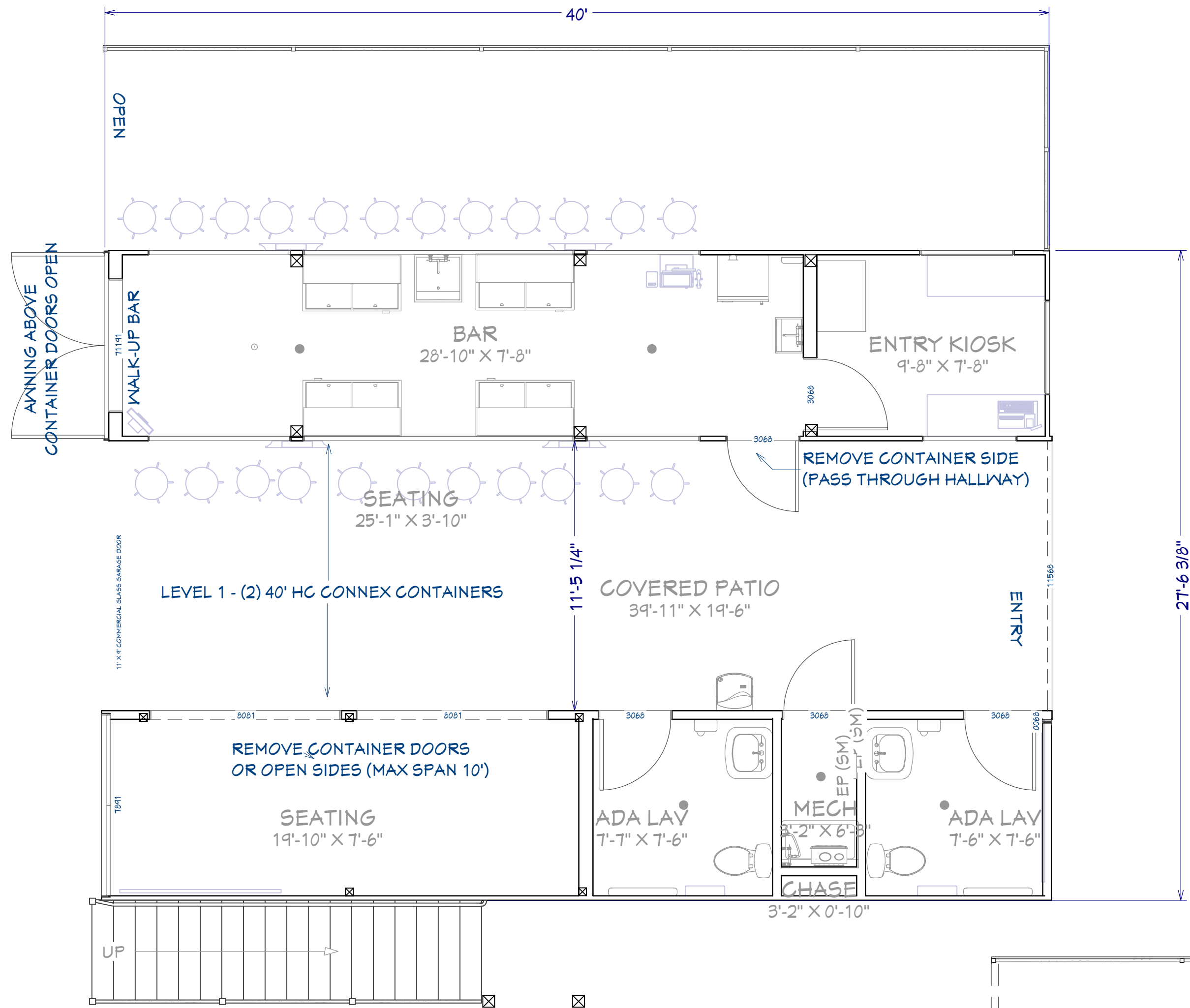


L1 ELECTRICAL PLAN
E100
1/4 IN = 1 FT

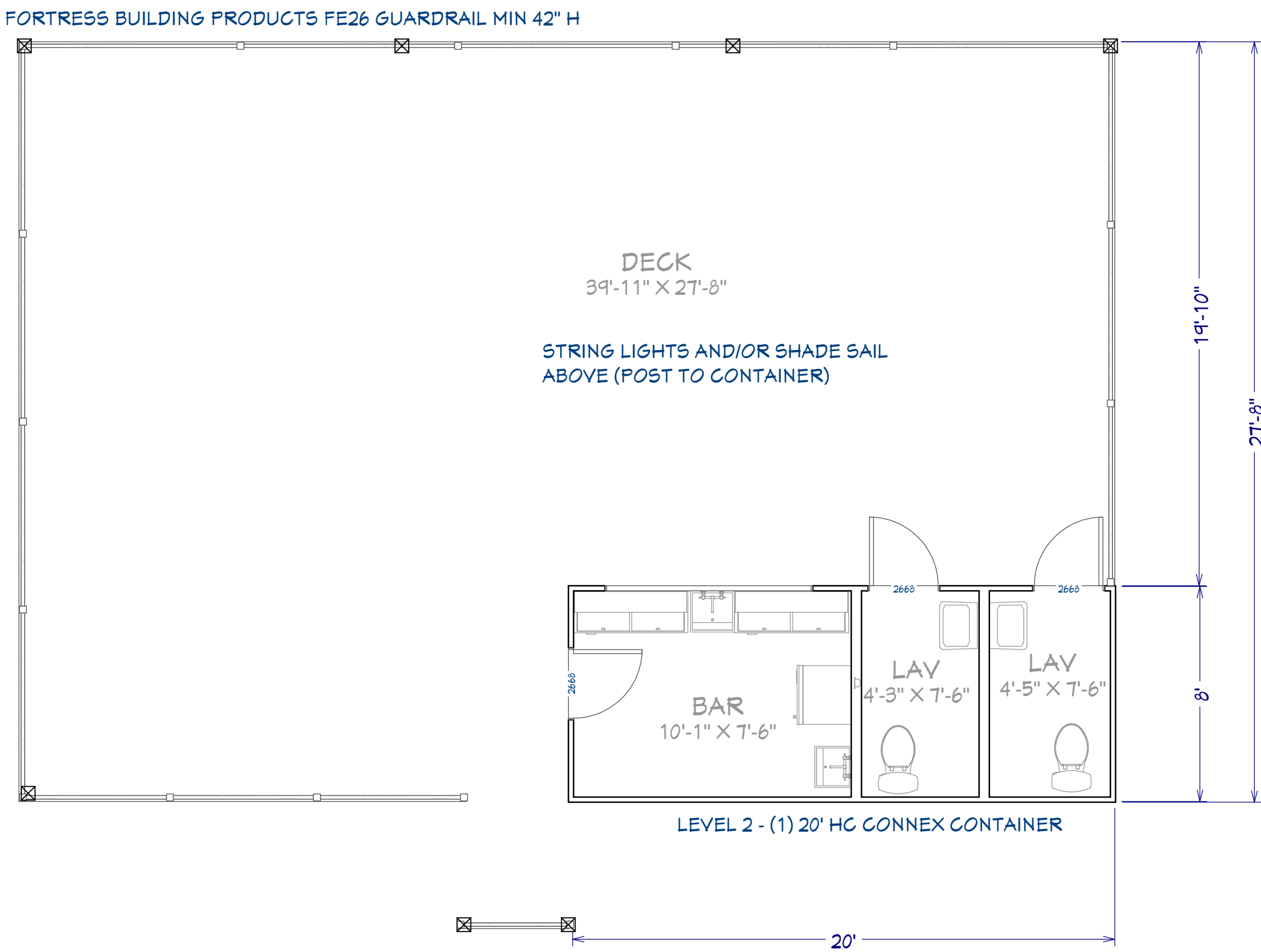


L2 ELECTRICAL PLAN
E100
1/4 IN = 1 FT

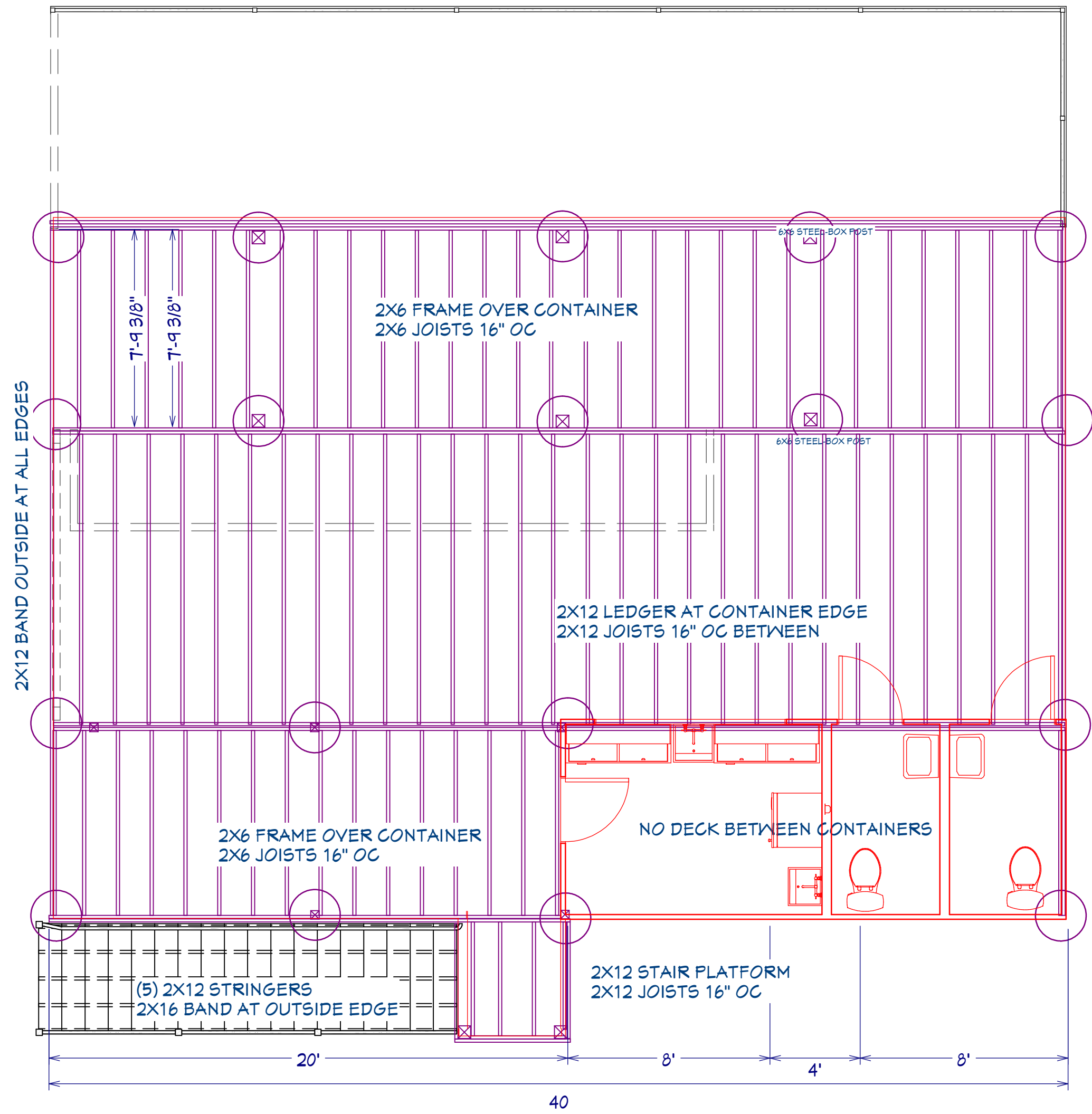
PANEL		P		208		VOLTS		☐ 400		A. BUS		☐ SERVICE ENTRANCE			
				3		PHASE		☐		A. MAIN BREAKER		☐ FEED THRU LUGS			
SECTION		1		OF		1		4		WIRE		☐ MAIN LUGS ONLY			
												☐ SUBFEED LUGS			
CIRC. NO.	CIRCUIT DESCRIPTION	CIRC. BRKR. AMPS	POLES	VA		CIRC. NO.	CIRCUIT DESCRIPTION	CIRC. BRKR. AMPS	POLES	VA					
1	36K BTU WH	30	2	2250	A	2	L1 BATHROOMS	20	1	1200					
3					B	4	L2 BATHROOMS	20	1	1200					
5	WH2	30	2	2250	A	6	L1 ICE MACHINE	20	1	1800					
7					B	8	L2 ICE MACHINE	20	1	1800					
9	WH3	30	2	2250	A	10	CEILING FANS	20	1	1250					
11				2250	B	12	-	-	-	-					
13	WH4	30	2	2250	A	14	-	-	-	-					
15				2250	B	16	-	-	-	-					
17	HVAC	30	2	2250	A	18	-	-	-	-					
19				2250	B	20	-	-	-	-					
21	P.O.S WH	30	2	2250	A	22	-	-	-	-					
23				2250	B	24	-	-	-	-					
25	OUTLETS BAR (LOWER)	20	1	1000	A	26	-	-	-	-					
27	OUTLETS, BAR (GUEST)	20	1	1000	B	28	-	-	-	-					
29	OUTLETS BAR (UPPER)	20	1	1000	A	30	-	-	-	-					
31	OUTLETS, SEATING	20	1	1000	B	32	-	-	-	-					
33	OUTLETS, DECK	20	1	1000	A	34	-	-	-	-					
35	OUTLETS, L2 BAR	20	1	1000	B	36	-	-	-	-					
37	OUTLETS, OFFICE	20	1	1000	A	38	-	-	-	-					
39	LIGHTS, OFC/BAR	20	1	1000	B	40	-	-	-	-					
41	LIGHTS, DECK/BAR (L2)	20	1	1200	A	42	-	-	-	-					
TOTAL CONNECTED LOAD				DEMAND FACTORS:								NEUTRAL BUS			
- VA				LIGHTS @ 125 % =				2750 VA				100 %			
				RECEPTS @ 100 % =				7000 VA				POWER FACTOR			
				RECEPTS @ 50 % =				- VA				100 %			
☐ SURFACE MOUNTED				OTHER @ 100 % =				34,250 VA				DEMAND CURRENT			
☐ FLUSH MOUNTED				TOTAL DEMAND LOAD =				44,000 VA				- AMP			



LEVEL 1 CONTAINER PLAN



LEVEL 2 CONTAINER PLAN



DECK FRAMING PLAN

REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISION BY

CHIP & PUTT PROJECT
TBD STREET
PARKVILLE, MO

DRAWINGS PROVIDED BY:
NEXT GENERATION
CONSTRUCTION
PO BOX 7201, OVERLAND PARK, KS 66207

DATE:

6/9/2025

SCALE:

1/3" = 1' 0"

SHEET:



Staff Analysis

Agenda Item: 6.A and 6.B

Proposal: Application for Subdivision – Preliminary Plat and Application for Subdivision – Final Plat for Hills at The National, a residential development consisting of 52 lots for single-family homes and 12 tracts of open space on 49.22 acres (more or less), generally located between NW Crooked Rd and N National Dr in Parkville, MO 64152.

Staff

Recommendation: Approval (with conditions)

Case No: PZ 2025-11; PZ 2025-12

Applicant & Owners: The Hills at The National, LLC

Location: Generally located east of NW Crooked Rd and south of The National 12th Plat

Zoning: “R-2-P” Planned Single-Family Residential (pending Zoning Map Amendment Case No. PZ23-17B)

Parcel #s: Platte County parcels #20-5.0-21-100-001-038.000, 20-5.0-22-200-000-008.000, 20-5.0-21-400-001-001.000, 20-5.0-22-300-002-004.000, and 20-5.0-21-400-001-002.000

Exhibits:

- A. This Staff Analysis
- B. Applications
 - 1. Application for Subdivision – Preliminary Plat (Case No. PZ 2025-11)
 - 2. Application for Subdivision – Final Plat (Case No. PZ 2025-12)
- C. Subject Area Property Map
- D. Preliminary Plat of Hills at The National (prepared by Schlagel; dated May 8, 2025, revised June 5, 2025)
- E. Final Plat of Hills at The National (prepared by Schlagel; dated May 8, 2025, revised June 5, 2025)
- F. Public Comment Letter from Neighbors
- G. Public Comment Letter from Homoly Homes
- H. Additional exhibits as may be presented at the public hearing

By Reference:

- A. Parkville Municipal Code, Title IV – Development Code in its entirety (<https://www.ecode360.com/PA3395-DIV-05>)
 - 1. Section 403.040 Master Planned Development
 - 2. Chapter 404 Subdivision Regulations
 - 3. Section 405.010 Zoning Districts Established
 - 4. Section 405.020 Districts & Uses

5. Section 405.030 Standards Applicable to All Districts
B. Parkville 2040 Master Plan
(<http://parkvillemo.gov/departments/community-development-department/master-plan/>)

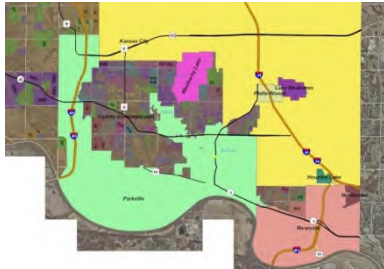
Comments

Received:

The Community Development Department has received two (2) letters of public comment relevant to this application from a prior application. (Exhibits F & G)

Overview

The applications propose a preliminary plat and final plat for The Hills at The National, a residential development consisting of 52 lots for single-family homes and 12 tracts of open space on 49.22 acres (more or less) generally located between NW Crooked Rd and N National Dr in Parkville, MO 64152.



Legend

Subject Property Area



Subject Property Area Map

The applications propose creating right-of-way to support a new public street, NW Crooked Dr, internal circulation and access off NW Crooked Rd to serve the development. The existing Sampell Cemetery on the property has been surveyed and is proposed to be fenced off and privately maintained. The development is proposed to have a phased approach, with two phases planned. The preliminary plat shows both proposed phases while the proposed final plat is only for phase one. The subject property is currently undeveloped.

The applicant has previously submitted an application for voluntary annexation of a portion of the property to bring the development in to the corporate limits of the City of Parkville. In conjunction with the annexation, the applicant has applied for a zoning map amendment to rezone the newly annexed property from Platte County agriculture land to City of Parkville “R-2-P” Planned Single-Family Residential to allow for the development of single-family homes and coordinate with the surrounding subdivisions of The National which share the “R-2-P” zoning designation. The petition for voluntary annexation, application for rezoning, and the applications for preliminary and final plat are contingent upon one another, i.e. the applicant does not wish to annex into the City should the property not be rezoned and the property cannot be rezoned if it is not annexed.

These applications have been reviewed against the City of Parkville’s Development Code, including Chapter 404 Subdivision Regulations, Chapter 405 Zoning Districts and Use Standards, Chapter 407 Site and Landscape Design Standards, and Chapter 408 Access and Parking Standards. Additionally, the applications have been reviewed against the guidance contained in the *Parkville 2040 Master Plan* (2021). Staff’s findings and analysis are provided below.

Subdivision – Preliminary Plat – Review and Analysis

Plat applications are required to establish or alter the legal boundaries of property, and to account for public facilities, infrastructure, development patterns, public realm design or other long-range growth and development considerations prior to potential fracturing of ownership. Preliminary plats are larger division of land that enable new ownership and development patterns; or which impact public facilities or land, and are proposed in a preliminary or conceptual format to prepare for detailed engineering and design facilities.

Parkville Municipal Code, Section 403.020, Subsection D. provides criteria for how the Planning and Zoning Commission shall determine if a preliminary plat is appropriate. The following are staff’s findings and conclusions for the preliminary plat application (Case No. PZ 2025-11).

1. The application is in accordance with the Master Plan and in particular the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles and concepts of the plan.

The preliminary plat proposes 52 lots for single-family residential uses and 12 tracts of private open space. The Parkville 2040 Master Plan (2021) projects a Parks & Recreation land use for the subject property. This use is for parks, recreation land, and golf courses. This projection was due to the properties being located outside of City limits and topographical challenges of the site. The proposed subdivision will be developed with respect to the topography. The proposed low-density residential land use is similar in character to the uses immediately surrounding the property in The National. Development of a park in this location would be redundant with the neighborhood amenities in The National and is not included in any plans by the Parks Department.

The preliminary plat has a main point of access off NW Crooked Rd, does not contain any dead end streets, and contains circulation and streets connecting to each lot. NW Crooked Drive serves as the main public thoroughfare through the development. Utility easements are provided on all lots for utility service purposes, and are accessible from the public right-of-way where required.

The proposed layout meets the City's guidance for block size and street design types as detailed in Section 404.010 Street Networks and Design. Dean Cull, Southern Platte Fire Protection District (SPFPD) Fire Marshall, has also reviewed the preliminary plat layout.

In terms of civic and open space, the subject area resembles the "Suburban" planning context (i.e., areas removed from walkable centers, commercial corridors or large scale projects arranged around a campus). Section 404.020 prefers Park, Trail/Greenway, or Green open space typologies for this planning context. The preliminary plat proposes four large common open space for buffer area / screening, stormwater management, and passive recreation purposes. Table 404-6: Required Open Space notes that subdivisions in the R-2 zoning district require 10% of the space to be open space. The applicant is providing 52% open space as a Natural Area typology. § 404.020(E)(3) Tree Preservation requires at least 50% of the open space area to consist of mature trees. The applicant is proposing to preserve 80% of the open space area with mature trees.

2. Compliance with the requirements of the Development Code, and in particular the blocks and lots proposed are capable of meeting all development and site design standards under the existing or proposed zoning.

The block length of the subdivision is constrained by the existing natural topography. NW Crooked Dr is proposed to follow the ridgeline and the steep slopes prevent the feasible construction of additional streets on the property. The applicant has provided a turn-around/cul-de-sac to prevent a dead end street. Table 405-3: Height, Area, and Bulk Standards provides the lot dimension requirements for properties in the R-2 zoning district (below). All lots provided on the plat meet these requirements.

Table 1. R-2 Height, Area, and Bulk Standards

Zoning District	Lot Size			Building Standards			
	Minimum Area	Minimum Width (feet)	Minimum Depth (feet)	Front Setback (feet)	Side Setback (feet)	Rear Setback (feet)	Maximum Height (feet/stories)
R-2 Single-Family Residential	10,000 sq. ft.	75	100	20*	10	30	35/2.5

*R-2 base zoning requires 25 ft front setback, setback adjusted to 20 ft as part of R-2-P zoning district

Staff analyzed other subdivisions with 20 ft front setbacks, reduced from 25 ft, and found the following:

Table 2. Reduced front-yard setbacks

Subdivision	Street Name	Front-Yard Setback	# of Lots
Reserve at Riss Lake	Shoreline Dr., Edgewater Dr.	20 ft.	20
Riss Lake Meadows 1 st Plat	Quail Ridge	20 ft.	18
Riss Lake 6 th Plat	Timbercrest, Twilight	20 ft.	15
Riss Lake 4 th Plat	Walnut Way	20 ft.	14
Riss Lake 12 th Plat	Lance Circle	20 ft.	5
The National 1 st Plat	N National Dr., Ridge Rd	20 ft.	10
The National 2 nd Plat	Waters Edge Dr.	20 ft.	12
The National 3 rd Plat	Claret Rd.	10 ft.	52
The National 8 th Plat	N National Dr.	20 ft.	12
The National 9 th Plat	N National Dr.	20 ft.	8
The National 10 th Plat	N National Dr.	20 ft.	12
Cider Mill 7 th Plat	S National Dr., Barn Hill Rd.	20 ft.	58
Watson Country Lane	Watsons Country Ln	20 ft.	7
The Lodges at the National	Allen Way	10 and 15 ft.	8
Townhomes at The National 1 st Plat	Limestone Rd.	20 ft.	50
Townhomes at The National 2 nd Plat	Limestone Ct.	20 ft.	15
Total			316

- Any phasing proposed in the application is clearly indicated and demonstrates a logical and coordinated approach to development, including coordination with existing and potential development on adjacent property.

The preliminary and final plats show two (2) phases of development. The first phase includes the construction of NW Crooked Dr, installation of utilities and stormwater management, and 46 lots for single-family residences. The second phase is proposed as six (6) lots fronting a proposed private drive.

- Any impacts identified by specific studies or technical reports, including a preliminary review of storm water, are mitigated with generally accepted and sound planning, engineering, and urban design solutions that reflect long-term solutions and sound fiscal investments.

All proposed and required improvements (e.g., streets, sidewalks) will need to meet American Public Works Association (APWA) Standards Specifications and Design Criteria, the City's storm drainage standards per Section 404.040, and stormwater management best management practices per Section 407.050. The applicant has provided a preliminary stormwater report that will be required to be revised per City review comments.

- The application does not deter any existing or future development on adjacent property from meeting the goals and policies of the Master Plan.

This application does not deter any existing or future development on adjacent properties from meeting the goals and policies of the *Parkville 2040 Master Plan*. The area to the north, east, and south are developed under the R-2-P zoning district as a part of The National development. To the west across NW Crooked Rd lies low-density single-family properties within unincorporated Platte County. The development of low-

density Single-Family Residential on this property is compatible with the existing land uses in the area and the *Master Plan*.

6. The design does not impede the construction of anticipated or planned future public infrastructure within the area.

The design and layout of the preliminary plat of the Hills at The National does not impede the construction of anticipated or planned future public infrastructure in the general area as indicated by received utility provider. The applicant provided evidence of ability to service the property from Alliance Water, Spire natural gas, Evergy electric, and the Park Hill School District.

7. The recommendations of professional staff, or any other public entity asked to officially review the plat.

City Staff and the applicant have reached out to the Parkville Special Road District (PSRD) regarding NW Crooked Rd, which is under PSRD jurisdiction. The applicant will be required to comply with any requirements from the Special Road District. City Staff has made considerations regarding access, site distance, and traffic study aware to the Parkville Special Road District. The applicant has provided evidence of sufficient site distance for the intersection of NW Crooked Rd and NW Crooked Dr.

Subdivision – Final Plat – Review and Analysis

Plat applications are required to establish or alter the legal boundaries of property, and to account for public facilities, infrastructure, development patterns, public realm design or other long-range growth and development considerations prior to potential fracturing of ownership. Final plats are a refined version of the preliminary plat that present proposed ownership and development patterns, as well as the specific location of public facilities and public property based on detailed designs.

Parkville Municipal Code, Section 403.020, Subsection D. provides criteria for how the Planning and Zoning Commission shall determine if a final plat is appropriate. The following are staff's findings and conclusions for the preliminary plat application (Case No. PZ 2025-12).

1. The layout and design of the final plat is substantially consistent with the approved preliminary plat considering the number of lots or parcels; the block layout, street designs and access; the open space systems and civic design elements; the infrastructure systems; or other elements of coordinated developments.

The layout and design of the final plant does not deviate any from the preliminary plat application (Case No. PZ 2025-11) with regards to the number of lots or parcels, the block layout, street designs and access; the open space systems and civic design elements; the infrastructure systems; or other elements of coordinated developments.

2. The construction plans for any utilities, infrastructure or public facilities meet all technical specifications.

The applicant will be required to submit street and storm sewer plans for review by the Public Works Department, as well as an updated Preliminary Stormwater Management Plan (see Application for Subdivision – Preliminary Plat review criteria #4 above). The City's Public Works Department will review the street and storm sewer plans per APWA Standards Specifications and Design Criteria, the City's storm drainage standards per Section 404.040, and stormwater management best management practices per Section 407.050. The City's on-call engineer, will conduct

and independent review of the updated preliminary stormwater management plan.

3. The phasing and timing of public improvements ensures construction and performance guarantees.

The applicant proposes to complete the development in two (2) phases. Completion of public improvements (e.g., sidewalks, streets) will be required prior to the issuance of building permits for the lots. Per Parkville Municipal Code, Section 505.080, the Board of Aldermen must accept public improvements prior to the issuance of building permits. Per this Section, the Board must also approve the maintenance bond in an amount equal to 50% of the cost of the improvements and guaranteeing against defects in the construction of streets for a period of 2 years. The applicant will be required to design and construct public improvements in accordance with American Public Works Association (APWA) design standards and construction specifications. Furthermore, the City's Public Works Construction Inspectors will work closely with the developer to ensure public improvements are constructed in accordance with the approved plans.

4. Any deviation in the final plat from the preliminary plat brings the application in further compliance with the Master Plan and the purposes and intent of this code. The final plat application does not deviate any from the preliminary plat application (Case No. PZ 2025-11). Per staff's review of the application for subdivision – preliminary plat against the requirements of Section 403.020, Subsection D, it is determined that the application is in accordance with the *Parkville 2040 Master Plan* and purposes and intent of the Development Code.

5. The recommendations of professional staff, or any other public entity asked to officially review the plat.

See Preliminary Plat Review Criteria #7 above.

Staff Conclusions and Recommendations

Preliminary Plat

Staff concludes that: The proposed preliminary plat is in accordance with the *Parkville 2040 Master Plan* in terms of physical patterns, arrangement of streets, blocks, lots and open spaces; said blocks and lots are compliant with the building type, lot size and building standards of the Title IV – Development Code for the proposed “R-2-P” zoning district; the Public Works Department will review all proposed and required improvements (e.g., streets, sidewalks) per APWA standards, and will require the updated stormwater drainage study to be reviewed against the City’s storm drainage standards and stormwater management best practices; the preliminary plat does not deter any existing or future development on adjacent property from meeting the goals and policies of the *Parkville 2040 Master Plan*; nor will the design and layout of the preliminary plat impede the construction of anticipated or planned future public infrastructure within the area; and the preliminary plat has been reviewed by professional staff from SPFPD.

Final Plat

Staff concludes that: The proposed final plat is substantially consistent with the preliminary plat (Case No. PZ 2025-11); the construction plans for any utilities, infrastructure or public facilities meets all technical specifications; the phasing and timing of public improvements ensures construction and performance guarantees; there are no deviations from the preliminary plat; the final plat is in accordance with the *Parkville 2040 Master Plan*; and the final plat has been reviewed by professional staff from SPFPD.

Following review, staff recommends approval of the Application for Subdivision – Preliminary Plat (Case No. PZ 2025-11), and Application for Subdivision – Final Plat (Case No. PZ 2025-12). Staff bases this decision on the merits of the applications and findings and conclusions in this staff analysis report, subject to the following conditions:

Preliminary Plat

1. Approval is based on the representations of the drawings presented as part of this application and does not waive any requirement or development standard contained within the Municipal Code.
2. The subject property be platted via an Application for Subdivision – Final Plat — prior to construction permits being issued — in order to accommodate the lots and tracts for the proposed preliminary plat.
3. Any other conditions the Planning and Zoning Commission determines are necessary.

Final Plat

1. Approval is based on the representations of the drawings presented as part of this application and does not waive any requirement or development standard contained within the Municipal Code.
2. The property shall be required to be annexed into the City of Parkville and rezoned to “R-2-P” Planned Single-Family Residential.
3. Submittal of street and storm sewer plans to the Public Works Department for review.
4. The applicant shall provide evidence of acceptance by the Parkville Special Roads District of the connection to NW Crooked Rd.
5. Prior to Construction Document approval, the Public Works Department shall review the updated stormwater management plan, and the applicant address comments/findings from the City’s independent review for said updated stormwater management plan.

6. Prior to Construction Document approval, the applicant shall provide evidence of approval from ONEOK for construction activity within the 35' jet fuel pipeline easement.
7. Prior to Building Permit issuance, the Board of Aldermen shall accept a park land donation or cash in lieu in accordance with Section 404.020, Subsection H. Park Land Dedication.
8. Prior to Building Permit issuance, the payment of public improvement fees as required by Parkville Municipal Code, Chapter 800 Fee Ordinance.
9. Any other conditions the Planning and Zoning Commission determines are necessary.

It should be noted that the recommendation contained in this report is made without knowledge of facts, public comments or any additional information which may be presented during the public hearing. For that reason, the conclusions herein are subject to change as a result of evaluating additional information; additionally, staff reserves the right to modify or confirm the conclusions and recommendations herein based on consideration of any additional information that may be presented.

Necessary Action

Following consideration of the Application for Subdivision – Preliminary Plat, supporting information, associated exhibits, factors discussed above and any testimony presented during the meeting, the Commission should approve (with or without conditions), deny, or postpone the application for further consideration. Following consideration of the Application for Subdivision – Final Plat, supporting information, associated exhibits, factors discussed above and any testimony presented during the meeting, the Planning and Zoning Commission should recommend approval (with or without conditions), denial, or postpone the applications for further consideration. If approved subject to conditions, the conditions should be noted for the record. Unless postponed, the Planning and Zoning Commission's action for the Application for Subdivision – Preliminary Plat will be final; and the Planning and Zoning Commission's recommendation for the Application for Subdivision – Final Plat will be forwarded to the Board of Aldermen on June 17, 2025 for first action.

End of Memorandum

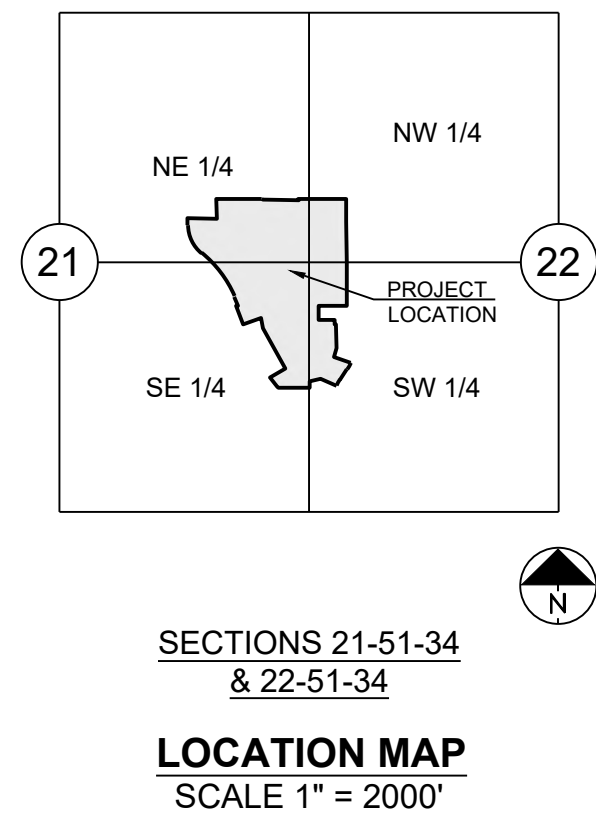


Brad Stanton, AICP

06-06-2025

Date

PELIMINARY PLAT OF
THE HILLS AT THE NATIONAL
PART OF THE EAST 1/2 OF SEC. 21-51-34 AND WEST 1/2 OF SEC. 22-51-34
AND A REPLAT OF ALL OF LOT 1 AND PART OF LOT 69-A OF CHAPEL
HILL AT THE NATIONAL
IN THE CITY OF PARKVILLE, PLATTE COUNTY, MISSOURI



DESCRIPTION:

All that part of a tract of land in the East One-Half of Section 21, Township 51 North, Range 34 West and the West One-Half of Section 22, Township 51 North, Range 34 West and a Replat of all of Lot 1 and part of Lot 69-A of CHAPEL HILL AT THE NATIONAL, a minor subdivision in the City of Parkville, Platte County, Missouri, described as follows:

Commencing at the Northwest corner of the Northwest One-Quarter of said Section 22; thence along the West line of said Northwest One-Quarter, South 00 degrees 08 minutes 59 seconds East, a distance of 1968.02 feet to a point on the south line of Tract "A", AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL, a subdivision in the City of Parkville, Platte County, Missouri and the Point of Beginning; thence along the south line of said Tract "A", South 89 degrees 56 minutes 48 seconds East, a distance of 292.90 feet; thence South 00 degrees 08 minutes 59 seconds East, a distance of 661.57 feet to a point on the South line of said Northwest One-Quarter; thence South 00 degrees 13 minutes 33 seconds West, a distance of 459.20 feet to a point on the North line of Lot 69-A, CHAPEL HILL AT THE NATIONAL, a minor subdivision in the City of Parkville, Platte County, Missouri; thence along the North, West and South line of said Lot 69-A for the following three courses, North 89 degrees 43 minutes 58 seconds West, a distance of 292.70 feet; thence South 00 degrees 12 minutes 26 seconds West, a distance of 147.30 feet; thence South 89 degrees 58 minutes 00 seconds East, a distance of 162.50 feet to a point on the North Right-of-Way line of Northwest Chapel Hill Road; thence South 00 degrees 12 minutes 26 seconds West, a distance of 50.00 feet to a point on the South Right-of-Way line of Northwest Chapel Hill Road; thence along said South Right-of-Way line, South 89 degrees 58 minutes 00 seconds East, a distance of 16.81 feet to the Northwest corner of Lot 68 of THE NATIONAL - FIRST PLAT, a subdivision in the City of Parkville, Platte County, Missouri; thence along the West line of said THE NATIONAL - FIRST PLAT for the following five courses, South 01 degrees 21 minutes 46 seconds East, a distance of 243.25 feet; thence South 18 degrees 23 minutes 39 seconds West, a distance of 220.32 feet; thence South 41 degrees 33 minutes 05 seconds West, a distance of 156.24 feet; thence South 76 degrees 14 minutes 17 seconds West, a distance of 117.95 feet to a point on the West line of said Southwest One-Quarter of Section 22; thence along said West line South 00 degrees 13 minutes 33 seconds West, a distance of 65.05 feet; thence North 89 degrees 33 minutes 49 seconds West, a distance of 327.83 feet to a point on the Easterly Right-of-Way line of Northwest Crooked Road; thence along said Easterly Right-of-Way line for the following two courses North 46 degrees 46 minutes 34 seconds West, a distance of 20.97 feet; thence North 36 degrees 46 minutes 39 seconds West, a distance of 121.68 feet; thence North 61 degrees 28 minutes 59 seconds East, a distance of 183.60 feet; thence North 28 degrees 31 minutes 01 seconds West, a distance of 483.33 feet; thence North 10 degrees 58 minutes 25 seconds West, a distance of 115.69 feet; thence South 69 degrees 02 minutes 22 seconds West, a distance of 199.03 feet to a point on the Easterly Right-of-Way line of Northwest Crooked Road; thence along said Easterly Right-of-Way line for the following seven courses North 00 degrees 57 minutes 37 seconds West, a distance of 209.62 feet; thence South 89 degrees 37 minutes 32 seconds East, a distance of 23.49 feet; thence North 23 degrees 18 minutes 07 seconds West, a distance of 106.03 feet to a point of curvature; thence along a curve to the left having an initial tangent bearing of North 23 degrees 18 minutes 07 seconds West, a radius of 1216.23 feet, a central angle of 20 degrees 42 minutes 46 seconds and an arc length of 439.68 feet to a point on the North line of the Southeast One-Quarter of said Section 21 and a point of curvature; thence continuing along a curve to the left having an initial tangent bearing of North 44 degrees 00 minutes 53 seconds West, a radius of 1216.23 feet, a central angle of 06 degrees 24 minutes 56 seconds and an arc length of 136.19 feet to a point of curvature; thence along a curve to the right having an initial tangent bearing of North 50 degrees 25 minutes 49 seconds West, a radius of 383.77 feet, a central angle of 50 degrees 15 minutes 25 seconds and an arc length of 336.62 feet; thence North 00 degrees 10 minutes 24 seconds West, a distance of 73.74 feet; thence South 89 degrees 19 minutes 42 seconds East, a distance of 304.27 feet; thence North 00 degrees 02 minutes 54 seconds West, a distance of 208.70 feet to a point on the South line of THE NATIONAL - THIRTEENTH PLAT, a subdivision in the City of Parkville, Platte County, Missouri; thence along said South line South 89 degrees 19 minutes 42 seconds East, a distance of 476.36 feet to a point on the Westerly line of Lot 12 WINDBROOK HILLS, a subdivision in the City of Parkville, Platte County, Missouri; thence along said Westerly line of Lot 12, South 52 degrees 42 minutes 09 seconds East, a distance of 15.93 feet to a point on the South line of said WINDBROOK HILLS; thence along said South line, South 89 degrees 19 minutes 41 seconds East, a distance of 373.39 feet to the Southeast corner of Lot 16 of said WINDBROOK HILLS; thence along the Easterly line of said Lot 16, North 22 degrees 28 minutes 47 seconds West, a distance of 9.16 feet to the Southwest corner of Lot 17 of said THE AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL; thence along the South line of said THE AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL, South 89 degrees 19 minutes 42 seconds East, a distance of 109.02 feet to the Point of Beginning and containing 2,144,325.86 square feet, 49.226 acres, more or less.

DEDICATIONS:

PLAT DEDICATION: The undersigned proprietors of the above described tract of land has caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be hereafter known as THE HILLS AT THE NATIONAL.

STREET DEDICATION: Streets shown hereon and not heretofore dedicated for public use as street right-of-way are hereby dedicated.

RIGHT OF ENTRANCE: The right of entrance and egress in travel along any street or drive within the boundaries of the property is hereby granted to the City of Parkville, Missouri, for the purpose of fire and police protection, maintenance of water mains, sanitary and storm sewer lines, collection of garbage and refuse and to the United States Postal services for the delivery of mail; provided, however, such right of ingress and egress does not include any obligation to contribute for any damage to any private street or drive by virtue of the exercise of the rights stated herein and specifically, neither Parkville, Missouri nor the U.S. Postal Service shall incur any liability by virtue of the exercise of such rights.

EASEMENT DEDICATION: An easement is hereby granted to the City of Parkville, Missouri, for the purpose of locating, constructing, operating, and maintaining facilities for water, gas, electricity, sewage, telephone, cable tv and surface drainage, and grading, including, but not limited to, underground pipes and conduits, pad mounted transformers, services pedestals, any or all of them upon, over, under and along the strips of land designated utility easements (UE) and/or (SE), provided that the easement granted herein is subject to any and all existing easements. Any utilities located within the designated utility easements, by virtue of their existence, do hereby covenant, consent, and agree that they shall be subordinate to said public right of way in the event that additional public right of way is dedicated over the location of the utility easement. Where other easements are designated for a particular purpose, the use thereof shall be limited to that purpose only. All of the above easements shall be kept free from any and all obstructions which would interfere with the construction or reconstruction and proper, safe and continuous maintenance of the aforesaid uses and specifically there shall not be built thereon or thereover any structure (except driveways, paved areas, grass, shrubs and fences) nor shall there be any obstruction to interfere with the agents and employees of Parkville, Missouri, and its franchised utilities from going upon said easement and as much of the adjoining lands as may be reasonably necessary in exercising the rights granted by the easement. No excavation or fill shall be made or operation of any kind or nature shall be performed which will reduce or increase the earth coverage over the utilities above stated or the appurtenances thereto without a valid permit from the Department of Public Works as to utility easements, and/or written approval of the Director of Water Services as to water main easements.

Common/Private Open Space: Tracts A, B, C, D, E, F, G, H, I and L are reserved as Common/Private Open Space to be reserved and maintained by the Homeowners Association that serve this plat.

Tracts "I", "J", and "K" are to be owned and maintained by the Homeowners Association that serve this plat and are to be used for landscaping purposes

EXECUTION:

IN TESTIMONY WHEREOF, Clay C. Blair III, _____ of THE HILLS AT THE NATIONAL LLC., has caused this instrument to be executed, this _____ day of _____, 20____.

THE HILLS AT THE NATIONAL LLC

By: Clay C. Blair III, _____

ACKNOWLEDGMENT:

STATE OF _____)
COUNTY OF _____) ss.

BE IT REMEMBERED, that on this _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for said County and State came Clay C. Blair III, _____ of THE HILLS AT THE NATIONAL LLC, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said company, and such person duly acknowledged the execution of same to be the act and deed of said company.

Notary Public

My Commission Expires: _____

PLANNING & ZONING COMMISSION

Approved: _____

PUBLIC WORKS

Director of Public Works, Daniel Harper

BOARD OF ALDERMAN

This is to Certify that the within Plat was duly submitted to and Approved by the Council of Parkville, Missouri, by Ordinance No. _____ duly authenticated as passed this _____ day of _____, 20____.

Mayor: Dean Katerndahl

City Clerk: Melissa McChesney

Community Development Director: Stephen Lachky

SURVEYORS NOTES:

- Property Address: 11900 N. Crooked Road.
- The bearings shown hereon are based upon the Missouri coordinate system 1983, Western Zone, at Kansas City Metro control monument PL-18-3 (1989 adjustment).
- Monumentation will be set upon completion of the construction activities within this plat or within 12 months following the recording of this plat, whichever is earlier. 1/2" rebar with caps will be set as shown.

FLOOD NOTE:

This property lies within flood ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain as shown on the Flood Insurance Rate Maps 29165C0378D, 29165C0377D, 29165C0378D and 29165C0379D prepared by the Federal Emergency Management Agency, Effective Date April 2, 2015.

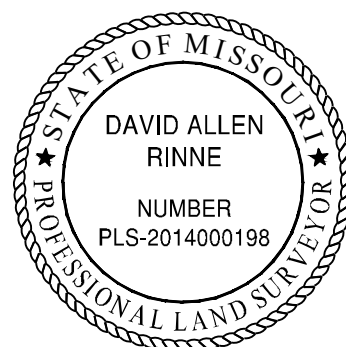
LAND SURVEYOR:

David A. Rinne, P.L.S.
Schlagel & Associates
14920 W. 87th Street
Lenexa, Kansas 66215

OWNER:

The Hills at The National, LLC
Clay Blair III
13626 W. 87th Street Parkway
Lenexa, Kansas 66215

I HEREBY CERTIFY THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION BASED ON A FIELD SURVEY PERFORMED ON 04-28-2023 AND THAT SURVEY MEETS OR EXCEEDS THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS. THE DETAILS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



David Allen Rinne, P.L.S.
MO# PLS-2014000198

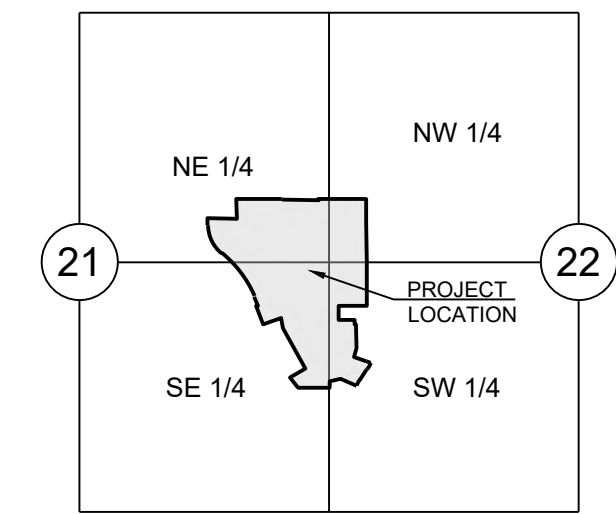


14920 West 107th Street • Lenexa, Kansas 66215
Ph: (913) 492-5158 • Fax: (913) 492-8400 • WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E20022003800-F #LAC2001005237 #LS2002008859-F

DATE 05/08/2025
DRAWN BY SCH
CHECKED BY SCH
PROJ. NO. 23-068

PRELIMINARY PLAT OF
THE HILLS AT
THE NATIONAL
SHEET NO. 1 of 2

PELIMINARY PLAT OF
THE HILLS AT THE NATIONAL
PART OF THE EAST 1/2 OF SEC. 21-51-34 AND WEST 1/2 OF SEC. 22-51-34
AND A REPLAT OF ALL OF LOT 1 AND PART OF LOT 69-A OF CHAPEL
HILL AT THE NATIONAL
IN THE CITY OF PARKVILLE, PLATTE COUNTY, MISSOURI



SECTIONS 21-51-34
& 22-51-34

LOCATION MAP
SCALE 1" = 2000'

SITE DATA - SINGLE FAMILY:
CURRENT ZONING
PROP. ZONING
PROP. USE
PROP. NUMBER OF LOTS
GROSS LAND AREA
ROW AREA
NET LAND AREA
GROSS DENSITY
NET DENSITY

R-2-P, AG
R-2-P, R2
SINGLE FAMILY DETACHED
52
49.226 ACRES(2,144,284.56 S.F.)
3.675 ACRES(160,103.61 S.F.)
45.551 ACRES(1,984,201.56 S.F.)
1.056 DU / ACRE
0.876 DU / ACRE

OPEN SPACE:
REQUIRED PER R2 ZONING
PROVIDED (PER NET AREA)
10%
52%
REQUIRED TREE PRESERVATION
WITHIN OPEN SPACE TRACTS
50%
PROVIDE TREE PRESERVATION
WITHIN OPEN SPACE TRACTS
80%

SETBACKS R2 ZONING:

FRONT YARD
REAR YARD
SIDE YARD
MIN. LOT AREA
MIN. WIDTH
MIN. DEPTH

25'
30'
10'
10,000 S.F.
75'
100'

LOT DATA PINK LOTS:

PROP. FRONT YARD
PROP. REAR YARD
PROP. SIDE YARD
MIN. LOT AREA
MIN. WIDTH
MIN. DEPTH
PROP. WIDTH
PROP. DEPTH

20' (DEVIATION REQUESTED FROM 25')
30'
10'
10,000 S.F.
75'
100'
75'
135'

LOT DATA BLUE LOTS:

PROP. FRONT YARD
PROP. REAR YARD
PROP. SIDE YARD
MIN. LOT AREA
MIN. WIDTH
MIN. DEPTH
PROP. WIDTH
PROP. DEPTH

20' (DEVIATION REQUESTED FROM 25')
30'
10'
10,000 S.F.
75'
100'
90'
125'

LOT DATA -YELLOW LOTS:

PROP. FRONT YARD
PROP. REAR YARD
PROP. SIDE YARD
MIN. LOT AREA
MIN. WIDTH
MIN. DEPTH
PROP. WIDTH
PROP. DEPTH

20' (DEVIATION REQUESTED FROM 25')
30'
10'
10,000 S.F.
75'
100'
120' @ BUILD LINE
160'

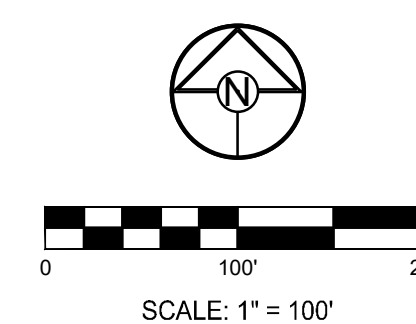
LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)
1	15,021.34	25	24,289.57	49	34,113.53
2	14,539.68	26	14,224.03	50	32,771.01
3	11,835.37	27	14,491.01	51	32,605.67
4	11,304.01	28	14,455.02	52	55,726.13
5	11,452.71	29	13,809.02	TRACT A	21,158.88
6	12,638.59	30	14,090.40	TRACT B	4,932.91
7	11,595.83	31	13,141.18	TRACT C	12,782.66
8	11,918.49	32	16,351.18	TRACT D	1,900.02
9	12,121.17	33	11,444.69	TRACT E	334,203.27
10	11,288.24	34	14,921.09	TRACT F	3,881.52
11	11,346.32	35	13,785.53	TRACT G	594,826.68
12	12,022.16	36	12,268.00	TRACT H	34,461.48
13	12,577.92	37	11,946.69	TRACT I	2,397.17
14	12,107.06	38	14,530.75	TRACT J	7,379.08
15	11,046.74	39	14,973.05	TRACT K	4,500.11
16	11,117.64	40	13,206.80	TRACT L	26,785.08
17	12,663.16	41	20,460.24		
18	13,723.93	42	27,987.61		
19	12,770.39	43	22,160.53		
20	19,513.92	44	23,794.69		
21	14,903.27	45	21,785.44		
22	37,926.68	46	21,667.89		
23	17,897.03	47	35,217.33		
24	17,586.70	48	33,895.66		

R/W	AREA (SF)
CROOKED DR	140,631.75
CROOKED ST	14,011.61
CROOKED ST 2	5,460.25

I HEREBY CERTIFY THIS PLAT WAS PREPARED UNDER
MY DIRECT SUPERVISION BASED ON A FIELD SURVEY
PERFORMED ON 04-28-2023 AND THAT SURVEY MEETS
OR EXCEEDS THE CURRENT MINIMUM STANDARDS FOR
PROPERTY BOUNDARY SURVEYS. THE DETAILS SHOWN
HEREON ARE TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF.



David Allen Rinne, P.L.S.
MO# PLS-2014000198



SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66151
Ph: (913) 492-5158 • Fax: (913) 492-8400 • WWW.SCHLAGELASSOCIATES.COM

DATE 05/08/2025
DRAWN BY SCH
CHECKED BY SCH
PROJ. NO. 23-068

PRELIMINARY PLAT OF
THE HILLS AT THE NATIONAL
SHEET NO. 2 of 2



Application #: PZ 2025-11
Date Submitted: May 8, 2025
Public Hearing: June 13, 2025
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Subdivision – Preliminary Plat

Pre-application meeting required per Parkville Municipal Code Title IV, Section 403.010, Subsection C

1. Applicant/Contact Information

Applicant(s)

Name: The Hills at The National, LLC
Address: 13626 W. 87th St. Pkwy
City, State: Lenexa, KS 66215
Phone: (913) 831-3388 Fax: (913) 831-3398
E-mail: frank@primelandco.com

Engineer/Surveyor(s) preparing plat & legal description

Name: Schlagel
Address: 14920 W. 107th St
City, State: Lenexa, KS 66215
Phone: (913) 492-5158 Fax: _____
E-mail: comments@schlagelassociates.com

Owner(s), if different from applicant(s)

Name: The Hills at The National, LLC
Address: 13626 W. 87th St. Pkwy
City, State: Lenexa, KS 66215
Phone: (913) 831-3388 Fax: (913) 831-3398
E-mail: frank@primelandco.com

Contact Person, if different from applicant(s)

Name: Jake Hattock, PE
Address: 14920 W. 107th St
City, State: Lenexa, KS 66215
Phone: (913) 492-5158 Fax: _____
E-mail: JHattock@schlagelassociates.com

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that development in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) _____ Date: 5/8/25

Property Owner's Signature (Required) _____ Date: 5/8/25

2. Property Information

Proposed name of subdivision: The Hills at The National

Current use(s) of the property: vacant

Current zoning district: R2P, AG

Acreage open space: 17.92 acres

Proposed zoning: R2P

Density of development: 0.912 DU/AC

Minimum lot size: 1/4 acre

3. Signatures of Acknowledgement

The following signatures by authorized representatives indicate the entity had notice of the intent to subdivide and, pending detailed plan review can provide their applicable service to the proposed development. A signed letter from the entity may be submitted in place of a signature.

Water District (PWSD #1 or Missouri American Water Co.)
816.891.9141 816.741.2992

South Platte Fire Protection District (SPFPD)
816.741.2900

Sanitary sewer/septic (PCRSD, Parkville Public Works or Platte County Health Department)
816.858-2052 816.741.7676 816.858.2412

Streets (Parkville Public Works)
816.741.7676

Missouri Department of Transportation (for access/adjacent to a state maintained roadway)
816.622-0414

Electricity (Everygy)
816.471.5275

Natural Gas (Spire Energy dba Missouri Gas Energy)
816.756.5252

School District (Park Hill or Platte County)
816.741.1521 816.858.2822

4. Public Improvements

- All public improvements must be designed to city standards and require approval, guarantees and permits prior to installation.

Length of proposed new roadways: _____

Proposed surface material: _____ Maximum grade: _____

General character of the neighborhood: _____

Application #: PZ 2025-11

Are area streets and utilities sufficient to serve the property once subdivided? _____
(Note: a traffic study may be required in order to adequately address this question)

Explain:

Attach a stormwater management study showing facilities/improvements needed to handle stormwater adequately.

Attach a narrative addressing:

1. How the application is in accordance with the Master Plan and in particular the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles and concepts of the plan.
2. Compliance with the requirements of the Development Code, and in particular the blocks and lots proposed is capable of meeting all development and site design standards under the existing or proposed zoning.
3. Any phasing proposed in the application is clearly indicated and demonstrates a logical and coordinated approach to development, including coordination with existing and potential development on adjacent property.
4. How any impacts identified by specific studies or technical reports, including a preliminary review of storm water, are mitigated with generally accepted and sound planning, engineering, and urban design solutions that reflect long-term solutions and sound fiscal investments.
5. How the application does not deter any existing or future development on adjacent property from meeting the goals and policies of the Master Plan.
6. How the design does not impede the construction of anticipated or planned future public infrastructure in the area.
7. Any other information relevant to the application.

5. Checklist of required submittals

- ☒ Completed application with authorization signatures of service providers.
- ☒ Application fee of \$300.00, plus \$5.00 per lot or tract. *This fee shall include the expense of initial engineering review, plus the expense of reviewing one re-submittal. All other expenses including, but not limited to, consulting fees, attorney fees, reproduction costs, mailing costs, and other expenses resulting from the necessary review, processing, filing, recording, and action on said applications or permits, shall be borne by the sub-divider based on actual costs.*
- ☒ Deed with owner's name and legal description of property to be platted.
- ☒ Five (5) copies 24" x 36" size, or larger sets, and one (1) electronic set (PDF format) of the preliminary plat containing the requirements outlined in Section 403.020 Subsection D. of the Development Code for initial staff and entity review. Additional large size copies may be requested following review by staff.
- ☒ Drainage plan containing the requirements outlined in Parkville Municipal Code Title IV, Section 404.030 Subsection C3.

For City Use Only

Application accepted as complete by: Stephen Lachky, Community Development Director May 9, 2025
Name/Title Date

Application Fee (27.0000): \$ 570.00 By: ☒ Check # 1055 ☐ MO# _____

Date Paid: 5/8/2025 ☐ Credit Card ☐ Cash

Payment by: The Hills at The National Received by: Jodi Kersten

Final reimbursable costs paid (if applicable). Date of Action: _____

Planning Commission Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

6. Subdivision – Preliminary Plat checklist for staff review

1. Basic Information

- a. Name of the plat, phase and/or number if applicable
- b. Name, address, contact information of person / registered surveyor or firm that prepared the plat
- c. Date plat was prepared, including any revision dates

2. Plat Information

- a. Full property/legal description
- b. Total land area in square feet and acres of property
- c. Boundary survey notes
- d. Dedication language for property to be subdivided
- e. Easement language for easements to be granted to utility companies franchised to operate in Parkville, Mo.
- f. Open space dedication if applicable

3. Plat Drawing

- a. Graphic, engineering scale
- b. North arrow
- c. Monumentation/symbology legend
- d. Vicinity map identifying boundaries and location of property in relation to City
- e. Property lines and lot dimensions with total land area in square feet and acres
- f. Numbering of all lots (Lot 1, Lot 2, Lot 3, etc.)
- g. Lettering of all tracts (Tract A, Tract B, Tract C, etc.)
- h. Watermark designation with labeling of any previously platted lots or tracts
- i. Proposed rights-of-way, public and/or private streets with dimensions, centerlines and names
- j. Proposed easements for access or utilities
- k. Dimensions of all radii, acres, points of tangency, central angles and lengths of curves
- l. Indication of FEMA Special Flood Hazard Areas (SFHA) if applicable

4. Signature Information

- a. Signature line with date for property owner(s) and notary public
- b. Signature line with date for Mayor (with full name), City Clerk (with full name), and Community Development Director (with full name) of the City of Parkville
- c. Ordinance number with date that the ordinance was passed by the Board of Aldermen
- d. Signature line with date for surveyor's certification (to be signed & stamped on all plat copies to be recorded)



(816) 741-7676

REC#: 00080631 5/13/2025 3:58 PM
OPER: JK TERM: 002
REF#: 1055
PAID BY: The Hills at the National, LLC

TRAN: 27.0000 PLATS
PZ2025-11TheHillsattheNational
R2P, AG 17.92 Acres
10 -41207-00
Subdivision Permit 570.00CR

TENDERED: 570.00 CHECK
APPLIED: 570.00-

CHANGE: 0.00

THE HILLS AT THE NATIONAL, LLC
13626 W 87TH ST PKWY
LENEXA, KS 66215
913-831-3388



Commerce Bank
Lenexa, Kansas 66215 474
www.commercebank.com
18-1/1010

1055

5/8/2025

PAY TO THE
ORDER OF **CITY OF PARKVILLE**

\$ **570.00

Five Hundred Seventy and 00/100*****

DOLLARS

CITY OF PARKVILLE

MEMO

APPL FEE-PRELIMINARY PLAT

AUTHORIZED SIGNATURE

⑈001055⑈ ⑆101000019⑆ 382790506⑈



Parkville Application for Rezoning Section 3 Narrative, Items #2 and #3

The Hills at the National is conceived as a small neighborhood of fifty-two, upscale, custom homes compatible with other neighborhoods surrounding The National Golf Club of Kansas City, located on the east side of North National Drive, just east of the site.

The site is a steep, narrow ridge bounded by Crooked Road on the west and National Drive on the east. The top of the ridge is generally open, and steep side slopes are predominantly wooded. A historic cemetery known as the "Sample Cemetery," with graves dating from the early 1800's to the 1930's, is located at the top of the ridge. The land is remarkable for its extraordinary views to the east, west and south.

Streets were carefully designed to adapt to the steep terrain, and homesites were thoughtfully located to take advantage of views, while preserving much of the existing mature trees. A large percentage of the site will be designated as common area to insure preservation of natural areas.

Three types of housing products are planned: 28 free-standing, homes on 75' lots, generally ranging in price from \$900,000 to \$1,200,000 along the ridge line, 13 free standing, homes on 90' lots, priced from \$1,200,000 and up, along with 6 larger, custom-designed estate homes on the lots along the private drive running around the cemetery down the hillside to these premium lots ranging from 95' to 120+' in width and priced from \$1,500,000 and up. Several homes valued at over \$3,000,000 are anticipated throughout the development. In addition, there will be 5 estate lots along existing crooked road with lot widths 100' to 120'+ and priced from \$1,000,000 and above.

- The (28) 75'-lot homes will be semi-custom variations of standard builder plans, mostly reverse 1.5 story designs with approximately 3,000 SF of finished area and 3-car garages.
- The (13) 90'-lot homes will be custom-designed homes, anticipated to be 3,000-4,500 SF in size (or larger), with three or more garages. Garages will be side-entry where topography and lot widths allow.
- Estate homes will be unique, custom-designed homes, anticipated to be 3,500-5,500 SF in size (or larger), with three or more garages. Garages will be side-entry where topography and lot widths allow.
- All homes must meet strict architectural and design standards typical of Prime Development neighborhoods in Johnson County, Kansas, including high-quality exterior materials on all sides and extensive landscaping.

The streetscape features a roadway at the top of the ridge with lush plantings, a large, landscaped open space in the center of a teardrop-shaped and eyebrow-shaped cul-de-sacs surrounded by lots. Tiered limestone retaining walls with landscape beds between will be located along the main entry drive and around the existing cemetery.

Other site amenities anticipated will include a golf cart/pedestrian trail through some of the wooded common areas.

The Hills at the National will have public improvement plans for the internal street and storm infrastructure, sanitary sewer, water, as well as other required public improvements. All submittals will be designed in compliance of the development code and standards.

Water service will require an offsite extension from the North and will be provided by Consolidated Public Water Supply District No. 1 of Platte County, Missouri.

Sewer Service will be provided by Platte County Regional Sewer District. Existing sewer manholes are located at the southern portion of the property and will service the lots along the ridgeline. An offsite main extension or low-pressure sewer systems will be provided for the eastern and western lots.

The Hills at the National follows the use of the surrounding areas and will be among the finest new residential developments in the Kansas City Metro Area.

DESCRIPTION:

All that part of a tract of land in the East One-Half of Section 21, Township 51 North, Range 34 West and the West One-Half of Section 22, Township 51 North, Range 34 West and a Replat of all of Lot 1 and part of Lot 69-A of CHAPEL HILL AT THE NATIONAL, a minor subdivision in the City of Parkville, Platte County, Missouri, described as follows:

Commencing at the Northwest corner of the Northwest One-Quarter of said Section 22; thence along the West line of said Northwest One-Quarter, South 00 degrees 08 minutes 59 seconds East, a distance of 1968.02 feet to a point on the south line of Tract "A", AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL, a subdivision in the City of Parkville, Platte County, Missouri and the Point of Beginning; thence along the south line of said Tract "A", South 89 degrees 56 minutes 48 seconds East, a distance of 392.90 feet; thence South 00 degrees 08 minutes 59 seconds East, a distance of 661.57 feet to a point on the South line of said Northwest One-Quarter; thence South 00 degrees 13 minutes 33 seconds West, a distance of 459.20 feet to a point on the North line of Lot 69-A, CHAPEL HILL AT THE NATIONAL, a minor subdivision in the City of Parkville, Platte County, Missouri; thence along the North, West and South line of said Lot 69-A for the following three courses, North 89 degrees 43 minutes 58 seconds West, a distance of 292.70 feet; thence South 00 degrees 12 minutes 26 seconds West, a distance of 147.30 feet; thence South 89 degrees 58 minutes 00 seconds East, a distance of 162.50 feet to a point on the North Right-of-Way line of Northwest Chapel Hill Road; thence South 00 degrees 12 minutes 26 seconds West, a distance of 50.00 feet to a point on the South Right-of-Way line of Northwest Chapel Hill Road; thence along said South Right-of-Way line, South 89 degrees 58 minutes 00 seconds East, a distance of 16.81 feet to the Northwest corner of Lot 68 of THE NATIONAL - FIRST PLAT, a subdivision in the City of Parkville, Platte County, Missouri; thence along the West line of said THE NATIONAL - FIRST PLAT for the following five courses, South 01 degrees 21 minutes 46 seconds East, a distance of 243.25 feet; thence South 18 degrees 23 minutes 39 seconds West, a distance of 220.32 feet; thence South 41 degrees 33 minutes 05 seconds West, a distance of 156.24 feet; thence South 76 degrees 14 minutes 17 seconds West, a distance of 117.95 feet to a point on the West line of said Southwest One-Quarter of Section 22; thence along said West line South 00 degrees 13 minutes 33 seconds West, a distance of 65.05 feet; thence North 89 degrees 33 minutes 49 seconds West, a distance of 327.83 feet to a point on the Easterly Right-of-Way line of Northwest Crooked Road; thence along said Easterly Right-of-Way line for the following two courses North 46 degrees 46 minutes 34 seconds West, a distance of 20.97 feet; thence North 36 degrees 46 minutes 39 seconds West, a distance of 121.68 feet; thence North 61 degrees 28 minutes 59 seconds East, a distance of 183.60 feet; thence North 28 degrees 31 minutes 01 seconds West, a distance of 483.33 feet; thence North 10 degrees 58 minutes 25 seconds West, a distance of 115.69 feet; thence South 69 degrees 02 minutes 22 seconds West, a distance of 199.03 feet to a point on the Easterly Right-of-Way line of Northwest Crooked Road; thence along said Easterly Right-of-Way line for the following seven courses North 20 degrees 57 minutes 37 seconds West, a distance of 209.62 feet; thence South 89 degrees 37 minutes 32 seconds East, a distance of 23.49 feet; thence North 23 degrees 18 minutes 07 seconds West, a distance of 106.03 feet to a point of curvature; thence along a curve to the left having an initial tangent bearing of North 23 degrees 18 minutes 07 seconds West, a radius of 1216.23 feet, a central angle of 20 degrees 42 minutes 46 seconds and an arc length of 439.68 feet to a point on the North line of the Southeast One-Quarter of said Section 21 and a point of curvature; thence continuing along a curve to the left having an initial tangent bearing of North 44 degrees 00 minutes 53 seconds West, a radius of 1216.23 feet, a central angle of 06 degrees 24 minutes 56 seconds and an arc length of 136.19 feet to a point of curvature; thence along a curve to the right having an initial tangent bearing of North 50 degrees 25 minutes 49 seconds West, a radius of 383.77 feet, a central angle of 50 degrees 15 minutes 25 seconds and an arc length of 336.62 feet; thence North 00 degrees 10 minutes 24 seconds West, a distance of 73.74 feet;

thence South 89 degrees 19 minutes 42 seconds East, a distance of 304.27 feet; thence North 00 degrees 02 minutes 54 seconds West, a distance of 208.70 feet to a point on the South line of THE NATIONAL - THIRTEENTH PLAT, a subdivision in the City of Parkville, Platte County, Missouri; thence along said South line South 89 degrees 19 minutes 42 seconds East, a distance of 476.36 feet to a point on the Westerly line of Lot 12 WINDBROOK HILLS, a subdivision in the City of Parkville, Platte County, Missouri; thence along said Westerly line of Lot 12, South 52 degrees 42 minutes 09 seconds East, a distance of 15.93 feet to a point on the South line of said WINDBROOK HILLS; thence along said South line, South 89 degrees 29 minutes 41 seconds East, a distance of 373.39 feet to the Southeast corner of Lot 16 of said WINDBROOK HILLS; thence along the Easterly line of said Lot 16, North 22 degrees 28 minutes 47 seconds West, a distance of 9.16 feet to the Southwest corner of Lot 17 of said THE AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL; thence along the South line of said THE AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL, South 89 degrees 19 minutes 42 seconds East, a distance of 109.02 feet to the Point of Beginning and containing 2,144,325.86 square feet, 49.226 acres, more or less.

June 4, 2025

City of Parkville Public Works
8880 Clark Ave
Parkville, MO 64152

Re: Hills at the National

To Whom It May Concern:

As part of the Preliminary Plat application, this intersection sight distance analysis is included as an additional supplement to verify that the proposed site conditions meet all requirements. This correspondence confirms that the proposed improvements associated with the project comply with the required intersection sight distances according to the AASHTO Green Book, A Policy on Geometric Design of Highways and Streets, 2018 7th Edition. Exhibits are provided as a supplement to this correspondence letter.

Should you have any questions or concerns, please do not hesitate to contact our office.

Schlagel & Associates, P.A.

Sincerely,



Jake Hattock P.E.
Principal/Project Engineer



06.04.2025

Jake Hattock

From: Kimbrel, Michael <KimbrelM@parkhill.k12.mo.us>
Sent: Wednesday, June 4, 2025 2:19 PM
To: Jake Hattock
Cc: Kelly, Paul; Fryatt, Marcus
Subject: RE: [EXTERNAL]:RE: The Hill at the National - New Development - School Service

Hi Jake,

I've forward to my Chief Operations Officer and Assistant Superintendent for Business Services. They will get back with you. Initially, I don't see capacity issues, but Drs. Kelly and Fryatt can confirm.

Thanks,
Mike



Mike Kimbrel, Ph.D. | Superintendent

Park Hill School District

7703 NW Barry Rd.

Kansas City, MO 64152

Office: 816-359-4050

Email: kimbrelm@parkhill.k12.mo.us

From: Jake Hattock <jhattock@schlagelassociates.com>
Sent: Wednesday, June 4, 2025 12:58 PM
To: Kimbrel, Michael <KimbrelM@parkhill.k12.mo.us>
Subject: [EXTERNAL]:RE: The Hill at the National - New Development - School Service

You don't often get email from jhattock@schlagelassociates.com. [Learn why this is important](#)

CAUTION: This email originated from outside of Park Hill. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mike-

I am sure you are busy and hope the school year has wrapped up well.

We are working on a resubmittal for this proposed development and wanted to follow up with you and see if you could confirm that the development would be acceptable to the school district from a capacity standpoint. As part of the city process, we need to confirm that the school district is acceptable to the number of homes.

As a background this project is proposing to construct 52 single family homes with an anticipated price of \$1,000,000 to \$3,000,000 and higher very similar to the neighboring homes in the National. We do not anticipate the minimal number of lots would pose a problem with the school district but are required to confirm.

Thanks for your time!

Jake Hattock, P.E.
Principal / Sr. Project Engineer
Direct 913-322-7155
Cell 913-669-1190



ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 W. 107th Street, Lenexa, Kansas 66215-4018
(913) 492-5158 Main • (913) 492-8400 Fax

www.schlagelassociates.com

From: Jake Hattock
Sent: Monday, May 5, 2025 1:14 PM
To: kimbrelm@parkhill.k12.mo.us
Subject: The Hill at the National - New Development - School Service

Mike-

We are working on a preliminary plat for a new proposed single-family development and as part of that application process need to obtain signatures from the utility providers as well as the school district in acknowledgment that the development can be serviced. I have attached the Parkville city form as well as our preliminary plat for your review and signature of adequate service available but if you have any questions, please reach out to me or the developer who is tagged on this email as well.

Thanks-

Jake Hattock, P.E.
Principal / Sr. Project Engineer
Direct 913-322-7155
Cell 913-669-1190



ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 W. 107th Street, Lenexa, Kansas 66215-4018
(913) 492-5158 Main • (913) 492-8400 Fax

www.schlagelassociates.com



Spire, Inc.
7500 E 35th Terrace
Kansas City, MO 64129

May 5, 2025

Jake Hattock
Schlagel

RE: The Hill at the National
Located at NW Crooked Rd and N Crooked Dr

To Whom It May Concern:

Natural gas will be made available to the above-mentioned property in accordance with our Extension of Distribution Facilities on file with the Missouri Public Service Commission.

A review of this site indicated an adequate supply of natural gas is available to serve this area, however, a main extension may be required.

We look forward to serving your project. Should you have additional questions, please contact me direct at 816-399-9401 when you are ready to move forward.

Sincerely,

Christy Meers

Residential Business Development
816.399.9401 Mobile
christy.meers@spireenergy.com

Jake Hattock

From: Mike McMillian <mmcmillian@alliancewater.com>
Sent: Monday, May 5, 2025 1:16 PM
To: Jake Hattock; Fleming, Scott
Cc: jacie lieber
Subject: RE: 23-068 The Hills at the National Water Layout

Hi Jake,

I will put together a letter stating the water district will serve the sub-division once main extensions, upgrades are completed and accepted and approved by the board. I will copy you all when I send it.

Thanks,

Mike McMillian
Alliance Water Resources, Local Manager
Platte County Division
Office (816) 891-3457 Fax (816) 891-0625
www.alliancewater.com

From: Jake Hattock <jhattock@schlagelassociates.com>
Sent: Monday, May 05, 2025 1:00 PM
To: Fleming, Scott <Scott.Fleming@hdrinc.com>
Cc: Mike McMillian <mmcmillian@alliancewater.com>; jacie lieber <jacielieber@yahoo.com>
Subject: RE: 23-068 The Hills at the National Water Layout

You don't often get email from jhattock@schlagelassociates.com. [Learn why this is important](#)

Scott/Mike-

This project has paused for a while but is now gearing back up. I have attached a preliminary plat and as part of that application we need either a signature on the attached from you or a letter(email) stating that you guys can provide service to this project. Is that something you can send over to me?

Thanks-

Thanks-

Jake Hattock, P.E.
Principal / Sr. Project Engineer
Direct 913-322-7155
Cell 913-669-1190



ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 W. 107th Street, Lenexa, Kansas 66215-4018
(913) 492-5158 Main • (913) 492-8400 Fax

www.schlagelassociates.com

From: Fleming, Scott <Scott.Fleming@hdrinc.com>
Sent: Monday, June 19, 2023 12:03 PM
To: Jake Hattock <jhattock@schlagelassociates.com>
Cc: Ryan McGinnis <rm@schlagelassociates.com>; Mike McMillian <mmcmillian@alliancewater.com>
Subject: RE: 23-068 The Hills at the National Water Layout

Jake-

We confirmed that an 8-inch water main is required outside the proposed development along Crooked Road, extending from the proposed development north to the 6" water main at the SW corner of Crooked Road and Ironwood Road (west of the 6x4 tee). (The existing 4" water main goes north along the West side of Ironwood Road.) This is a total distance of about 2200 feet from the Northwestern most lot of the proposed development.

The existing 6-inch water main along Crooked Road is to remain in service.

Let us know if you have any questions.

Scott Fleming, PE
D 816-347-1354 M 816-665-2671

hdrinc.com/follow-us

From: Jake Hattock <jhattock@schlagelassociates.com>
Sent: Wednesday, June 14, 2023 4:40 PM
To: Fleming, Scott <Scott.Fleming@hdrinc.com>
Cc: Ryan McGinnis <rm@schlagelassociates.com>
Subject: RE: 23-068 The Hills at the National Water Layout

CAUTION: [EXTERNAL] This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Scott-

I know you are working through some items discussed below and attached but I wanted to see if you have had a chance to review the required upgrades? As Ryan had mentioned there were some discrepancies on the overall length of 8" improvements that were required and didn't know if you could better clarify if the 2200 lf was correct or if the 4500 lf was correct?

Currently the developer is not certain if the project is viable and is wanting a cost estimate to reexamine the project as a whole. Due to the length discrepancy on the required offsite upgrades it is difficult for us to estimate this cost. Any information you could provide would be greatly appreciated.

Thanks-

Jake Hattock, P.E.
Design Engineer
Direct 913-322-7155

 **SCHLAGEL**
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 W. 107th Street, Lenexa, Kansas 66215-4018
(913) 492-5158 Main • (913) 492-8400 Fax

www.schlagelassociates.com

From: Ryan McGinnis <rm@schlagelassociates.com>
Sent: Tuesday, June 13, 2023 4:42 PM
To: Scott.Fleming@hdrinc.com
Cc: Jake Hattock <jhattock@schlagelassociates.com>
Subject: 23-068 The Hills at the National Water Layout

Scott,

Please include Jake Hattock on all future emails.

Here is the current layout for The Hills at the National that you requested.

6 lots will need to connect to the existing mains across the street in the areas I've marked up.

As I mentioned previously, please include a calculation of the total number of lots we can supply to this development without upgrading any of the existing lines.

If needed we can adjust the layout to have larger lots and loose a couple if needed.

Are we looking at losing 4-5 or are we looking at not being able to serve half of the development.

We need to know this number to continue.

Thank you,

Ryan McGinnis, P.E.

Design Engineer
Direct 913-322-7166



ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 W. 107th Street, Lenexa, Kansas 66215-4018
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www.schlagelassociates.com



June 5, 2025

Jake Hattock
Schlagel
14920 W 107th St
Lenexa, ks 66215

**Re: The Hill at the National
Parkville, MO**

Dear Jake Hattock:

At your request, Evergy is providing this acknowledgement that the above-mentioned property is within Evergy's service territory and, consequently, Evergy will serve the project consistent with its General Rules and Regulations. This correspondence is not a guarantee of service on any specific timeline. Changes, delays, or additions to the project's design, timeline, and installation may result in delays or additional equipment necessary to ensure service upon completion of the project. Additionally, Evergy is subject to the availability of distribution equipment and any supply chain disruptions may affect Evergy's ability to provide service.

All projects must conform to Evergy's Electrical Service Standards and service is dependent upon a timely application for electrical service and supporting information. Upon submission of updated project information, Evergy will work with you to provide information regarding our timeline for provision of service.

Sincerely,

Rob Henson
General Design Technician
Evergy
8325 N Platte Purchase Dr, Kansas City, MO 64118
816-398-1295

Attachment: Preliminary Plat of The Hills at the National

Jake Hattock

From: Andrew Homoly <ahomoly@homoly.com>
Sent: Wednesday, June 4, 2025 1:00 PM
To: Jake Hattock
Cc: Clay Blair; jacie lieber
Subject: Re: Hills at the National

Looks good. You may send this email to the City of Parkville:

Dear City of Parkville,

I am a supporter of The Hills at the National development. As a builder who has built many homes in the National and frequently builds in the Parkville area, these types of lots are in high demand. This development will be a big asset to the city.

Andy

Andrew Homoly

President

| 816-891-2444

| 924 Oak St, Kansas City, MO 64106



On Wed, Jun 4, 2025 at 10:48 AM Jake Hattock <jhattock@schlagelassociates.com> wrote:

Andy-

Clay has asked me to send over our preliminary plat for the Hills at the National Project. I have attached it with this email and the 2nd page will show lot styles.

Thanks-

Jake Hattock, P.E.

Principal / Sr. Project Engineer

Direct 913-322-7155

Cell 913-669-1190



14920 W. 107th Street, Lenexa, Kansas 66215-4018

(913) 492-5158 Main • (913) 492-8400 Fax

www.schlagelassociates.com

May 12, 2025

City of Parkville, Missouri
Planning and Zoning Commission
Parkville City Hall
8800 Clark Ave.
Parkville, MO 64152

RE: “Hills at the National” Rezoning Hearing- May 13, 2025

Planning and Zoning Commission Members:

As proud residents of the Parkville community, we are writing to express our concerns regarding the ‘Hills at the National’ development and the upcoming rezoning hearing scheduled for May 13, 2025. We share the view outlined in the 2040 Parkville Master Plan that Parkville should “grow responsibly in every quality way.” Tantamount to that vision is the requirement that progress should be accomplished responsibly and with transparency.

It is with these thoughts in mind that we write to you to express our concerns regarding the proposed rezoning of the land in question from Agriculture to Residential. To date, the proposed developer has not provided sufficient due diligence to justify a decision by the Planning and Zoning Commission to rezone the property. As neighboring residents, some of the concerns we believe should be addressed before considering rezoning, include:

- Development Plan
 - The developer has not submitted a detailed site plan, which is the most basic information necessary for informed decision making. The plan should identify parcel sizes with setbacks, public infrastructure with utility easements, required greenspace, and road connections from NW Crooked Road.
- Safety Concerns to NW Crooked Road
 - The access point(s) for the proposed development would be located on NW Crooked Road. NW Crooked Road currently lacks road shoulders, turn lanes, and adequate lane spacing and does not have the capacity to support the addition of a residential development. Rezoning this property to residential without addressing NW Crooked Road’s capacity to support the development raises safety concerns for the community.

- Note: There have been inquiries from the Developer about gaining access to N. National Drive through land owned by The National Homeowners Association. That request was voted on by the HOA Board and rejected. Any future attempts to gain access to N. National Drive would be strongly opposed due to traffic and safety concerns, among many other reasons, which will not be elaborated on here given the lack of access.
- Traffic Impact Study
 - Rezoning should only be considered once a licensed professional has conducted a traffic impact analysis and all recommendations required to ensure the safety of residents have been implemented.
- Safety Concerns due to High Pressure Gas Line
 - A high-pressure jet fuel gas line extends along the length of the property. Development in proximity to this jet fuel line poses considerable health and safety risks for Parkville residents. No action should be taken with respect to this land until all potential risks associated with the fuel line have been identified and remediated.
- Water Run Off Study and Plan
 - Due to the land's topography, the developer should be required to complete run off studies and present a plan to prevent water run-off from affecting the community. These studies should be done before rezoning is considered due to the irreversible impact on surrounding properties.
- Offsite Utility Connections
 - Access to utilities is currently unavailable on the land in question. The developer should be required to present a safe and sanitary plan for obtaining access to water, sanitation, gas, and electric connections that can be achieved without presenting a nuisance to the surrounding community.
- Environmental and Endangered Species
 - This area of wooded, agricultural land currently hosts numerous wildlife species. Prior to any rezoning away from agriculture, the developer should be required to conduct an environmental study for endangered species. This study will assess potential impacts of rezoning and development on these species and their habitats, ensuring adherence to the Endangered Species Act.
- Sampell Historical Cemetery
 - The land contains a historic cemetery with graves from the 1800s. Before rezoning, the developer should be required to identify any unmarked graves and establish boundary lines for the Sampell Cemetery.

- “The Hills at The National”
 - Although this topic may not specifically relate to planning and zoning, it is a significant concern for the National HOA Board and residents. The use of the name "The Hills at the National" is a thinly veiled effort to brand this development in a manner that suggests an affiliation with The National. We do not support or endorse the use of this name or any name that falsely implies an association with The National.

For these reasons, we urge the committee to recognize that it would be imprudent to vote in favor of rezoning the land to ‘R2’ without first reviewing and addressing these concerns. We realize that your service as Commission members is not always an easy one, but we believe collaboration between community members and leaders will help Parkville grow responsibly while preserving its integrity and charm. Thank you for taking the time to address our concerns.

Regards,

The National Homeowners Association Board

Bob and Sue Lock

Michael and Gwen Royle

Dave and Jill Waston

Jeremy and Denise Franklin

John IV and Marilyn Underwood

Scott and Stephanie Strawn

Caleb and Nicole Bauland

John and Holly Thompson

David Dockhorn

Cameron and Hayley Cooper

Bob and Linda Brandom

Luke Austin and Katie Spencer

Stacey Perkins and Joe Diamond

Kyle and Cary Burch

Ryan and Anne Walton

Wayne and Nanette Chatham

Brian and Amy Koons

Doug and Kristin Ham

Blake and Jill Spencer

Mike and Debbie Sobba

Wade and Luciana Rosenquist

Jim and Laura Mitchell

Mike and Angie Gaskill

Rick Austin and Dawn Heshion

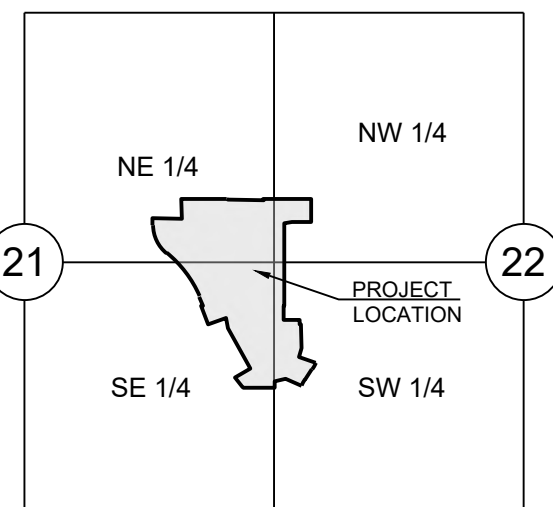
Jim and Karon Spencer

Todd and Monica Fox

Jason and Heather Doyle

Brian & Kellie Narron

FINAL PLAT OF
THE HILLS AT THE NATIONAL - FIRST PLAT
PART OF THE EAST 1/2 OF SEC. 21-51-34 AND WEST 1/2 OF SEC. 22-51-34
AND A REPLAT OF ALL OF LOT 1 AND PART OF LOT 69-A OF CHAPEL
HILL AT THE NATIONAL
IN THE CITY OF PARKVILLE, PLATTE COUNTY, MISSOURI

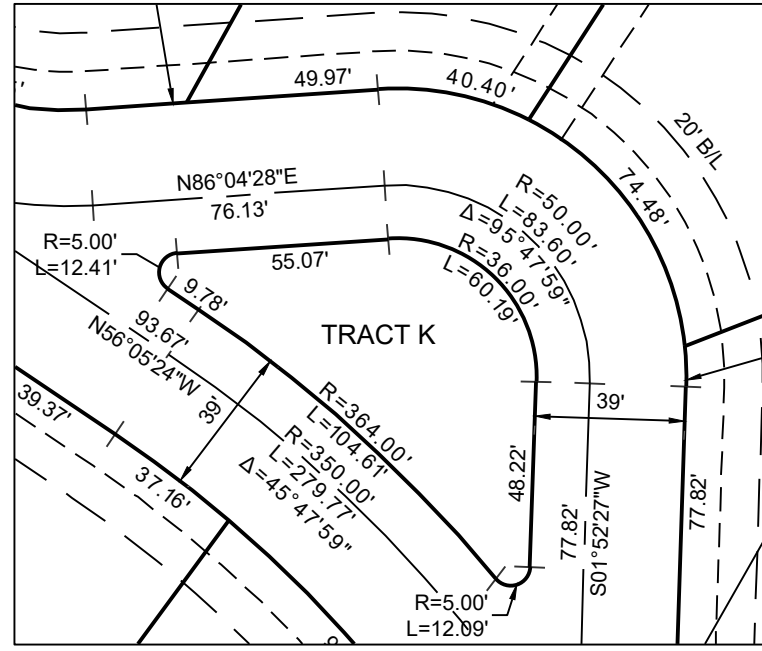


SECTIONS 21-51-34
& 22-51-34

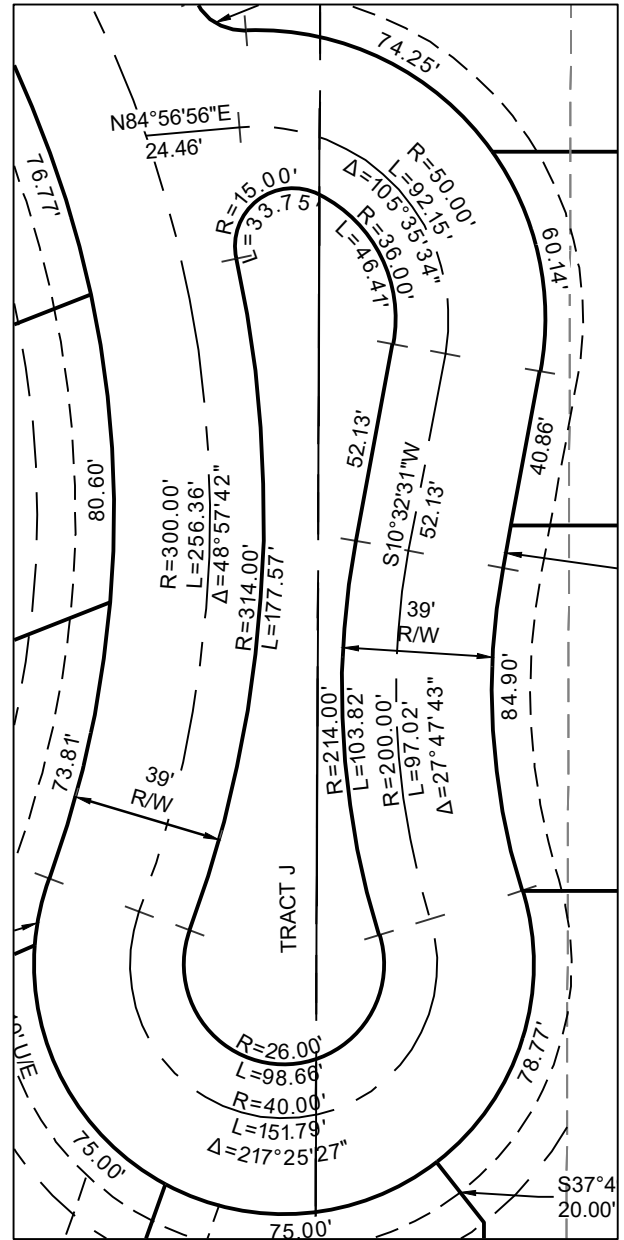
LOCATION MAP
SCALE 1" = 2000'

LEGEND:

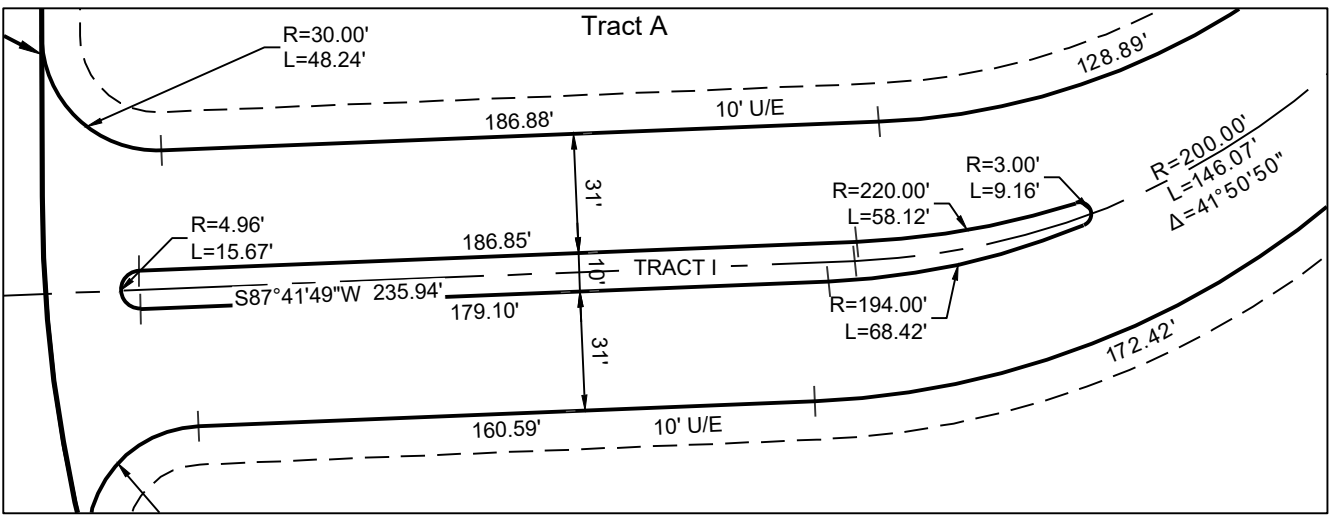
- FOUND 1/2" REBAR UNLESS OTHERWISE NOTED
- SET 1/2" REBAR W/LS 8859-F CAP UNLESS OTHERWISE NOTED
- SET 4" DIAMETER CONCRETE AROUND FOUND BAR
- SET 2" ALUMINUM CAP W/ MO LS2002200859 ON 24" LONG 5/8" BAR
- EXISTING LOT AND PROPERTY LINES
- EXISTING PLAT AND R/W LINES
- (D) - DEEDED
- (M) - MEASURED
- (P) - PLATTED
- E/E - ELECTRICAL EASEMENT
- D/E - DRAINAGE EASEMENT
- S/E - SANITARY SEWER EASEMENT



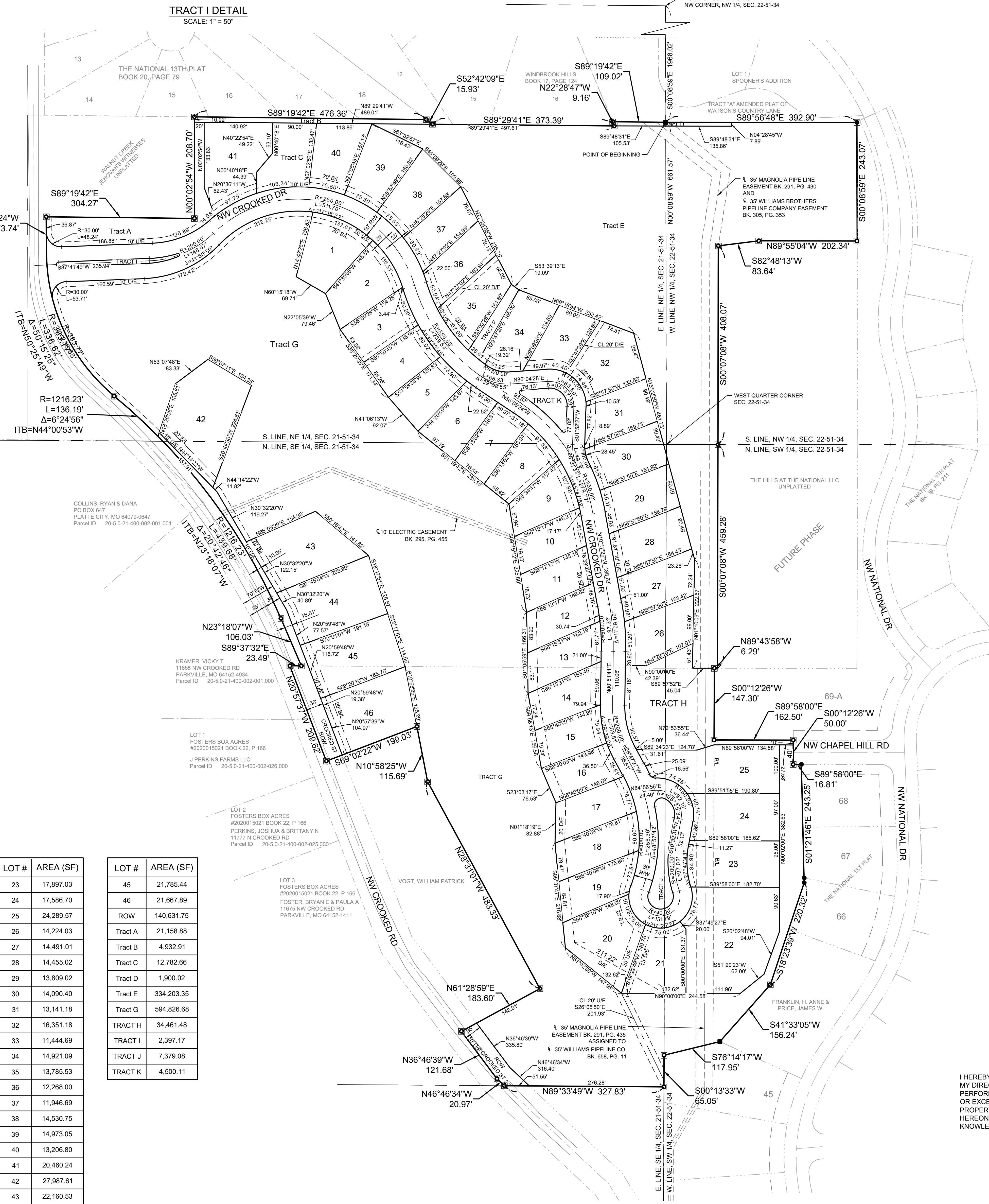
TRACT K DETAIL
SCALE: 1" = 50'



TRACT J DETAIL
SCALE: 1" = 50'



TRACT I DETAIL
SCALE: 1" = 50'

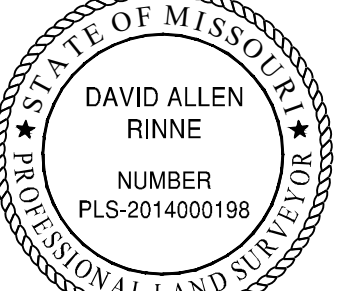


LOT #	AREA (SF)
1	15,021.34
2	14,539.68
3	11,835.37
4	11,304.01
5	11,452.71
6	12,638.59
7	11,595.83
8	11,918.49
9	12,121.17
10	11,288.24
11	11,346.32
12	12,022.16
13	12,577.92
14	12,107.06
15	11,046.74
16	11,117.64
17	12,663.16
18	13,723.93
19	12,770.39
20	19,513.92
21	14,903.27
22	37,926.68

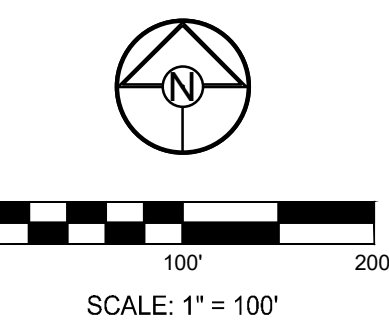
LOT #	AREA (SF)
23	17,897.03
24	17,586.70
25	24,289.57
26	14,224.03
27	14,491.01
28	14,455.02
29	13,809.02
30	14,090.40
31	13,141.18
32	16,351.18
33	11,444.69
34	14,921.09
35	13,785.53
36	12,268.00
37	11,946.69
38	14,530.75
39	14,973.05
40	13,206.80
41	20,460.24
42	27,987.61
43	22,160.53
44	23,794.69

LOT #	AREA (SF)
45	21,785.44
46	21,667.89
ROW	140,631.75
Tract A	21,158.88
Tract B	4,932.91
Tract C	12,782.66
Tract D	1,900.02
Tract E	334,203.35
Tract G	594,826.68
TRACT H	34,461.48
TRACT I	2,397.17
TRACT J	7,379.08
TRACT K	4,500.11

I HEREBY CERTIFY THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION BASED ON A FIELD SURVEY PERFORMED ON 04-28-2023 AND THAT SURVEY MEETS OR EXCEEDS THE CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS. THE DETAILS SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



David Allen Rinne, P.L.S.
MO# PLS-2014000198



14920 West 107th Street • Lenexa, Kansas 66215
Ph: (913) 492-5158 • Fax: (913) 492-8400 • WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E20022003800-F #LAC2001005237 #LS2002200859-F

DATE	05/06/2025
DRAWN BY	SCH
CHECKED BY	SCH
PROJ. NO.	23-068

FINAL PLAT OF
THE HILLS AT THE NATIONAL
SHEET NO. 2 of 2



Application #: PZ 2025 -12
Date Submitted: May 8, 2025
Public Hearing: June 13, 2025
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Subdivision – Final Plat

Pre-application meeting required per Parkville Municipal Code Title IV, Section 403.010, Subsection C.

1. Applicant/Contact Information

Applicant(s)

Name: The Hills at The National, LLC
Address: 13626 W. 87th St Pkwy
City, State: Lenexa, KS 66215
Phone: (913) 831-3388 Fax: (913) 831-3398
E-mail: frank@primelandco.com

Engineer and/or surveyor(s) preparing plat & legal desc.

Name: Schlagel
Address: 14920 W. 107th St
City, State: Lenexa, KS 66215
Phone: (913) 492-5158 Fax: _____
E-mail: comments@schlagelassociates.com

Owner(s), if different from applicant(s)

Name: The Hills at The National, LLC
Address: 13626 W. 87th St Pkwy
City, State: Lenexa, KS 66215
Phone: (913) 831-3388 Fax: (913) 831-3398
E-mail: frank@primelandco.com

Contact Person, if different from applicant(s)

Name: Jake Hattock, PE
Address: 14920 W. 107th St
City, State: Lenexa, KS 66215
Phone: (913) 492-5158 Fax: _____
E-mail: JHattock@schlagelassociates.com

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that development in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) [Signature] Date: 5/8/25

Property Owner's Signature (Required) [Signature] Date: 5/8/25

2. Property information

Name and phase of plat: The Hills at The National

Final plat in substantial conformance with approved preliminary plat? concurrent submittal

If not, explain:

Zoning district: R-2-P

Anticipated uses: Residential lots

Acreage of this phase: 49.23

Number of lots: 54

Minimum lot size: 1/4 acre

Density of development: .912 Unit/Acre

3. Additional factors affecting the project

Please include other comments or factors relating to the proposed subdivision in an attached narrative.

Narrative attached.

4. Public Improvements

All public improvements must be designed to city standards and require approval, guarantees and permits prior to installation.

Improvement plans submitted and approved for:

Streets and access: _____
(Date approved)

Length of new streets: _____

Surface material: _____ Maximum grade: _____

Sanitary sewer: _____
(Entity and date approved)

Missouri Department of Natural Resources (MDNR) approval: _____
(Date approved)

Water: _____
(Entity and date approved)

Erosion and sediment control as per NPDESII: _____
(Date approved)

Floodplain development permit (if required): _____
(Date approved)

5. Checklist of required submittals

- ☒ Completed application, including plat with all required details and supporting data.
- ☒ Nonrefundable application fee of \$300.00 plus \$5.00 per lot (minimum \$305.00).
- ☒ Submit five (5) copies of the final plat (24" x 36" or larger) and one electronic copy (PDF format) containing the requirements outlined in Section 403.020 Subsection E. of the Development Code for initial staff and entity review. Additional large size copies may be requested following review by staff.
- ☒ Authorization signature of the owner of record of the property to be platted.
- ☒ Copy of any covenants and/or deed restrictions to be recorded with the Plat.
- ☐ Executed deed of release for any right-of-way dedicated to the city.
- ☐ Guarantees in the form of performance bonds or other city approved instrument ensuring the satisfactory completion of public improvements. The maintenance period for public improvements is two (2) years.

For City Use Only

Application accepted as complete by: Stephen Leachly, Community Development Director May 9, 2025
Name/Title Date

Application Fee (27.0000): \$ 540.00 By: ☒ Check # 1056 ☐ MO# _____

Date Paid: 5-8-2025 ☐ Credit Card _____ ☐ Cash _____

Payment by: The Hills at the National Received by: Jodi Kersten

Final reimbursable costs paid (if applicable). Date of Action: _____

Planning Commission Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____
Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____
Conditions if any: _____

6. Subdivision – Preliminary Plat checklist for staff review

1. Basic Information

- a. Name of the plat, phase and/or number if applicable
- b. Name, address, contact information of person / registered surveyor or firm that prepared the plat
- c. Date plat was prepared, including any revision dates

2. Plat Information

- a. Full property/legal description
- b. Total land area in square feet and acres of property
- c. Boundary survey notes
- d. Dedication language for property to be subdivided
- e. Easement language for easements to be granted to utility companies franchised to operate in Parkville, Mo.
- f. Open space dedication if applicable

3. Plat Drawing

- a. Graphic, engineering scale
- b. North arrow
- c. Monumentation/symbology legend
- d. Vicinity map identifying boundaries and location of property in relation to City
- e. Property lines and lot dimensions with total land area in square feet and acres
- f. Numbering of all lots (Lot 1, Lot 2, Lot 3, etc.)
- g. Lettering of all tracts (Tract A, Tract B, Tract C, etc.)
- h. Watermark designation with labeling of any previously platted lots or tracts
- i. Proposed rights-of-way, public and/or private streets with dimensions, centerlines and names
- j. Proposed easements for access or utilities
- k. Dimensions of all radii, acres, points of tangency, central angles and lengths of curves
- l. Indication of FEMA Special Flood Hazard Areas (SFHA) if applicable

4. Signature Information

- a. Signature line with date for property owner(s) and notary public
- b. Signature line with date for Mayor (with full name), City Clerk (with full name), and Community Development Director (with full name) of the City of Parkville
- c. Ordinance number with date that the ordinance was passed by the Board of Aldermen
- d. Signature line with date for surveyor's certification (to be signed & stamped on all plat copies to be recorded)



(816) 741-7676

REC#: 00080632 5/13/2025 4:27 PM
OPER: JK TERM: 002
REF#: 1056
PAID BY: The Hills At The National, LLC

TRAN: 27.0000 PLATS
PZ2025-12TheHillsattheNational
R-2-P 49.23 Acres
10 -41207-00
Subdivision Permit 540.00CR

TENDERED: 540.00 CHECK
APPLIED: 540.00-

CHANGE: 0.00

THE HILLS AT THE NATIONAL, LLC
13626 W 87TH ST PKWY
LENEXA, KS 66215
913-831-3388

 **Commerce Bank**
Lenexa, Kansas 66215 474
www.commercebank.com
18-1/1010

1056

PAY TO THE
ORDER OF CITY OF PARKVILLE

5/8/2025

Five Hundred Forty and 00/100 ***** \$ **540.00

CITY OF PARKVILLE

DOLLARS

MEMO

APPL FEE-FINAL PLAT


AUTHORIZED SIGNATURE

⑈001056⑈ ⑆101000019⑆ 382790506⑈

DESCRIPTION:

All that part of a tract of land in the East One-Half of Section 21, Township 51 North, Range 34 West and the West One-Half of Section 22, Township 51 North, Range 34 West and a Replat of all of Lot 1 and part of Lot 69-A of CHAPEL HILL AT THE NATIONAL, a minor subdivision in the City of Parkville, Platte County, Missouri, described as follows:

Commencing at the Northwest corner of the Northwest One-Quarter of said Section 22; thence along the West line of said Northwest One-Quarter, South 00 degrees 08 minutes 59 seconds East, a distance of 1968.02 feet to a point on the south line of Tract "A", AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL, a subdivision in the City of Parkville, Platte County, Missouri and the Point of Beginning; thence along the south line of said Tract "A", South 89 degrees 56 minutes 48 seconds East, a distance of 392.90 feet; thence South 00 degrees 08 minutes 59 seconds East, a distance of 243.07 feet; thence North 89 degrees 55 minutes 04 seconds West, a distance of 202.34 feet; thence South 82 degrees 48 minutes 13 seconds West, a distance of 83.64 feet; thence South 00 degrees 07 minutes 08 seconds West, a distance of 408.07 to a point on the South line of said Northwest One-Quarter; thence South 00 degrees 07 minutes 08 seconds West, a distance of 459.28 feet to a point on the North line of Lot 69-A, CHAPEL HILL AT THE NATIONAL, a minor subdivision in the City of Parkville, Platte County, Missouri; thence along the North, West and South line of said Lot 69-A for the following three courses, North 89 degrees 43 minutes 58 seconds West, a distance of 6.29 feet; thence South 00 degrees 12 minutes 26 seconds West, a distance of 147.30 feet; thence South 89 degrees 58 minutes 00 seconds East, a distance of 162.50 feet to a point on the North Right-of-Way line of Northwest Chapel Hill Road; thence South 00 degrees 12 minutes 26 seconds West, a distance of 50.00 feet to a point on the South Right-of-Way line of Northwest Chapel Hill Road; thence along said South Right-of-Way line, South 89 degrees 58 minutes 00 seconds East, a distance of 16.81 feet to the Northwest corner of Lot 68 of THE NATIONAL - FIRST PLAT, a subdivision in the City of Parkville, Platte County, Missouri; thence along the West line of said THE NATIONAL - FIRST PLAT for the following five courses, South 01 degrees 21 minutes 46 seconds East, a distance of 243.25 feet; thence South 18 degrees 23 minutes 39 seconds West, a distance of 220.32 feet; thence South 41 degrees 33 minutes 05 seconds West, a distance of 156.24 feet; thence South 76 degrees 14 minutes 17 seconds West, a distance of 117.95 feet to a point on the West line of said Southwest One-Quarter of Section 22; thence along said West line South 00 degrees 13 minutes 33 seconds West, a distance of 65.05 feet; thence North 89 degrees 33 minutes 49 seconds West, a distance of 327.83 feet to a point on the Easterly Right-of-Way line of Northwest Crooked Road; thence along said Easterly Right-of-Way line for the following two courses North 46 degrees 46 minutes 34 seconds West, a distance of 20.97 feet; thence North 36 degrees 46 minutes 39 seconds West, a distance of 121.68 feet; thence North 61 degrees 28 minutes 59 seconds East, a distance of 183.60 feet; thence North 28 degrees 31 minutes 01 seconds West, a distance of 483.33 feet; thence North 10 degrees 58 minutes 25 seconds West, a distance of 115.69 feet; thence South 69 degrees 02 minutes 22 seconds West, a distance of 199.03 feet to a point on the Easterly Right-of-Way line of Northwest Crooked Road; thence along said Easterly Right-of-Way line for the following seven courses North 20 degrees 57 minutes 37 seconds West, a distance of 209.62 feet; thence South 89 degrees 37 minutes 32 seconds East, a distance of 23.49 feet; thence North 23 degrees 18 minutes 07 seconds West, a distance of 106.03 feet to a point of curvature; thence along a curve to the left having an initial tangent bearing of North 23 degrees 18 minutes 07 seconds West, a radius of 1216.23 feet, a central angle of 20 degrees 42 minutes 46 seconds and an arc length of 439.68 feet to a point on the North line of the Southeast One-Quarter of said Section 21 and a point of curvature; thence continuing along a curve to the left having an initial tangent bearing of North 44 degrees 00 minutes 53 seconds West, a radius of 1216.23 feet, a central angle of 06 degrees 24 minutes 56 seconds and an arc length of 136.19 feet to a point of curvature; thence along a curve to the right having an initial tangent bearing of

North 50 degrees 25 minutes 49 seconds West, a radius of 383.77 feet, a central angle of 50 degrees 15 minutes 25 seconds and an arc length of 336.62 feet; thence North 00 degrees 10 minutes 24 seconds West, a distance of 73.74 feet; thence South 89 degrees 19 minutes 42 seconds East, a distance of 304.27 feet; thence North 00 degrees 02 minutes 54 seconds West, a distance of 208.70 feet to a point on the South line of THE NATIONAL - THIRTEENTH PLAT, a subdivision in the City of Parkville, Platte County, Missouri; thence along said South line South 89 degrees 19 minutes 42 seconds East, a distance of 476.36 feet to a point on the Westerly line of Lot 12 WINDBROOK HILLS, a subdivision in the City of Parkville, Platte County, Missouri; thence along said Westerly line of Lot 12, South 52 degrees 42 minutes 09 seconds East, a distance of 15.93 feet to a point on the South line of said WINDBROOK HILLS; thence along said South line, South 89 degrees 29 minutes 41 seconds East, a distance of 373.39 feet to the Southeast corner of Lot 16 of said WINDBROOK HILLS; thence along the Easterly line of said Lot 16, North 22 degrees 28 minutes 47 seconds West, a distance of 9.16 feet to the Southwest corner of Lot 17 of said THE AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL; thence along the South line of said THE AMENDED PLAT OF WATSON'S COUNTRY LANE AT THE NATIONAL, South 89 degrees 19 minutes 42 seconds East, a distance of 109.02 feet to the Point of Beginning and containing 1,893,211.53 square feet, 43.462 acres, more or less.