



CITY OF PARKVILLE * 8880 Clark Avenue * Parkville, MO 64152 * (816) 741-7676 * (816) 741-0013

DEAN KATERNDAHL

Mayor

TINA WELCH
PHILIP WASSMER
Ward 1 Aldermen

DOUGLAS WYLIE
STEPHEN MELTON
Ward 3 Aldermen

BRIAN T. WHITLEY
BOB BENNETT
Ward 2 Aldermen

MICHAEL LEE
EVAN MAXON
Ward 4 Aldermen

SESSION SCHEDULE:

5:15 p.m.: Work Session

6:00 p.m.: Regular Meeting

The Parkville Board of Aldermen encourages citizen participation in city government. In compliance with the Missouri Sunshine Law, you are invited to participate in the meeting. The following rules have been established to facilitate the transaction of business during a meeting and ensure that everyone gets to speak. Please take a moment to review these rules before the meeting begins.

- Silence your mobile devices and set other noise-making devices to off or to “SILENT MODE” before the meeting begins.
- Always speak from the podium and use the microphone. This ensures that all comments are accurately and properly recorded on video and heard by those in the audience. Speakers are requested to state their full name, address and group affiliation, if any, before delivering any remarks.
- Speakers should limit their comments so as **not to exceed three minutes**. In the event of extensive public participation, the Mayor may further limit speaking times to assure as many people as possible have an opportunity to address the Board of Aldermen.
- If you have documentation or other materials to present to the Board of Aldermen for the official record, please provide them to the City Clerk.
- CITIZEN INPUT reserves time for citizen input on any City matter, other than those listed on the Action Agenda. A member of the public must submit to the City Clerk his/her name, address and the subject to be presented, along with any supporting materials, by noon the day of the Board meeting. Unless unusual circumstances dictate otherwise, the Board of Aldermen will not make a decision on any issue(s) presented by an individual or group during a meeting, but may refer an item to staff for action or additional analysis (Boy Scouts, Girl Scouts and other similar youth civic/service members will be recognized during Citizen Input and are therefore exempt from the notification requirement). Speakers will be limited to three (3) minutes, unless waived at the discretion of the Mayor.
- CONSENT AGENDA lists all matters that are considered to be routine by the Board of Aldermen and will be enacted under one motion without discussion. Any member of the Board of Aldermen

may be allowed to request an item be pulled from the Consent Agenda for consideration under the regular agenda if debate and a separate motion are desired. Any member of the Board of Aldermen may be allowed to question or comment on an item on the Consent Agenda without a separate motion under the regular agenda. Items not removed from the Consent Agenda will stand approved upon motion made by any alderman, followed by a second and a voice vote to “Approve the consent agenda and recommended motions for each item, as presented.”

- Voices carry, so please speak softly and keep discussion in the audience to a minimum so the Board of Aldermen can hear the discussions and make informed decisions.

Agendas can be accessed on the City website at <https://parkvillemo.gov/government/board-of-aldermen/> or by contacting the City Clerk at (816) 741-7676.

The City of Parkville does not discriminate on the basis of race, color, national origin, gender, religion, age, disability, genetic information, or other circumstance prohibited by federal, state, or local law, rule, or regulation, including Title II of the Americans with Disabilities Act.

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Posted Date & Time:	January 3, 2025, 2:30 p.m.	By:	KS
Amended Posted Date & Time:	January 6, 2025; 4:23 p.m.	By:	MM



BOARD OF ALDERMEN

AMENDED Regular Meeting Agenda
CITY OF PARKVILLE, MISSOURI
Tuesday, January 7, 2025 6:00 PM
City Hall Board Room

Note: Item 2C was added to the agenda.

Next numbers: Bill No. 3115 / Ord. No. 3246

1. CALL TO ORDER

- A. Roll Call
- B. Pledge of Allegiance

2. CITIZEN INPUT

- A. Proclaim January 2025 as National Human Trafficking Prevention Month
- B. Proclaim January 16, 2025, as National Religious Freedom Day
- C. Proclaim January 2025 as the 20th Anniversary of the Platte County Community Center South YMCA

3. CONSENT AGENDA

- A. Approve the minutes for the December 17, 2024, regular meeting
- B. Approve the minutes for the December 17, 2024, work session
- C. Approve the minutes for the December 17, 2024, special meeting

4. NON-ACTION AGENDA

- A. Parkville Area Chamber and EDC Quarterly Update

5. ACTION AGENDA

- A. Approve the second reading of Amended Bill No. 3314, an ordinance to amend Parkville Municipal Code Chapter 407 and other sections as part of a comprehensive update to City's landscape design standards - Case No. PZ 2024-32 (Community Development)
- B. Approve the first and second readings of Bill No. 3315, an ordinance to accept the street and storm sewer (stormwater) public improvements, associated maintenance bonds, and irrevocable letter of credit for Platte 38 (Public Works)

6. STAFF UPDATES ON ACTIVITIES

- A. Administration
 - 1. Accounts Payable

Posted Date & Time:	January 3, 2025, 2:30 p.m.	By:	KS
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- 2. City Offices Closed January 20 - Martin Luther King, Jr. Day
- B. Police Department
- C. Community Development
 - 1. Development Updates
- D. Public Works
- E. Parks & Recreation
 - 1. 2025 Special Events List

7. MAYOR, BOARD OF ALDERMEN & COMMITTEE REPORTS & MISCELLANEOUS ITEMS

8. UPCOMING MEETINGS

- A.
 - Tuesday, January 21, 2025, at 6:00 p.m.
 - Tuesday, February 4, 2025, at 6:00 p.m.
 - Tuesday, February 18, 2025, at 6:00 p.m.
 - Tuesday, March 4, 2025, at 6:00 p.m.

9. EXECUTIVE SESSION

- A. The Board of Aldermen may enter into closed session pursuant to:
 - RSMo. 610.021(1) for legal actions, litigation and attorney-client communication
 - RSMo. 610.021(2) for real estate matters
 - RSMo. 610.021(3) and/or (13) for personnel matters
 - RSMo. 610.021(12) for negotiated contract matters

10. ADJOURN

General Agenda Notes:

The agenda closed at noon on January 2, 2025. With the exception of emergencies or other urgent matters, any item requested after the agenda was closed will be placed on the next Board meeting agenda. The deadline to submit your name for Citizen Input is noon on January 7, 2025.



PROCLAMATION

NATIONAL HUMAN TRAFFICKING PREVENTION MONTH

WHEREAS, human trafficking is a public health issue and crime that harms the health and well-being of individuals, families, and communities, often across generations; and

WHEREAS, nearly 25 years after the passing of the Trafficking Victims Protection Act, an estimated 27.6 million people are subjected to human trafficking globally, with cases reported in every U.S. state and territory; and

WHEREAS, human trafficking can happen to anyone, but certain populations are at greater risk, including people affected by abuse, violence, poverty, unstable living situations, or social disconnection; and

WHEREAS, human trafficking is connected to many other forms of violence and exploitation, and often shares common risk and protective factors—such as lack of resources and unsafe environments; and

WHEREAS, “Connecting the Dots. Strengthening Communities. Preventing Trafficking.” underscores the need to understand how human trafficking relates to other forms of violence and how we can prevent it by strengthening protective factors at the individual, relational, community, and societal levels; and

WHEREAS, strengthening communities requires collective action to reduce the conditions that contribute to exploitation, build resilience, and create environments where people are protected from human trafficking and other forms of violence; and

WHEREAS, the City of Parkville is committed to ensuring that those impacted by human trafficking receive services that are trauma-informed and responsive to their individual needs; and

WHEREAS, a successful response to human trafficking requires a coordinated, community-wide effort that includes collaboration across sectors and with those who have experienced human trafficking firsthand, to ensure that services and programs are effective and meet the needs of all survivors; and

WHEREAS, every individual, family, community, and organization can help raise awareness, prevent trafficking, and support survivors by learning how to take action.

NOW, THEREFORE, I, Dean Katerndahl, Mayor of the City of Parkville, Missouri do hereby proclaim January 2025 as National Human Trafficking Prevention Month.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of Parkville to be affixed this 7th day of January 2025.

Mayor Dean Katerndahl



PROCLAMATION

NATIONAL RELIGIOUS FREEDOM DAY

WHEREAS, January 16, 2025, is recognized as National Religious Freedom Day, a day to celebrate and reaffirm the fundamental right of religious freedom for all citizens; and

WHEREAS, religion has its greatest impact not at the national level but at the local level, where people of faith live by their convictions and serve and bless others on a one-on-one basis, fostering a sense of community and mutual support; and

WHEREAS, religion benefits our community by providing a moral compass, fostering love, and offering strength during loss; for decades, religious institutions and people of faith have played a crucial role in our city through charitable activities, aiding the needy, comforting those in loss, and encouraging us to high standards of integrity; and

WHEREAS, the United States Constitution and the Missouri Constitution affirm the right of all citizens to freely exercise their religious faith or nonreligious beliefs in the public square without being deprived of other rights or privileges; and

WHEREAS, we all benefit from a pluralistic society where residents of all beliefs work together for the common good while holding divergent viewpoints, and where all citizens are free to exercise such influence as their ideas and values may engender; and

WHEREAS, Parkville welcomes and protects people of diverse backgrounds by allowing them to freely live according to their deeply held convictions as protected by law; and

WHEREAS, Parkville encourages all residents to strive to understand the experiences and concerns of others while supporting the essential role religion plays in protecting human dignity, strengthening society, and fostering a culture of tolerance and peace.

NOW, THEREFORE, I, Dean Katerndahl, Mayor of the City of Parkville, Missouri do hereby proclaim January 16, 2026, as National Religious Freedom Day.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of Parkville to be affixed this 7th day of January 2025.

Mayor Dean Katerndahl



PROCLAMATION

PLATTE COUNTY COMMUNITY CENTER SOUTH YMCA 20TH ANNIVERSARY

WHEREAS, the Platte County Community Center South, operated by the YMCA of Greater Kansas City, has been a cornerstone of health, wellness, and community engagement for the past 20 years, serving more than 13,000 people of all ages annually, and enhancing the lives of residents through its diverse programs and services; and

WHEREAS, the Y has consistently demonstrated a commitment to building a healthy spirit, mind, and body by offering programs that promote healthy living, youth development and social responsibility, ranging from programs to help cancer survivors thrive, a community garden to help feed our community, swim lessons to prevent drowning, adaptive recreational programs for young people with disabilities, and more; and

WHEREAS, the Y's dedication to strengthening the community for all is reflected in its inclusive environment, providing access to individuals of all ages, backgrounds and abilities, and offering scholarships to those in need; and

WHEREAS, the Y's mission inspires countless volunteers, community partners, and supporters to contribute to its ongoing success and provide more opportunities to engage the community, and

WHEREAS, the Y has provided and will continue to provide for future generations invaluable services that encourage lifelong skills, foster connections, help people reach their potential and build a stronger community; and

WHEREAS, the Y has been a valuable and consistent partner to the City of Parkville and other community organizations in furthering the health and livability of our community.

NOW, THEREFORE, I, Dean Katerndahl, Mayor of the City of Parkville, Missouri do hereby proclaim January 2025 as YMCA 20th Anniversary Month in Parkville.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of Parkville to be affixed this 7th day of January 2025.

Mayor Dean Katerndahl

1. CALL TO ORDER

A regular meeting of the Board of Aldermen was convened at 7:15 p.m. at City Hall, 8880 Clark Avenue, Parkville, Missouri on December 17, 2024, and was called to order by Mayor Dean Katerndahl. City Clerk Melissa McChesney called the roll as follows:

Present:

Ward 1 Alderman Tina Welch
Ward 1 Alderman Philip Wassmer (*via videoconference*)
Ward 2 Alderman Brian T. Whitley
Ward 2 Alderman Bob Bennett
Ward 3 Alderman Douglas Wylie
Ward 3 Alderman Stephen Melton
Ward 4 Alderman Michael Lee
Ward 4 Alderman Allyson R. Berberich

Absent:

None

A quorum of the Board of Aldermen was present.

The following staff was also present:

Alexa Barton, City Administrator
Bryan Kidney, Deputy City Administrator/Finance Director
Jeffery Rhodes, Assistant City Administrator
Kevin Chrisman, Police Chief
Stephen Lachky, Community Development Director
Brittanie Propes, Parks & Recreation Director
Chris Ashley, Parks & Recreation Project Manager (*via videoconference*)
John Mautino, City Attorney

At the request of Mayor Katerndahl, local Boy Scout Jack Dotson led the Board in the Pledge of Allegiance to the Flag of the United States of America.

2. CITIZEN INPUT

A. **Present Certificate of Recognition to Jack Dotson for achieving rank of Eagle Scout**

Mayor Katerndahl presented the certificate to Jack Dotson for achieving the rank of Eagle Scout.

B. **Present a Certificate of Recognition to Bill Oliver, Nick & Jake's Parkville, for receiving the 2024 Parkville Community Development Award from the Platte County Economic Development Council**

Mayor Katerndahl presented a certificate of recognition to Bill Oliver, Nick & Jake's.

C. **Present a Certificate of Recognition to Brian Mertz for receiving the Rainmaker Award from the Platte County Economic Development Council**

Mayor Katerndahl presented a certificate of recognition to Brian Mertz.

3. CONSENT AGENDA

- A. Approve the minutes for the December 3, 2024, regular meeting
- B. Receive and file the crime statistics for January through October 31, 2024
- C. Approve a lease with Creekside Commercial, LLC for a Police Department substation

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE THE CONSENT AGENDA AND RECOMMENDED MOTIONS, AS PRESENTED.

RESULT: MOTION PASSED 8-0.

4. ACTION AGENDA

- A. Approve the second reading of Bill No. 3308, an ordinance to amend various sections of Parkville Municipal Code Chapter 105 regarding start time for regular Board of Aldermen meetings, effective January 1, 2025

Mayor Katerndahl stated the first reading was presented on December 3. No additional information was presented.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3308, AN ORDINANCE AMENDING SECTION 105.040, SUBSECTION A; 105.050 AND 105.090 CHANGING THE START TIME OF REGULAR MEETINGS OF THE BOARD OF ALDERMEN, ON SECOND READING TO BECOME ORDINANCE NO. 3241.

RESULT: MOTION PASSED 8-0.

AYES: TINA WELCH, PHILIP WASSMER, BRIAN T. WHITLEY, BOB BENNETT, DOUGLAS WYLIE, STEPHEN MELTON, MICHAEL LEE, ALLYSON R. BERBERICH

NOES: NONE

ABSTAIN: NONE

- B. Approve the first and second readings of Bill No. 3311, an ordinance to approve the fourth amendment to the Creekside Tax Increment Financing Plan and Projects - Case No. TIF 2024-01; Parkville Development 38, LLC; Parkville Development 50, LLC; Parkville Development 140, LLC; Parkville Development VVI, LLC, applicants

Community Development Director Stephen Lachky stated that the Creekside Tax Increment Financing (TIF) Plan was adopted in 2019 with 14 redevelopment project areas. Lachky said that as developments were built, lot boundaries could change, which required

approval of an amendment to the TIF Plan. A public hearing was held by the Planning and Zoning Commission on December 9. The proposed fourth amendment increased the redevelopment areas to 23 by adjusting the boundaries to split Redevelopment Project D into two project areas. He noted that when a project area was approved by ordinance, it began the 23-year clock.

Chris Mattix, Rouse Frets White Goss Gentile Rhodes PC, provided an overview of the TIF Plan, noting that Redevelopment Project Area D was split into two areas, with Costa Oil on Redevelopment Project Area D-1.

Lachky provided a background on the proposed ordinance for Redevelopment Project Area D-2, noting that historically, the first reading created a running history of the areas that were approved and those that were activated or changed.

Discussion focused on the timeframe to activate a project area, which was ten years.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3311, AN ORDINANCE APPROVING THE FOURTH AMENDMENT TO THE CREEKSIDE TAX INCREMENT FINANCING PLAN AND THE RECONFIGURED REDEVELOPMENT PROJECTS AND PROJECT AREAS INCLUDED THEREIN, ON FIRST READING.

RESULT: MOTION PASSED 8-0.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3311, AN ORDINANCE APPROVING THE FOURTH AMENDMENT TO THE CREEKSIDE TAX INCREMENT FINANCING PLAN AND THE RECONFIGURED REDEVELOPMENT PROJECTS AND PROJECT AREAS INCLUDED THEREIN, ON SECOND READING TO BECOME ORDINANCE NO. 3242.

RESULT: MOTION PASSED 8-0.

AYES: TINA WELCH, PHILIP WASSMER, BRIAN T. WHITLEY, BOB BENNETT, DOUGLAS WYLIE, STEPHEN MELTON, MICHAEL LEE, ALLYSON R. BERBERICH

NOES: NONE

ABSTAIN: NONE

C. Items related to the Creekside Tax Increment Financing Plan and Projects - Case No. TIF 2024-01; Parkville Development 38, LLC; Parkville Development 50, LLC; Parkville Development 140, LLC; Parkville Development VVI, LLC, applicant

1. **Approve the first and second readings of Bill No. 3312, an ordinance to approve Redevelopment Project Area D-1 of the Creekside Tax Increment Financing Plan as a redevelopment project and adopting tax increment financing therein**

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3312, AN ORDINANCE **APPROVING REDEVELOPMENT PROJECT AREA D-1 OF THE CREEKSIDE TAX INCREMENT FINANCING PLAN AS A REDEVELOPMENT PROJECT AND ADOPTING TAX INCREMENT FINANCING THEREIN, ON FIRST READING.**

RESULT: MOTION PASSED 8-0.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3312, AN ORDINANCE **APPROVING REDEVELOPMENT PROJECT AREA D-1 OF THE CREEKSIDE TAX INCREMENT FINANCING PLAN AS A REDEVELOPMENT PROJECT AND ADOPTING TAX INCREMENT FINANCING THEREIN, ON SECOND READING TO BECOME ORDINANCE NO. 3243.**

RESULT: MOTION PASSED 8-0.

AYES: TINA WELCH, PHILIP WASSMER, BRIAN T. WHITLEY, BOB BENNETT, DOUGLAS WYLIE, STEPHEN MELTON, MICHAEL LEE, ALLYSON R. BERBERICH

NOES: NONE

ABSTAIN: NONE

2. **Approve the first reading of Bill No. 3313, an ordinance to approve Redevelopment Project Area D-2 of the Creekside Tax Increment Financing Plan as a redevelopment project and adopting tax increment financing therein**

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3313, AN ORDINANCE **APPROVING REDEVELOPMENT PROJECT AREA D-2 OF THE CREEKSIDE TAX INCREMENT FINANCING PLAN AS A REDEVELOPMENT PROJECT AND ADOPTING TAX INCREMENT FINANCING THEREIN, ON FIRST READING AND POSTPONE THE SECOND READING INDEFINITELY.**

RESULT: MOTION PASSED 8-0.

D. **Approve the second reading of Bill No. 3309, an ordinance to rezone one parcel on 17.36 acres, more or less, for Creekside Industrial Complex from Platte County "RE" Rural Estate to City of Parkville "I-2-P" Light Industrial District - Case No. PZ 2024-27; Parkville Industrial, LLC, applicant**

Mayor Katerndahl stated that the first reading was presented on December 3. Community

Development Director Stephen Lachky noted that the only change was adding the provision regarding outdoor storage to match the standard for commercial zoning.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN BENNETT TO APPROVE BILL NO. 3309, AN ORDINANCE **REZONING ONE PARCEL ON 17.36 ACRES, MORE OR LESS, FOR CREEKSIDE INDUSTRIAL COMPLEX FROM PLATTE COUNTY "RE" RURAL ESTATE TO CITY OF PARKVILLE "I-2-P" LIGHT INDUSTRIAL DISTRICT**, ON SECOND READING TO BECOME ORDINANCE NO. 3244.

RESULT: MOTION PASSED 6-2.

AYES: PHILIP WASSMER, BOB BENNETT, DOUGLAS WYLIE, STEPHEN MELTON, MICHAEL LEE, ALLYSON R. BERBERICH

NOES: TINA WELCH, BRIAN T. WHITLEY

ABSTAIN: NONE

E. **Approve the second reading of Bill No. 3310, an ordinance to approve a preliminary development plan for Creekside Industrial Complex - Case No. PZ 2024-28; Parkville Industrial, LLC, applicant**

Mayor Katerndahl stated the first reading was presented December 3. No additional information was presented.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN BENNETT TO APPROVE BILL NO. 3310, AN ORDINANCE **APPROVING A PRELIMINARY DEVELOPMENT PLAN FOR CREEKSIDE INDUSTRIAL COMPLEX**, ON SECOND READING TO BECOME ORDINANCE NO. 3245.

RESULT: MOTION PASSED 6-2.

AYES: PHILIP WASSMER, BOB BENNETT, DOUGLAS WYLIE, STEPHEN MELTON, MICHAEL LEE, ALLYSON R. BERBERICH

NOES: TINA WELCH, BRIAN T. WHITLEY

ABSTAIN: NONE

F. **Approve the first and second readings of Bill No. 3314, an ordinance to amend Parkville Municipal Code Chapter 407 and other sections as part of a comprehensive update to City's landscape design standards - Case No. PZ 2024-32**

Mayor Katerndahl said he was concerned that five planting categories would be difficult to manage.

Chris Cline, Confluence, provided an overview of the changes recommended by the Planning and Zoning Commission, noting that the intent of the proposed amendments was not to make it complicated, which turned out to be. He said they worked hard to address

comments received throughout the process and recommended putting something in place and making adjustments if needed.

Community Development Director Stephen Lachky said the proposed text amendment was set up by the Planning and Zoning Commission with the broader goal of capturing a majority of the trees and shrubs in the appendices, which could be expanded if needed without amending the Municipal Code.

Discussion focused on the percentage of native plantings not being part of the Code, but that did not mean it was not happening; concerns that going from no standard to a 70 percent standard was too big of a step; and the standards only applied to future applications that would be submitted after they were approved.

The following members of the public provided comments: Mary Jane Kuehn, 9751 Promenade Drive; and Sheryl Biermann, 5310 NW Bluffs Way.

Further discussion focused on making adjustments as needed; minor changes at the discretion of the Community Development Director; adding a reference in Section 407.060, subsection C to Section 407.020, subsection F regarding the percentage of natives required; and fixing the scrivener's errors. Concerns were shared about the requirement to add two new trees for single-family homes and enforcing lighting spillage.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3314, AN ORDINANCE AMENDING CHAPTER 407 OF THE CODE OF ORDINANCES OF THE CITY OF PARKVILLE AS PART OF A COMPREHENSIVE UPDATE TO THE CITY'S LANDSCAPE DESIGN STANDARDS, ON FIRST READING.

It was noted that the motion did not include reference to the errors stated during discussion of the item.

RESULT: ALDERMAN WELCH WITHDREW HER SECOND.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE BILL NO. 3314, AN ORDINANCE AMENDING CHAPTER 407 OF THE CODE OF ORDINANCES OF THE CITY OF PARKVILLE AS PART OF A COMPREHENSIVE UPDATE TO THE CITY'S LANDSCAPE DESIGN STANDARDS WITH CORRECTIONS OF THE SCRIVENER'S ERRORS STATED DURING DISCUSSION OF THE ITEM, ON FIRST READING.

RESULT: MOTION PASSED 6-2 (LEE AND BERBERICH OPPOSED).

With the passage of the revised motion, City Attorney John Mautino stated that the second reading would be presented as an amended bill and would include the approved changes.

G. **Approve Resolution No. 24-016 to approve an agreement with the Mid-America Regional Council to administer the Parkville Sidewalk Gap Inventory and Rating Plan project**

Community Development Director Stephen Lachky said that the Mid-America Regional Council authorized Planning Sustainable Places grant funding every two years to municipalities to help fund local plans. The City received a \$19,000 grant, which required a 20 percent local match. Following approval, MARC would release a request for proposals to find a qualified consultant to work on the plan in 2025.

Discussion focused on concerns that the total amount was not enough to cover the entire city. To reduce costs, the scope could be reduced or some of the work could be done in-house.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN WELCH TO APPROVE RESOLUTION NO. 24-016 AUTHORIZING THE MAYOR TO EXECUTE THE AGREEMENT WITH THE MID-AMERICA REGIONAL COUNCIL TO ADMINISTER THE PARKVILLE SIDEWALK GAP INVENTORY AND RATING PLAN PROJECT.

RESULT: MOTION PASSED 8-0.

City Administrator Alexa Barton clarified that the consultant would create a plan and City staff would complete the assessment.

5. STAFF UPDATES ON ACTIVITIES

A. **Administration**

1. **Accounts Payable**

Per RSMo. 79.300, the accounts payable report outlining payments processing for payroll, contractual, commodities, equipment and all obligations of the City was included in the agenda packet.

2. **Hiring Incentive Policy: Police Department**

City Administrator Alexa Barton said that an administrative policy would provide a hiring incentive to police officers that would be paid out over a two-year timeframe.

3. **City Offices Closed December 25-27 - Christmas**

4. **City Offices closed January 1, 2025 - New Year's Day**

B. **Police Department**

Police Chief Kevin Chrisman provided an update on the archery hunt at Park University, noting that a total of eight deer were taken.

Chrisman provided an overview of Shop with a Cop that was held on December 15, noting that shopping was done with 18 families and 45 children. He thanked his staff, Parkville Area Chamber and EDC Executive Director Ed Linnebur, City Clerk Melissa McChesney and Court Administrator Toni Rizzuti for their help at the event. He recognized Jim Ecton, Level Builders, his wife Jill, and his staff, Lisa, and the Missouri State Highway Patrol for their help. Chrisman added that they would be helping another family that reached out after the event.

C. **Community Development**

Community Development Director Stephen Lachky said that he met with City Attorney John Mautino to review Missouri's regulations regarding chickens. He said it did not impact the City regulations, but staff would review the Municipal Code to determine if changes were needed.

1. **Development Updates**

D. **Public Works**

City Administrator Alexa Barton provided updates, noting that Spire was continuing to work into the Riss Lake subdivision and would be notifying residents that would be affected by the construction; and Google planned to be on the north side of the Creekside development.

She provided an update on staff certifications, including Director of Operations Richard Wilson for completing his certification in the Public Works Institute in the Kansas City Chapter of the American Public Works Association; Nick Lightner for receiving his Roadway Flagger certification that allowed him to teach flagging operations.

E. **Parks & Recreation**

Parks and Recreation Director Brittanie Propes said that Tom Barnard and Travis Phelan completed the course to be a Certified Arborist; staff would attend an online sports turf conference to learn how to maintain sports fields to a better standard; and staff would attend the National Parks and Recreation Association Maintenance Rodeo. She added that the first 5K race was scheduled for January 4, 2025, and 17 others were booked for 2025 to-date.

Propes said that a work session would be held with the Community Land and Recreation Board on January 7 to review the results of the parks and recreation survey with SWT Design and the ETC Institute. Following the work session, a second community input meeting would be held to receive feedback on project priorities. A separate work session would be scheduled to review the results of the citizen satisfaction survey portion.

Propes added that Christmas on the River was successful, and she received positive feedback about the Holiday Wonder Walk in English Landing Park.

6. MAYOR, BOARD OF ALDERMEN & COMMITTEE REPORTS & MISCELLANEOUS ITEMS

Mayor Katerndahl presented a gift to Alderman Berberich for her tenure as Ward 4 Alderman.

7. UPCOMING MEETINGS

8. EXECUTIVE SESSION

9. ADJOURN

Mayor Katerndahl declared the meeting adjourned at 9:11 p.m.

The minutes for December 17, 2024, having been read and considered by the Board of Aldermen, and having been found to be correct as written, were approved on this the seventh day of January 2025.

Submitted by:

City Clerk Melissa McChesney

1. GENERAL AGENDA

Mayor Dean Katerndahl opened the work session at 6:05 p.m. on December 17, 2024, at City Hall, 8880 Clark Avenue, Parkville, Missouri. In attendance were aldermen Tina Welch, Philip Wassmer (via videoconference), Brian T. Whitley, Bob Bennett, Douglas Wylie, Stephen Melton, Michael Lee and Allyson R. Berberich.

The following staff was also present:

Alexa Barton, City Administrator
Bryan Kidney, Deputy City Administrator/Finance Director
Jeffery Rhodes, Assistant City Administrator
Kevin Chrisman, Police Chief
Stephen Lachky, Community Development Director
Brittanie Propes, Parks & Recreation Director
Chris Ashley, Parks & Recreation Project Manager (via videoconference)
John Mautino, City Attorney

A. Proposed Site and Landscape Design Standards to be incorporated into Parkville Municipal Code Chapter 407

Community Development Director Stephen Lachky provided an overview of the landscape design standards projects and a history of the meetings held.

Chris Cline, Confluence, provided an overview of the changes recommended by the Planning and Zoning Commission; presentation attached as Exhibit A.

Discussion focused on how existing vegetation would be handled, if credit would be given for existing vegetation, and the recommended changes regarding the percentage of native vegetation and native cultivars.

Mary Jane Kuehn and David Dods provided comments.

2. ADJOURN

The work session ended at 7:04 p.m.

The work session minutes for December 17, 2024, having been read and considered by the Board of Aldermen, and having been found to be correct as written, were approved on this the seventh day of January 2025.

Submitted by:

City Clerk Melissa McChesney

1. CALL TO ORDER

A special meeting of the Board of Aldermen was convened at 9:15 p.m. at City Hall, 8880 Clark Avenue, Parkville, Missouri on December 17, 2024, and was called to order by Mayor Dean Katerndahl. City Clerk Melissa McChesney called the roll as follows:

Present:

Ward 1 Alderman Tina Welch
Ward 1 Alderman Philip Wassmer (*via videoconference*)
Ward 2 Alderman Brian T. Whitley
Ward 2 Alderman Bob Bennett
Ward 3 Alderman Douglas Wylie
Ward 3 Alderman Stephen Melton
Ward 4 Alderman Michael Lee

Absent:

None

A quorum of the Board of Aldermen was present.

The following staff was also present:

Alexa Barton, City Administrator
Bryan Kidney, Deputy City Administrator/Finance Director
Jeffery Rhodes, Assistant City Administrator
Kevin Chrisman, Police Chief
Stephen Lachky, Community Development Director
Brittanie Propes, Parks & Recreation Director
John Mautino, City Attorney

2. ACTION AGENDA

A. Consider Mayor's proposed appointment of Evan Maxon as Ward 4 Alderman

Mayor Katerndahl stated that he, Alderman Berberich and Alderman Lee interviewed four candidates that applied for the position, noting they had a broad range of backgrounds. He recommended appointing Evan Maxon.

Evan Maxon, nominee, said he looked forward to being part of the discussion, was a resident at Creekside for two years, and previously lived in Riss Lake.

Alderman Whitley shared his concerns with the process being during candidate filing for the April 2025 election and said he did not support the way it was handled. Alderman Welch said she felt the same way.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN LEE TO APPOINT EVAN MAXON AS WARD 4 ALDERMAN THROUGH THE SECOND MEETING IN APRIL 2025.

2024-xxx

City Attorney John Mautino recommended that the motion confirm the mayor's appointment instead of approving it.

RESULT: ALDERMAN LEE WITHDREW HIS SECOND.

ACTION: IT WAS MOVED BY ALDERMAN WYLIE AND SECONDED BY ALDERMAN LEE TO **CONFIRM THE MAYOR'S APPOINTMENT OF EVAN MAXON AS WARD 4 ALDERMAN THROUGH THE SECOND MEETING IN APRIL 2025.**

RESULT: MOTION PASSED 5-0.

AYES: PHILIP WASSMER, BOB BENNETT, DOUGLAS WYLIE, STEPHEN MELTON, MICHAEL LEE

NOES: NONE

ABSTAIN: TINA WELCH, BRIAN T. WHITLEY

B. **City Clerk administers oath of office**

City Clerk Melissa McChesney administered the oath of office to Evan Maxon.

3. ADJOURN

Mayor Katerndahl declared the meeting adjourned at 9:27 p.m.

The special minutes for December 17, 2024, having been read and considered by the Board of Aldermen, and having been found to be correct as written, were approved on this the seventh day of January 2026.

Submitted by:

City Clerk Melissa McChesney

2024-xxx

CITY OF PARKVILLE

Policy Report

Date: December 19, 2024

Prepared By:

Stephen Lachky, Community Development
Director

Reviewed By:

Alexa Barton, City Administrator

ISSUE:

Approve the second reading of Amended Bill No. 3314, an ordinance to amend Parkville Municipal Code Chapter 407 and other sections as part of a comprehensive update to City's landscape design standards - Case No. PZ 2024-32 (Community Development)

BACKGROUND:

Parkville Municipal Code Title IV (Development Code) is a comprehensive set of development standards intended to promote public safety, health and general welfare by implementing the City's Master Plan through urban design and subdivision standards, building standards, and land use standards via zoning districts. Provisions of the Development Code were first adopted on November 17, 1953, via Ordinance No. 334, and have been updated over the years, most recently at a comprehensive level on February 7, 2017, via Ordinance No. 2884.

On July 18, 2023, the Board of Aldermen approved a professional services agreement with Confluence in the amount of \$45,500 to develop a cohesive set of architectural design standards for the City. The project commenced in October 2023, followed by several steering committee meetings and work sessions; and on August 20, 2024, the Board of Aldermen adopted Ordinance No. 3229 creating Chapter 411, establishing a cohesive set of architectural design standards for the City.

PROJECT:

Throughout the Architectural Design Standards project, members of the Steering Committee (i.e., Planning and Zoning Commission) expressed interest in reviewing the City's site and landscape design standards contained within Chapter 407 as a separate project. Members of the Community Land and Recreation Board (CLARB) also expressed interest in overhauling the City's landscape design standards.

The City's current landscape requirements were adopted on February 7, 2017, via Ordinance No. 2884, and dictate plant type (e.g., large tree, small or ornamental tree, evergreen, shrub, ground cover, turf), specification (i.e., caliper size and height), plant species (i.e., trees and shrubs according to the Great Trees for the Kansas City Region* tree list [December 2013 revision]) and tree diversity (i.e., number of genus and species per a specific number of trees).

PROJECT COMMENCEMENT:

The Planning and Zoning Commission has been serving as the Steering Committee for this project and a special workshop was held with them on June 11, 2024, to go over the current regulations of Chapter 407 and view proposed amendments from Confluence. Following this meeting, feedback from Commissioners and public comments, the Planning and Zoning Commission and Board of

Aldermen held a joint work session on August 20, 2024. Since the meeting, Confluence has held one-on-one meetings with members of CLARB and received additional feedback from City staff and officials; and has prepared a comprehensive update of Chapter 407 via a formal text amendment to the Parkville Municipal Code.

PROPOSED TEXT AMENDMENT:

Through months of public engagement and feedback from City staff, the Streeting Committee and Board of Aldermen, Confluence has drafted a revised Chapter 407. Site and Landscape Design Standards. As stated by the Chapter's "Statement of Interest", the intent of the chapter is to *improve the aesthetic character of development with natural landscape materials... improve the functional aspects of site design ... coordinate landscape and design amenities across multiple sites... enhance the environmental and ecological function of unbuilt portions of sites... screen and mitigate the visual, noise or other impacts of high-intensity areas of sites, buildings and land uses... and enhance the functional aesthetic appeal of site grading solutions...*

The proposed text amendment includes the following sections within Chapter 407:

- **Intent and Applicability** – States the goals of the chapter and purpose of having adopted site and landscape design standards.
- **Site and Landscape Design Standards** – Establishes definitions/terminology, open space requirements for new development, parking lot design + landscaping standards, planting & species requirements, and performance criteria.
- **Screens, Fencing, and Site Walls** – Establishes buffer size and planting requirements, fence screening specifications, and standards for site walls and retaining walls.
- **Outdoor Lighting** – Contains performance standards for exterior lighting.
- **Stormwater Management** – Contains best management practices and strategies for stormwater mitigation.
- **Submittal Requirements** – Establishes contents required for submittal of site landscape plans.

PUBLIC COMMENTS:

The Planning and Zoning Commission has been serving as the Steering Committee for this project and has provided staff with feedback via its special workshops and joint work sessions. Staff has received public comments from members of the Planning and Zoning Commission, CLARB, and Board of Aldermen. Additionally, staff reached out to local landscape architecture firms for feedback, specifically groups who frequently work on projects within our community. Based on public comments received, Confluence has prepared a comprehensive update of Chapter 407 via a formal text amendment to the Parkville Municipal Code (see Attachment 3).

A public hearing was held at the December 10, 2024 regular meeting of the Planning and Zoning Commission. Jessica Holtz (14840 NW 61st St) stated that the proposed amendments to the Development Code is a "huge improvement" over the City's current landscaping standards. She stated that a 70% requirement of native plantings (by biomass) is the minimum threshold needed for sustainability purposes. She stated that requiring native trees is the number one thing the community could do for sustainability. She added that a definition for a "native plant" needs to be included. She also stated that the best practices and listings of native plants are constantly changing.

Mary Jane Kuehn (9751 Promenade Dr) provided written public comments to the Planning and

Zoning Commission prior to the meeting and reference them. She stated she had concerns with the definition of "xeriscaping" and "ornamental grasses"; as well as a lack of definition for "native plants." She provided the USDA definition of native plants, and said she had concerns with using a static list of recommended plant materials. She then noted the Great Trees for the Kansas City Region list was not updated and had invasive species listed. Ms. Kuehn drew parallels to the building codes, noting that the City does not maintain those Codes, rather, we refer architects and builders to national/international building codes. Ms. Kuehn had concerns provisions allowing the Community Development Director administrative authority to change the plant list. Ms. Kuehn also had concerns with green mulch not being included in the allowances of the code. Lastly, Ms. Kuehn stated she hopes Dan Harper (Public Works Director) provides an overview of the APWA 5600 standards when they are revised.

Alexa Barton (City Administrator) passed along a message from John Mautino (City Attorney) — who was absent due to illness — stating that administrative authority for revisions is normal in Development Codes, and his recommendation is to keep the provision as proposed by the text amendment. Chris Cline (Confluence) then responded he's agreeable to Mary Jane's proposed changes to the definitions of ornamental grasses and xeriscaping, but wording for the definition of "native plants" should refer to "this region".

David Dodds (5308 Bluffs Way) commented he felt the proposed 18 in. depth requirement for parking lot islands is not deep enough to support the growth of tree roots; and suggested that a 3 ft. depth requirement is more sufficient per his professional experience. He also mentioned concerns with the provision D.3. — limiting ornamental and prairie grasses to 4 ft. or less — since many native plants exceed 4 ft. high. He stated concerns with glare and uplighting allowances, as well as the allowance of native cultivars at the same value of native plantings. He also supported a 70% minimum threshold for native plantings (by planting category).

The attached Amended Bill reflects the draft of Chapter 407 reviewed and approved at the December 17, 2023 Board of Aldermen meeting, including the addition of "forbs" to the definition of "Native Plants" in Section 407.020.12, and revision of the reference to "60%" in Section 407.060.C to "70%."

STRATEGIC GOAL(S):

Quality Development

BUDGET IMPACT:

Confluence has conducted work for this project as part of their on-call agreement with the City for professional planning services. Expenses have been made from the Community Development Department's budget, specifically their engineering & planning fees line item (518.08-03-00). Except for required codification for the text amendment, there is no immediate budget impact.

ALTERNATIVES:

1. Approve the second reading of an ordinance amending Chapter 407. Site and Landscape Design Standards.
2. Postpone the second reading to January 21, 2025.
3. Do not approve the first reading of the ordinance.
4. Postpone the item.

FINANCE COMMITTEE RECOMMENDATION:

The item was not brought before the Finance Committee; rather, a public hearing was held at the December 10, 2024 regular meeting of the Planning and Zoning Commission.

Michael Wright (Chair) questioned whether City staff should use a “by total number” or “by total biomass” requirement for determining the native planting threshold. He also mentioned concerns about half-dead plant material, and whether the proposed definitions are broad enough to allow for City staff to pursue property maintenance code enforcement.

Barbara Wassmer (Commissioner) inquired if Confluence considered integrating permeable paving into the Development Code as part of this project. Chris Cline (Confluence) responded they did not, since it’d be explored in the City’s upcoming APWA 5600 revisions next year. She also stated her support for increasing the minimum threshold requirement for native plantings from 60% to 70%.

Gareld Butler (Commissioner) asked what the rationale was for proposing a 60% native planting requirement threshold. Chris Cline (Confluence) said his team spoke with multiple nurseries and communities (with similar requirements) throughout the state, and the issue of plant materials availability consistently came up. He added that not many municipalities in Missouri have native planting requirements; therefore, adding any such provision in our Development Code (whether a 60% or 70% threshold) would be positive and position the City as a leader for sustainability. Commissioner Butler then asked if it’s easier to measure a native plantings threshold by total plant count or by biomass. Chris Cline (Confluence) responded the more specific you make a requirement, the more onerous it becomes on developers and for staff to review.

Gareld Butler (Commissioner) noted the 9 ft. minimum width for islands in parking lots seemed large and asked the consultant if they should be reduced. Chris Cline (Confluence) stated that in his professional experience, anything smaller wouldn’t support the health/growth of a tree, which would eventually cause planting to die and be removed. Lastly, Commissioner Butler stated his preference is for the Native Plantings Material List to be maintained by the City, and not by a third-party source via reference (e.g., U.S. Department of Agriculture, Missouri Department of Conservation); but added that the list shouldn’t be static and should be updated time-to-time by staff.

Andrew Barchers (Commissioner) asked what resources the consultant used for compiling the Native Plantings Material List. Stephen Lachky (Community Development Director) referenced the bibliography, which included Grow Native!, Missouri Botanical Garden, Missouri Department of Conservation, and the National Wildlife Federation.

Following discussion and the public hearing, the Commission unanimously recommended (by a vote of 6-0) to approve the text amendment as recommended by staff, subject to the following changes:

Definitions

- Revise the definition of “Xeriscaping” to remove the reference to reduction of yard trimmings.
- Revise the definition of “Ornamental Grasses” to remove the listing of non-native species.
- Add a definition for “Native Plantings”, with reference to “this region” as opposed to “a region”.

Landscaping Standards

- Increase the minimum threshold of selected native plant materials from 60% to 70%.

1. Modify the calculation from a “by total amount” formula to “by category” formula (e.g., deciduous shade trees, deciduous ornamental trees, evergreen / coniferous trees, shrubs, ornamental grasses).
2. Allow some percentage of cultivars to be used alongside native plantings, but not 100% of the total amount.

- Increase the minimum depth of parking lot landscape islands from 18 in. to 36 in. (3 ft.)
- In addition to wood-based mulch, allow the usage of green mulch around all plantings and in all plant beds.
- Revise Section 407.020, D.3 to allow for the planting of tall ornamental and prairie grasses in front yard areas of residential properties, just not for the entire frontage of property.

STAFF RECOMMENDATION:

Staff recommends approval of the proposed text amendment to Parkville Municipal Code, Chapter 407. Site and Landscape Design Standards as part of a comprehensive update to the City's landscape design standards.

POLICY:

Per RSMo 89.050 and Parkville Municipal Code Chapter 403 *Applications & Procedures*, text amendments to the Development Code are to be approved by the Board of Aldermen by ordinance, after the Planning and Zoning Commissions considers the amendment at a public hearing and forwards their recommendation.

SUGGESTED MOTION:

I move to approve Amended Bill No. 3314, an ordinance amending Chapter 407 of the Code of Ordinances of the City of Parkville as part of a comprehensive update to the City's landscape design standards, on second reading to become Ordinance No. ____.

ATTACHMENTS:

1. Ordinance
2. Application
3. Chapter 407 Site and Landscape Design Standards
4. Chapter 408 Access & Parking
5. Native Plant Materials List
6. Great Trees for Kansas City Region

AN ORDINANCE AMENDING TITLE IV OF THE CODE OF ORDINANCES OF THE CITY OF PARKVILLE AS PART OF A COMPREHENSIVE UPDATE TO THE LANDSCAPE DESIGN STANDARDS

WHEREAS, Title IV – Development Code of the Parkville Municipal Code is a comprehensive set of development standards intended to promote the public safety, health and general welfare by implementing the City’s Master Plan through urban design and subdivision standards, building standards, and land use standards via zoning districts; and

WHEREAS, the City desires to improve the aesthetic character of development with natural landscape materials, improve the functional aspect of site design, and enhance the environmental and ecological function of sites; and

WHEREAS, members of Planning and Zoning Commission expressed interest in reviewing the City’s site and landscape design standards, and comprehensively updating them as a standalone project; and

WHEREAS, the Planning and Zoning Commission has been serving as the Steering Committee for this project and convened to discuss the Landscape Design Standards project via a special workshop held on June 11, 2024; and

WHEREAS, on August 20, 2024, a joint work session with the Board of Aldermen and Planning and Zoning Commission was held at Parkville City Hall to discuss the proposed text amendment; and

WHEREAS, on December 10, 2024, a public hearing was held at the regular meeting of the Planning and Zoning Commission where staff presented information to the Commission regarding the proposed text amendment, members of the Commission provided comments and questions to staff, then the Commission recommended (by a vote of 6-0) to approve the text amendment, subject to changes; and

WHEREAS, said changes have been incorporated into the proposed text amendments, as recommended by staff; and

WHEREAS, the Board of Aldermen concurs with the conclusions of the Planning and Zoning Commission and accepts their recommendation.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF PARKVILLE, MISSOURI, AS FOLLOWS:

SECTION 1. Parkville Municipal Code, Title IV, Chapter 407. Site and Landscape Design Standards is hereby amended and updated in its entirety, as shown in Exhibit A, attached hereto and incorporated herein by reference.

SECTION 2. Parkville Municipal Code, Title IV, Chapter 408. Access and Parking Standards, Section 408.050. Parking Design, Subsection B. Landscape Design, is hereby amended and removed, as shown in Exhibit B, attached hereto and incorporated herein by reference.

SECTION 3. Parkville Municipal Code, Title IV Notes, is hereby amended to include Appendix B.1: City of Parkville, Native Plant Materials List, as shown in Exhibit C, attached hereto and incorporated herein by reference.

SECTION 4. Parkville Municipal Code, Title IV Notes, Appendix B: Great Trees for the Kansas City Region is hereby amended and to be replaced in its entirety with Appendix B.2: Great Trees for the Kansas City Region, as shown in Exhibit D, attached hereto and incorporated herein by reference.

SECTION 5. This ordinance shall be effective immediately upon its passage and approval.

PASSED and APPROVED this 7th day of January 2025.

Mayor Dean Katerndahl

ATTESTED:

City Clerk Melissa McChesney



Application #: PZ 2024-32
Date Submitted: 10/30/2024
Public Hearing: 12/10/2024
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Text Amendment

Applicable to Chapters, Sections and Subsections within Parkville Municipal Code Title IV: *Development Code*

1. Applicant / Contact Information

Applicant(s)

Name: Alexa Barton

Address: 8880 Clark Ave

City, State: Parkville, MO

Phone: (816) 741-7676 Fax: (816) 741-1300

E-mail: abarton@parkvillemo.gov

Primary Contact(s), if different

Name: Stephen Lachky

Address: 8880 Clark Ave

City, State: Parkville, MO

Phone: (816) 741-7676 Fax: (816) 741-1300

E-mail: slachky@parkvillemo.gov

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that all text amendments are subject to statutory requirements and the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required)  Date: 12/30/2024

2. Proposed Text Amendment

The following information may be submitted on a separate sheet if necessary.

Amendment proposed to (Chapter, Section and Subsection number): Title IV - Development Code

Section / Subsection Title: Chapter 407. Site and Landscape Design Standards

Existing text:

See Chapter 407. Site and Landscape Design Standards

Proposed text:

See attached

Reason for amendment:

Request from members of the Steering Committee during the Architectural Design Standards project (2023-2024), who expressed interest in reviewing the City's existing standards and updating them as a separate Capital Improvement Program (CIP) project.

3. Potential benefits / effects

Generally, amendments are evaluated based on whether their benefit will likely outweigh any potential pitfalls, and their ability to implement community goals and objectives and improve the existing code. Describe below or on a separate sheet potential benefits and effects of the proposed amendment.

General benefits to property and residents in the City of Parkville (i.e., does the amendment make the code conform more closely with the City's Master Plan; improve public health, safety or general welfare; clarify or better implement the intent of the Code; or other):

The proposed amendment addresses the City's strategic goal of "Quality Development".

General effects to property and residents in the City of Parkville:

Improves the aesthetic character of development with natural landscape materials; improves the functional aspects of site design; improves relationship between lots and streetscapes; enhances the environmental and ecological function of sites (including reduced air or water pollution and reduced heat gain from paved surfaces); screens and mitigates visual impacts of high-intensity areas of sites; enhances the functional and aesthetic appeal of site grading solutions.

4. Checklist of required submittals

- ☒ Completed application, including all required details and supporting data.
- ☐ Nonrefundable application fee of \$300.00. Separately, the applicant will be billed to recover costs for required publication notice per Parkville Municipal Code Title IV, Section 403.010, Subsection E.

For City Use Only

Application accepted as complete by: Stephen Lachky, Community Development Director 10/30/2024
Name/Title Date

Application Fee (25.0000): \$ _____

By: ☐ Check # _____ ☐ MO# _____

Date Paid: _____

☐ Credit Card _____ ☐ Cash _____

Payment by: _____

Received by: _____

Final reimbursable costs paid (if applicable): _____

Date of Action: _____

☐ Hearing notice published in: _____

Date of publication: _____

Planning Commission Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Chapter 407. Site and Landscape Design Standards

Section 407.010	Intent and Applicability
Section 407.020	Site and Landscape Design Standards
Section 407.030	Screens, Fencing, and Site Walls
Section 407.040	Outdoor Lighting
Section 407.050	Stormwater Management
Section 407.060	Submittal Requirements

Section 407.010. Intent and Applicability

- A. **Intent.** It is the intent of this Chapter to:
1. Improve the aesthetic character of development with natural landscape materials, and in particular emphasize distinct areas throughout the community as reflected in the Master Plan or any specific plans.
 2. Improve the functional aspects of site design to provide safe and efficient circulation of vehicular, pedestrian, and bicycle users to improve connectivity between adjacent streets, sidewalks and trails with new development and redeveloped sites.
 3. Coordinate landscape and design amenities across multiple sites, with special attention to the relationship between lots and streetscapes and improving the character of districts and neighborhoods.
 4. Enhance the environmental and ecological function of unbuilt portions of sites, including reduced air or water pollution and reduced heat gain from large expanses of blank walls or paved surfaces.
 5. Screen and mitigate the visual, noise or other impacts of high-intensity areas of sites, buildings and land uses.
 6. Enhance the functional and aesthetic appeal of site grading solutions to improve each development's relationship with the existing site and surrounding site context, including provisions for the use of retaining walls and site walls.
- B. **Applicability.**
1. The standards of this Chapter shall apply to all new development except:
 - a. Detached houses and duplexes being built on an individual basis and on a previously platted lot, and which are not part of a larger residential neighborhood or subdivision plan; and
 - b. Improvements or repairs to existing development that do not result in an increase in building footprint by more than ten percent (10%), an increase in impervious surface, or changes in use that do not result in an increase in intensity.
 2. In cases where improvements or repairs increase the building footprint by more than ten percent (10%), increase the impervious surface or intensity of use, the intent is to bring the site into full compliance with these standards, except that the Director or Planning Commission may prorate the requirements to the extent of new development on the site where full compliance is not possible or practical.

Section 407.020. Site and Landscape Design Standards

A. Definitions. The following items are defined for this Article:

1. Deciduous Ornamental Tree. A deciduous tree (often an ornamental type tree) that reaches a mature height of less than 30 feet.
2. Deciduous Shade Tree. Defined as a deciduous tree with one vertical stem or trunk which begins branching at a height of six (6) feet or more and has a distinct crown that reaches a mature height of at least 30 feet.
3. Evergreen / Coniferous Tree. Defined as a tree that has needle-shaped or scale like leaves that remain green throughout the year; commonly referred to as pine, fir, and spruce trees. These trees generally reach a mature height of over 15 feet.
4. Green Mulch. Defined as a layer of plants that are closer to the ground, such as grasses, sedges, or other groundcovers, that can be used to support taller plants.
5. Invasive Plant Species. A plant reproducing outside its native range and outside cultivation that disrupts naturally occurring native plant communities by altering structure, composition, natural processes or habitat quality.
6. No Mow Grass. Defined as a type of grass that grows slowly and does not need to be mowed frequently.
7. Open Space. Any area not covered by a building, structure, parking lot, loading area, driveway, or other similarly paved area. Open space may include sidewalks, trails, pedestrian plazas and patios, and landscaped parking lot islands.
8. Ornamental Grasses. Defined as tall perennial grasses, generally over 24-inches at mature height, that are specifically grown and cultivated for their decorative properties.
9. Prairie Grass Plantings. Native grasses and forbs (flowering plants) found within the native prairie environment typical for the area prior to clearance and cultivation of the land by European settlers. For the purposes of this Article, prairie plantings may contain native grasses without forbs to simplify prairie plant installation and maintenance.
10. Turf Grass. A continuous plant coverage consisting of a grass species that is mowed or maintained at an established height of 6 inches or less and can include native and non-native vegetation, e.g., Kentucky Blue Grass, Perennial Ryegrass, Tall Fescue, Fine Fescue, Buffalo Grass.
11. Xeriscaping. Defined as the practice of landscaping with slow-growing, drought tolerant plants to conserve water.
12. Native Plants. Plants which have evolved in this region, ecosystem or habitat over thousands of years without human introduction. These plants include trees, shrubs, forbs (flowering perennials), grasses and sedges.

B. Open Space and Landscaping Required.

1. Site Design Standards. The site layout plan shall indicate the placement of each building (ground floor plan of the building with door and window placement noted), public streets, private drives and driveways, sidewalks, site walls, mechanical units, and above grade utility infrastructure (utility poles, light poles, utility boxes, meters, etc.). The following items shall be integrated into the design of site plan improvements:
 - a. **Pedestrian Access.** Each project site shall include a minimum 4' width concrete sidewalk connection to provide access from the adjacent public street or private drive through the proposed site (including through parking lots) to the front door of the proposed building and any other required doors. Any sidewalk that is placed adjacent to or within 2 feet of a curb (edge of pavement) of a public street or private drive shall be a minimum of 6' width to address pedestrian safety and comfort.
 - b. **Bicycle Access.** See Parkville Municipal Code, Section 408.030.D for bicycle parking requirements.
 - c. **Above-Grade Site Utilities.** Each project shall properly coordinate the proposed locations of above-grade utilities to consolidate their location(s) on the site to the extent practical. The intent is minimizing locations that can each be adequately buffered with landscape plantings and/or other improvements to enhance the visual appearance of the site.
 - d. **Roof/Site Drainage.** Each project shall properly design and coordinate the proposed locations and alignment of roof and site drainage, including any downspouts or other devices designed to convey stormwater, to avoid creating situations where water runoff flows over and/or pools on pedestrian walkways, trail connections, and high-traffic parking areas and driveways. Methods such as connecting roof drains directly to underground stormwater drainage systems or conveying stormwater at-grade to and through integrated green infrastructure improvements should be used to create a safe environment for pedestrian and vehicle circulation.
 - e. **Site Sections.** Each project shall provide at least one overall scaled site section drawing (accurately depicted – no vertical exaggeration), the selection of which shall be in consultation with the Director of Planning. The Director may require other site sections to be created to fully illustrate proposed site development conditions and site grading. The site section shall accurately depict public and private streets adjacent to the project site while illustrating the relationship of view sheds and site lines from adjacent properties and streets to the subject site, and shall include buildings, parking and retaining walls to indicate proposed site development conditions. If the site sections and submitted information do not provide adequate information to properly illustrate proposed development conditions, the Director and/or Planning Commission may require additional exhibits or perspective illustrations to accurately portray proposed development conditions and to assist in the City's evaluation of the application.
2. Open Space Required. All sites shall provide no less than the minimum amount of open space as required for each zoning district. (See Table 404-6.)
3. Open Space Landscaping Required. All landscape plans shall be prepared and stamped by a Landscape Architect licensed to practice in the State of Missouri.

- a. **Ground Cover.** All areas unencumbered by buildings, paving or hard surfacing, shall be landscaped with turf grass, prairie grass plantings, plant beds, green mulch, xeriscaping, shrubs, and trees.
- b. **Use of Mulch.** Except for single-family and duplex dwellings, wood-based mulch shall be used around all plantings and in all plant beds. If green mulch is proposed, wood-based mulch shall still be used at the time of initial planting and shall remain in place until the green mulch plantings are of sufficient size to fill and cover the planting bed. Large areas of wood mulch that do not contain plantings shall not be permitted except when used around play structures. Inorganic ground cover material, including rock, chip brick, and synthetic turf (unless part of a designated sport field or play surface), is prohibited except along building foundations, around drainage structures, and in other limited applications as may be deemed acceptable by the Director of Planning.
- c. **Minimum Open Space Landscape Requirements.** Each single-family and duplex dwelling constructed after the adoption of this ordinance shall be required to plant a minimum of two (2) trees (ornamental or shade) per lot or unit prior to the issuance of an occupancy permit. With the exception of single-family and duplex dwellings, the following minimum open space plantings shall be required for all sites:
 - (1) One (1) deciduous shade tree, two (2) deciduous ornamental trees, and two (2) shrubs shall be planted for every 2,000 square feet of required open space. However, the minimum required landscape for all sites shall be no less than one (1) deciduous shade tree, two (2) deciduous ornamental trees, and two (2) shrubs.
 - (2) This landscaping is in addition to landscaping required for street frontage and parking lot landscaping. Open space plant materials shall not count towards the fulfillment of any other landscaping requirement.
- 4. **Building Foundation Plantings.** Except for single-family and duplex dwellings, low to medium height plant materials (shrubs, ornamental grasses, perennials) shall be planted and maintained along 100% of the street facing building foundation lines where not impeded by building entrances, loading areas and sidewalks. Foundation plant materials shall not count towards the fulfillment of the required open space landscaping.
- 5. **Streetscape Landscaping.** The following street frontage landscaping shall be required for all sites except for single-family and duplex dwellings. One overstory street tree shall be required for every 40 feet of public or private street frontage. A periodic cluster of at least five (5) ornamental grasses and/or shrubs shall be repeated along the streetscape at an average interval of one (1) cluster or grouping for every 20 feet of frontage. The required streetscaping may be arranged with varying spacing and need not be placed evenly at 40-foot and 20-foot intervals in order to address placement restrictions related to underground and overhead utilities, streetlights, driveways, and street intersections. These plantings are required to be located within 15' of the street right-of-way and may be located within the public street right-of-way, if approved by the City.
- C. **Off-Street Parking, Driveways and Loading Areas.**
The following standards shall apply to all off-street parking and loading areas with ten (10) or more parking stalls or with more than 2,500 square feet of paved area. Off-street and loading

area required plant materials shall not count towards the fulfillment of any other landscaping requirement.

1. Parking Lot Design.

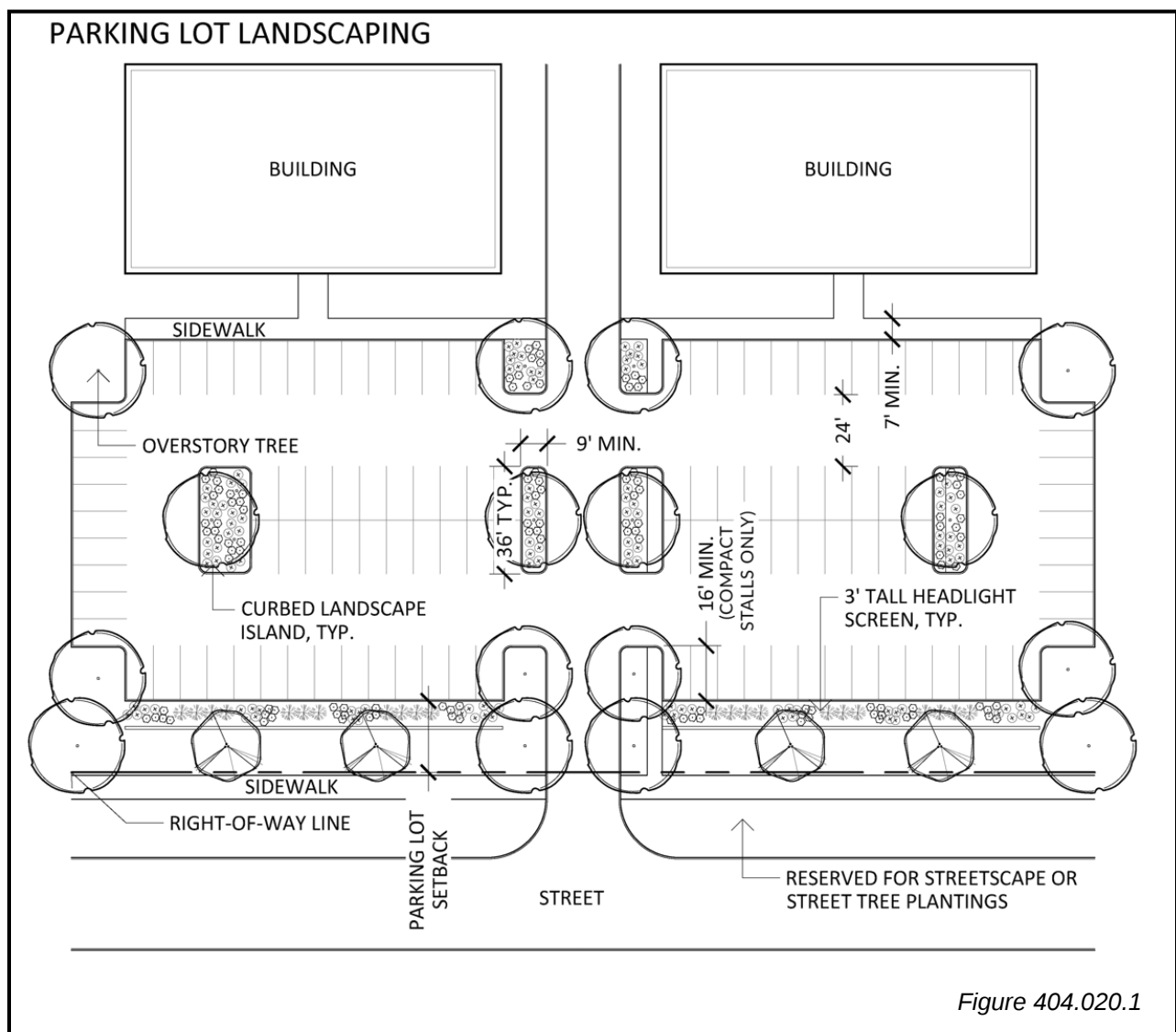
- a. No dead-end parking lots or private drives will be permitted, as these create safety hazards for vehicular and pedestrian circulation. All site plans shall be designed to provide internal driveways and drive connections allowing vehicles to circulate through the site and all parking areas safely and efficiently.
- b. Parking islands with landscape plantings shall be located at the ends of each parking row to properly demarcate and buffer the parking stalls from adjacent driveways and drive aisles. These parking islands need to be configured with concrete curbs at a minimum of 9 feet wide (measured from back of curb to back of curb) and a length that matches the length of the adjacent parking stalls.
- c. Parking islands matching the above criteria shall be required to be integrated into each parking lot layout such that no more than a maximum of 10 contiguous parking stalls is provided in any given row of parking.
- d. No off-street parking or loading area shall be more than 100 feet from the center of an existing or proposed deciduous shade tree located within a landscaped open space area.
- e. Sidewalks that abut the front edge of any parking stall shall be no less than seven (7) feet wide to accommodate a two (2) feet vehicle overhang.

2. Landscaping Required.

- a. All parking lot islands shall be landscaped with a combination of turf grass, no mow grass, prairie grass, shrubs, perennials, and trees with no less than three (3) different landscape materials being utilized.
- b. Turf grass, no mow grass, prairie grass, shrubs or perennials within parking lot islands shall not exceed 24 inches in height as to maintain visibility within parking lot.
- c. Crushed rock, chip brick, pavers, pavement, and similar hard surfacing shall not be permitted unless utilized as a necessary curb apron. Larger rock (2" or greater) shall not be permitted.
- d. Sidewalks in parking lot islands and medians may be permitted as necessary (in addition to the landscape requirements) to accommodate pedestrian circulation.
- e. One (1) deciduous shade tree shall be planted within each landscaped island.
- f. Quality soil shall be placed within each landscape island to a depth of 36 inches. Soil within islands shall be tested and amended accordingly, prior to tree planting, to ensure long term growth success for the tree. If parking lot island minimums cannot be achieved, structural soils and/or Silva cells will need to be considered as adequate alternatives for tree growth.
- g. Shade trees shall be evenly distributed throughout the parking lot to maximize shade.

3. Parking Lot Screening.

- a. Whenever an off-street parking area is placed along a public street or a private drive, a ratio of one (1) deciduous shade tree and two (2) deciduous ornamental trees shall be planted every 50 feet within the parking lot setback area (the area between the parking lot and adjacent street/drive).
- b. Additionally, a minimum three (3) foot tall vehicle headlight screen shall be installed between the parking lot and the adjoining street or private drive. These plantings shall be a minimum of 24" height at time of planting, and are in addition to the streetscape landscape requirements outlined herein. This screen can be constructed with any combination of prairie plantings, shrubs, ornamental grasses, earth berming, and low masonry walls.



D. **Plant Locations.** All plantings shall comply with the following:

1. In general, all plants shall be sited and spaced in a manner to allow for appropriate growth to mature size.
2. Trees shall be located no closer than six (6) feet to the back of curb along any street or driveway and no closer than four (4) feet to the edge of any parking lot, sidewalk or walkway.
3. Ornamental and prairie grasses with a mature height of over four (4) feet shall not be permitted to be planted across the entire front yard area of any residential property, and shall only be planted in relatively small groupings as accent plantings and/or to visually buffer above-grade utility infrastructure.
4. Landscaping must meet minimum clearances from all fire hydrants and building sprinkler systems as required by the fire department.
5. Deciduous shade trees should not be placed within any public sanitary sewer, storm sewer or watermain utility easement.
6. No landscaping shall be planted or allowed to grow in violation of the City's sight distance triangle for corner lots
7. A permit must be obtained prior to planting any street tree or landscape material in the public right-of-way and shall comply with all City clearance and setback requirements.

E. **Minimum Plant Sizes.** All plant sizes shall meet the following size and design requirements:

1. Deciduous Shade Trees. Minimum 2.0-inch caliper measured six (6) inches above the immediate ground level.
2. Deciduous Ornament Trees. Minimum 1.5-inch caliper measured six (6) inches above the immediate ground level.
3. Evergreen / Coniferous Tree. Minimum 6-feet in height.
4. Shrubs. Minimum three (3) gallon container.
5. Ornamental Grasses. Minimum one (1) gallon container.

F. **Plant Species.** All trees, shrubs and groundcover plants shall be non-invasive species, with a minimum total of 70% of all proposed trees and shrubs selected from the listing of *Native and Native Cultivar Plant Materials*. This 70% minimum shall include at least 50% of all proposed trees and 50% of all proposed shrubs selected from the listing of *Native Plant Materials*, and the remaining portions of this 70% requirement for all proposed trees and shrubs be selected from the listing of *Native Cultivar Plant Materials*. Other trees selected for use shall be selected from the listing of *Great Trees for the Kansas City Region*. Both of these lists are incorporated in Appendix B.^[1] The Director of Community Development is authorized to supplement and amend the list of required, preferred, and prohibited plant species. In addition to any species on these lists, alternative plant material may be proposed and considered by the Director of Community Development as part of the site plan submittal and review process, such as an updated list provided by CLARB, provided that they:

1. Are documented by a landscape architect or other credible information comparable in type and performance to any species on this list'
2. Are adaptable to the climate of the metropolitan region and the specific conditions in which they are proposed; and
3. Are not invasive or otherwise problematic to the overall health of the landscape.

- G. **Plant Substitutions.** Substitution of required plant materials may be considered by the City as follows, so long as the parking screening requirements are still met as a result of any substitution:
1. One (1) deciduous shade tree may be substituted in place of 10 required shrubs.
 2. One (1) deciduous ornamental tree may be substituted in place of five (5) required shrubs.
 3. One (1) evergreen/coniferous tree may be substituted in place of one (1) required deciduous shade tree.
 4. One (1) deciduous shade tree may be substituted in place of two (2) required deciduous ornamental trees. Deciduous ornamental trees may not be substituted for required deciduous shade trees.
 5. Three (3) ornamental grasses may be substituted for one (1) required shrub.
- H. **Credits for Existing Vegetation.** Successful incorporation of existing and healthy vegetation that meets these performance criteria may be credited towards any landscape requirement. Credits shall be on a one-for-one basis for any vegetation that meets the minimum specifications, except that landscape material more than three (3) times the minimum specified size or otherwise of exceptional quality (as determined by the Director of Community Development) may be credited on a two-for-one basis.
- I. **Design and Performance Criteria.** Design and Performance Criteria. In addition to the above planting requirements, all landscape plans shall be designed according to the following performance criteria, and in individual cases additional plantings may be warranted in order to meet these criteria:
[Ord. No. 3187, 5-2-2023]
1. Existing natural features of the site, such as groves of trees, extreme slopes, areas intended to serve as buffers and areas not intended for development, shall be retained and incorporated into the design to the maximum extent practical.
 - a. Extreme or steep slopes are defined as having a grade of twenty-five percent (25%) or greater, meaning that the elevation increases by twenty-five (25) feet over a horizontal distance of one hundred (100) feet.
 - b. Extreme or steep slopes shall be identified on all development plans.
 - c. For instances where extreme or steep slope areas are disturbed or graded, the Director of Public Works may require adequate slope stabilization measures and protection be installed integrating trees, sod or other vegetative materials be placed or planted in these areas to protect the hillside.
 - d. The Director of Public Works may request an engineering, soil conditions or other related studies - prepared by an engineer certified in the State of Missouri - for development within extreme or steep slope areas.
 2. Landscape areas shall be utilized to the maximum extent possible for natural stormwater mitigation practices and to satisfy stormwater management criteria. Examples of natural stormwater mitigation and green infrastructure practices include filter strips, vegetative swales, rain gardens, pervious pavement systems and sand filters.
 3. Native plants and vegetation shall be utilized to the maximum extent reasonable, i.e., drought tolerant plants should be planted in landscape islands and water-resistant plants should be planted near stormwater retention facilities.
 4. All required landscape and open space areas shall remain free of debris and refuse and be appropriately maintained.

5. Designs shall best integrate sites and projects into their surroundings or promote any distinct characteristics of the area identified in the Master Plan or any specific plans.
6. Designs should emphasize any focal points of an area or project and pay particular attention to the relationship with the streetscapes.

J. Maintenance and Replacement.

1. **Maintenance.** All property owners shall maintain all landscaping including regular mowing, trimming, and pruning and removal of dead, dying, or diseased plant material and keep the property clear from weeds, debris, and litter. Plant material shall be regularly trimmed and pruned to keep from encroaching sidewalks, walkways, driveway, and parking areas.
2. **Replacement.** The owner of any lot or parcel for which a landscape plan has been approved under this Article shall further be responsible for the replacement of any dead, dying, or diseased plant material to remain in compliance with the approved landscape plan. Should a tree for which a landscape credit was given, die, become diseased, or is otherwise removed, the owner of the property on which the tree is located shall replace the tree at the same ratio at which the credit was originally given. Failure to maintain the landscaping in accordance with this provision shall constitute a violation of the site's site plan and/or building permit approval and certificate of occupancy.

Section 407.030. Screens, Fencing, and Site Walls

- A. Buffer Types.** In addition to the general site and landscape requirements, certain projects, land uses, or elements of site design have potential impacts that require them to be buffered or screened from adjacent property. The following buffer types are established to be incorporated into site designs in specific contexts.

Table 407-4: Buffer Planting Requirements

<i>Buffer Type</i>	<i>Buffer Size and Planting Requirement</i>
Type 1 <i>A compact, and more densely landscaped area used to screen and mitigate potential impacts on abutting property. Type 1 buffers may be necessary in combination with other buffers on particular portions of the site plan.</i>	At least 5' wide. 1 evergreen per 8 linear feet or 1 shrub per 5 linear feet. OR a fence or ornamental wall that provides a solid screen between 6' and 8' with a lessor combination of plant material to soften the wall or fence.
Type 2 <i>A landscape strip used to soften and provide aesthetic improvements within the setback area and improve the compatibility of certain land use transitions.</i>	At least 10' wide. 1 shade tree or 2 ornamental trees per 50 linear feet. 1 shrub per 10 linear feet.
Type 3 <i>A landscape strip used to separate and screen potentially incompatible sites or land use transitions.</i>	At least 20' wide. 1 shade tree or 2 ornamental trees per 40 linear feet. 1 evergreen per 20 linear feet. 1 shrub for every 10 linear feet. OR a 6' berm or solid fence combination with a lessor combination of plant materials to the outside.
Type 4	At least 35' wide along frontage.

Table 407-4: Buffer Planting Requirements

<i>A landscape area along the frontage of thoroughfares and corridors designed to preserve or strengthen the natural features and characteristics of the area through more dense vegetation in a compact area.</i>	1 shade, ornamental or evergreen tree per 4 linear feet. 1 shrub or evergreen per 2 linear feet of frontage.
Type 5 <i>A landscape area along the frontage of thoroughfares and corridors designed to preserve or strengthen the natural features and characteristics of the area through more moderate vegetation in a larger area.</i>	At least 50' wide along frontage. 1 shade, ornamental or evergreen tree per 10 linear feet. 1 shrub 4 linear feet.
Type 6 <i>A landscape area along the frontage of thoroughfares and corridors designed to preserve or strengthen the natural features and characteristics of the area through dispersed vegetation in a wide area.</i>	At least 100' wide along frontage. 1 shade, ornamental or evergreen tree per 20 linear feet. 1 shrub per 20 linear feet.

- B. **Buffer Requirements.** In general, each buffer type is required in the following specific circumstances. In instances where the specifics of any particular project or context would allow a different buffer type to equally or better meet the intent of this Chapter and the Design and Performance Criteria of this Section, the Director or Planning Commission may approve an alternative buffer through the site plan application. In addition to these specific circumstances, any combination of these buffers may be required as a condition of any Special Use permit review for particular uses.

Table 407-5: Buffer Planting Requirements

Buffer Type	When Required
Type 1	For screening high-intensity portions of site from streetscape or abutting property according to design and performance standards in Section 407.030(F) . Specifically applicable for trash enclosures; outdoor storage; drive-through, loading, or service areas abutting residential areas; or surface parking located within 10 feet of residentially used or zoned property. Type 1 buffers may be required in addition to or in combination with other buffer types.
Type 2	Along non-commercial frontages of collector and arterial streets, except those with activity street designs. Any multibuilding or apartment project greater than 1/2 acre but less than 2 acres abutting R-4 or lesser intense zoning. Any non-residential project under 1 acre abutting residentially used or zoned property. Any 1-1 project abutting lesser intense districts.
Type 3	Any 1-2 or 1-3 abutting lesser intense districts. Any multi-unit building or apartment project of 2 acres or more abutting R-4 or lesser intense zoning. Any non-residential property of 1 acre or more abutting R-4 or lesser intense zoning.
Types 4, 5 and 6	Along frontages of major thoroughfares that have a natural street design. Landscape should be designed to provide a mix of deciduous and evergreen trees and shrubs dispersed throughout the buffer area. May incorporate civic and open space requirements, if any, into this area.

- C. **Fence Specifications.** All fencing for screening, security, or privacy shall meet the following standards.
1. *Front and Street-Side Fencing.* All fencing in front of the front building line, or on the street-side on corner lots shall:
 - a. Be limited to no higher than forty -two (42) inches; and
 - b. Have a transparency of at least thirty-three (33%) up to four (4) feet [i.e., a three-and-one- half-foot-high picket fence shall have a picket to void ratio of two to one (2:1) or greater transparency; or ornamental walls should similarly have voids comprising at least thirty- three percent (33%) of the area below three and one-half (3 1/2) feet].
 - c. Any fence or wall constructed within fifteen (15) feet of the street right-of-way shall be limited to decorative or ornamental fencing and screening, with materials complementing the architectural style and materials of the principal building.
 - d. On corner lots, street-side fencing behind the front building line may meet the standards for rear and side fencing in Subsection (C)(2) below, provided that it is no closer than five (5) feet from any sidewalk located in the right-of-way.
 2. *Rear and Side Fencing.* All rear and interior side fencing located behind the front building line shall:
 - a. Shall be limited to no higher than six (6) feet, or up to seven (7) feet in all non-residential districts.
 - b. May have a solid screen.
 3. *Other Fencing Design Standards.*
 - a. Any fencing that could potentially create a sight obstruction for vehicles crossing pedestrian areas or entering the street may require greater transparency or additional location restrictions to allow for safe sight distances for the vehicle.
 - b. All fencing located along adjacent lot lines shall be constructed so that either:
 - (1) The fence is on the property line; or
 - (2) The fence is at least three (3) feet from the property line. Any areas set back three (3) feet or more from the property line, which could become enclosed by other similarly located fences, shall provide at least one (1) gate for access and maintenance equipment.
 - c. All fences shall be constructed so that the finished side faces adjacent property or any public right-of-way.
 - d. Fences shall be constructed out of any of the following materials:
 - (1) Wood or vinyl simulating wood;
 - (2) Wrought iron or aluminum simulating wrought iron;
 - (3) Chain-link or vinyl clad chain-link:
 - (a) In all residential districts, in the rear or side yard only with a maximum height of four (4) feet;
 - (b) In the I-1, I-2, and I-3 Districts, in the rear and side only, but no closer than thirty (30) feet from any public street;
 - (c) In commercial districts, in the rear or side only, except prohibited in the OTD District.
- D. **Freestanding Site Walls.** All freestanding site walls for screening, security, or privacy shall meet the following standards:
1. *Front And Street-Side Site Walls.* All freestanding site walls in front of the front building line, or on both street sides of corner lots shall:
 - a. Be limited to no higher than forty-two (42) inches; and

- b. Any site wall constructed shall be constructed with materials complementing the architectural style and materials of the principal building; and
 - c. Be placed on the site to visually buffer views to parking lots, service areas, and above-grade utility infrastructure to inhibit direct views from adjacent public streets and private drives within the development.
 2. **Rear And Side Site Walls.** All rear and interior side site walls located behind the front building line:
 - a. Shall be limited to no higher than six (6) feet, or up to seven (7) feet in all non-residential districts.
 3. **Other Site Wall Design Standards.**
 - a. Any site wall that could potentially create a sight obstruction for vehicles crossing pedestrian areas or entering the street may require the integration of fencing or other visually permeable design treatments to afford greater transparency or additional location restrictions to allow for safe sight distances for vehicles, pedestrians and bicyclists.
 - b. All site walls located along adjacent lot lines shall be constructed so that either:
 - (1) The site wall is on the property line; or
 - (2) The site wall is at least three (3) feet from the property line. Any areas set back three (3) feet or more from the property line, which could become enclosed by other similarly located site walls or fences, shall provide at least one (1) architecturally appropriate gate for access and maintenance equipment.
 - c. All site walls shall be constructed so that all readily visible sides of the wall are finished and match the adjacent architecture style and materials of the principal building.
 - d. Site walls shall be constructed out of any of the following materials:
 - (1) Natural stone or brick to match building architecture.
 - (2) Concrete or CMU core wall with stone or brick veneer to match building architecture.
 - (3) Precast concrete panels to match building architecture.
 - E. **Site Retaining Walls.** All site walls used as retaining walls shall meet the following standards:
 1. Be limited in height to six (6) feet; and
 2. Be limited in placement to a minimum distance of four (4) feet of another retaining wall (existing or proposed); and
 3. If a site proposes the use of more than one retaining wall to address grading conditions, the area between these retaining walls shall be fully landscaped and shall have a maximum slope of 4:1 (25%); and
 4. Any retaining wall that could potentially impede the visibility of vehicles crossing pedestrian areas or connections with streets/drives may require additional location restrictions to allow for safe sight distances for vehicles, pedestrians and bicyclist; and
 5. Any retaining wall shall be constructed with durable materials complementing the architectural style and materials of the principal building such as:
 - a. Natural stone or brick to match building architecture.
 - b. Concrete or CMU core wall with stone or brick veneer to match building architecture.
 - c. Precast concrete panels to match building architecture.
 - d. Modular concrete unit walls with wall caps and a decorative finish.

6. Any retaining wall over four (4) feet in height shall be designed by a licensed professional with competency in the design of retaining walls.
- F. **Design and Performance Standards.** Buffers, screens, fences, and site/retaining walls shall be designed to meet the following performance standards. In addition to the requirements specified for each buffer type, the arrangement of plants, grading or berming of land, or inclusion of fences walls or other screens may be necessary to meet these design and performance standards.
1. Eliminate glare from traffic internal to the site, outdoor lighting or other operations on the site.
 2. Mitigate noise to comparable ambient noise levels found by other compatible uses throughout the area or district.
 3. All buffers, screens, fences, and site/retaining walls shall meet the proper lines of site at all intersections of streets, all driveway entrances and the intersection of internal access streets. The proper lines of site shall be based upon the control if the intersection or access, the stopping point, and the expected speeds of oncoming traffic as provided in section 404.010(E)(2).
 4. All high-impact site elements such as trash enclosures, service and loading areas, utility and mechanical equipment, or outdoor storage, shall be located on remote portions of sites away from streetscapes, public view and from adjacent residential property. In cases were these facilities are near interior boundaries which may impact abutting property, a combination of Level 1 and Level 2 buffers shall be designed to limit potential impacts.
 5. Trash receptacles, in addition to perimeter buffers for the site, shall be located on a remote area and stored inside a structure or enclosure compatible with the architectural design and materials of the proposed buildings. Enclosures shall be constructed of a durable material designed to withstand regular use by heavy equipment, including masonry, steel, and architectural metal panels.

Section 407.040. Outdoor Lighting

- A. **Visual Character.** The physical appearance of all exterior lighting, poles, and related appurtenances for sites located within a larger, multi-tenant project area shall match the visual character and performance standards of lighting used on adjacent sites throughout the larger project area. The intent is to create aesthetic consistency in the use and appearance of these lighting improvements throughout the entire development – even if this development occurs through phased implementation. If light fixtures matching those of adjacent development sites is no longer available, or if there is a functional need to modify the lighting equipment used, the applicant will notify the City and make every effort to select fixtures and equipment that match or substantially replicate the aesthetic appearance of adjacent site lighting.

Light fixtures should be LED type and generate a soft white or near white light.

- B. **Mounting Height.** All exterior lighting shall be limited to the mounting heights specified in the following table:

TABLE 407-6: MOUNTING HEIGHT

<i>Location</i>	<i>Height Limit (ft.)</i>
<i>Driveways and Parking Areas</i>	37.5' in B-2, B-4, I-1, I-2, I-2 districts 25' in all other districts
<i>Pedestrian Walkways, Plazas or Courtyards</i>	16'

Facade Lights	Below the eave or cornice line, provided the light is directed downward
Other Site Lighting	12'

- B. **Shielding.** All exterior lighting shall be shielded as specified in the following table:

TABLE 407-7: REQUIRED SHIELDING

Watts (or equivalent Lumens) or Mounting Height	Shield Type		
	Full Cutoff ^a	Cutoff ^b	Semi-cutoff ^c
All lights mounted above 25'; or All lights above 450 Watts	required	prohibited	prohibited
All lights Between 100 Watts and 450 Watts	permitted	required	prohibited
All Lights Between 55 Watts and 99 Watts; or Any Light Mounted Between 12' and 25'	permitted	permitted	required
All Lights Mounted below 12' AND Less than 55 Watts	No shielding is required; all shielding types permitted.		

NOTES:

- 1 Full cutoff fixtures emit zero percent (0%) of its light above ninety degrees (90°) and ten per- cent (10%) above eighty percent (80%) from horizontal.
- 2 Cutoff fixtures emit no more than two and five-tenths percent (2.5%) of its light above ninety degrees (90°) and ten percent (10%) of its light above eighty percent (80%) from horizontal.
- 3 Semi-cutoff fixtures emit no more than five percent (5%) of its light above ninety percent (90%) and twenty percent (20%) of its light above eighty degrees (80°).

- C. **Design and Performance Criteria.** In addition to the mounting height and shielding standards, exterior site lighting shall meet the following design and performance standards:
1. All lighting shall be designed and located to not provide direct light or glare onto any adjacent property.
 2. All lighting shall be reduced to levels necessary only for security purposes within one hour after closing of the business.
 3. All facade lighting and or other externally illuminating lights shall use shielded, directional fixtures, designed and located to minimize uplighting and glare.
 4. All site and area lighting should be directed downward (not upward) to avoid creating light pollution and the potential for conflicts with adjacent properties. Buildings and landscaping may use accent lighting that aim certain lights upward to highlight various features, providing that measures are taken to limit the spill of this lighting off-site to avoid creating a negative impact for adjoining uses.

Section 407.050. Stormwater Management

- A. **General Requirement.** All sites shall provide improvement necessary to adequately handle stormwater. In areas already subject to a stormwater management plan at the block- or area-scale as provided in Chapter 404, compliance with that plan shall satisfy the site design requirements. In all other cases, site specific best management practices shall be used to manage the peak flow, quantity and quality of stormwater run-off expected from development

activity in manner that poses no significant impact on other sites compared to pre-development conditions.

- B. **Best Management Practices.** In general, stormwater management should prioritize strategies that manage stormwater at the largest scale possible, strategies that infiltrate stormwater into the ground within or as close to the site as possible, and strategies that integrate stormwater functions into other site and landscape design elements. The appropriate strategy will be highly dependent on the surrounding natural systems, the presence of broader stormwater facilities, and the specific topography and soil conditions of the site. The following strategies should be used in descending order of preference to meet site-specific stormwater standards.
1. Integration into a district, area, or block storm water management plan.
 2. Constructed wetlands that mimic retention, filtration and infiltration of natural systems.
 3. Infiltration systems and porous materials that infiltrate runoff into the ground.
 4. Filtration systems that use natural materials to slow, filter and convey stormwater to other systems.
 5. Retention areas that capture and store runoff in permanent ponds, provided they are designed as an amenity to the site or vicinity.
 6. Detention ponds or detention vaults that capture and store runoff temporarily, but serve little other purpose on the site.
- C. **Stream Buffer Protection.** The following standards have been established to help prevent property damage, reduce the severity of floods, prevent stream bank erosion, protect natural habitat, improve water quality and prevent water quality degradation from development. [Ord. No. 3186, 5-2-2023]
1. All stream channels shall be identified on development plans. This includes identifying the ordinary high-water mark — often referred to as the “Active Stream Zone” — and identifying the stream bank on both sides of the stream channel.
 - a. For Type 1 (perennial) streams, a 100 ft. stream corridor setback shall be identified on development plans, measured horizontally outward from both sides of the top of the stream channel bank.
 - b. For Type 2 (intermittent) streams, a 50 ft. stream corridor setback shall be identified on development plans, measured horizontally outward from both sides of the top of the stream channel bank.

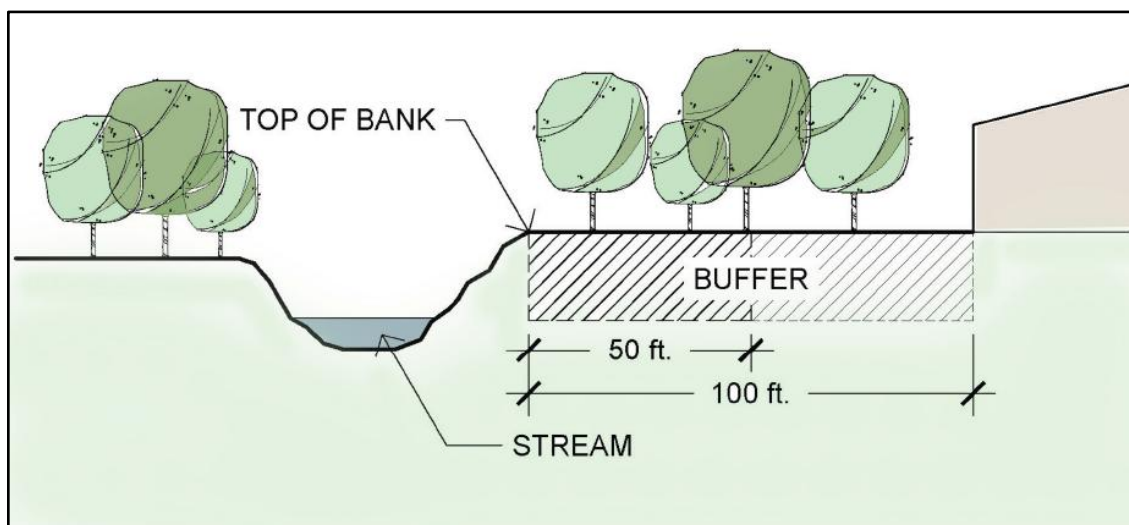


Figure 407-1: Stream Buffer Diagram

2. The stream corridor setback shall establish a conservation buffer area consisting of the contiguous, undisturbed natural vegetation (ideally existing, mature riparian forest); but may allow roadway crossings, recreational trails and uses, utility right-of-way, and other limited-impact uses.
 - a. Any variances within the stream corridor setback shall be reviewed and approved by the Director.
 - b. Limited tree clearing and removal of vegetation is allowed if reviewed and approved by the Director.
3. The Director of Public Works may require an engineering, stream profile or other related studies for development or potential impacts near a stream corridor.

Section 407.060. Submittal Requirements

As part of the review and approval process for any new building, building addition, or site improvement, the following information shall be submitted. The Zoning Administrator may request additional information as necessary to show compliance with this chapter and may further waive any informational item determined not to be necessary for the review of the proposed building for compliance with this chapter.

- A. An existing conditions site plan (at a measurable scale) depicting a base map of the subject property including a minimum of 200' of area surrounding all sides of the subject property. The site plan shall include existing grading and topography, existing tree locations, adjacent streets, drives and pavement areas, existing buildings, existing streams, ponds or other water bodies, and other unique features of the existing site. Areas where existing slopes exceed 25% should also be noted on the plan.
- B. A proposed site development plan (at a similar measurable scale) depicting the proposed improvements to the site including all pavement, sidewalks, site and retaining wall locations, buildings, driveways, parking stalls, site lighting, site grading including topography, anticipated development sign locations, and utility infrastructure proposed to serve the site.
- C. A proposed site landscape plan (at a similar measurable scale) depicting all existing site vegetation to remain and all proposed landscape planting improvements. This plan shall include a detailed table outlining the amount, type and size of landscape plantings required for each identified area of the site, as well as the amount, type, and size of landscape plantings provided for each identified area of the site. This plan shall also detail the minimum requirement of 70% use of native and native-cultivar plants. Any requested deviations or substitutions are required to be clearly noted on the plan along with the rationale supporting the request.
- D. All site section illustrations prepared for the development application shall include proposed landscape planting types and locations depicting the mature height of plantings.
- E. All landscape plans shall be prepared and stamped by a Landscape Architect licensed to practice in the State of Missouri.

Chapter 408. Access and Parking Standards

Section 408.050. Parking Design

- A. **Location, Size and Landscape Area.** On-site parking shall be designed and located in a manner that mitigates negative impacts on streetscapes and adjacent property. The design standards in Table 408-9: Parking Design are based on the number of parking spaces per area and the location on the lot relative to the principal building (front, side or rear).

Table 408-9: Parking Design

Spaces per Block	Front	Side	Rear
250 or more	* Must be broken into smaller parking blocks.	* Must be broken into smaller parking blocks.	10% Internal Landscape Islands; AND 10' Perimeter Buffer.
150 - 249	* Must be broken into smaller parking blocks	10% Internal Landscape Islands; AND 10' Perimeter Buffer.	8% Internal Landscape Islands; AND 10' Perimeter Buffer.
100 - 149	8% Internal Landscape Island 10' Perimeter Buffer; AND 15' Front Setback Buffer	8% Internal Landscape Islands; AND 10' Perimeter Buffer.	5% Internal Landscape Islands; AND 6' Perimeter Buffer
50-99	8% Internal Landscape Islands; 10' Perimeter Buffer; AND 15' Front Setback Buffer	5% Internal Landscape Islands; AND 6' Perimeter Buffer	6' perimeter buffer
20-49	5% Internal Landscape Islands; AND 6' Perimeter buffer;	5% Internal Landscape Islands; OR 6' Perimeter Buffer	No requirement other than 6' setback
Under 20	5% Internal Landscape Islands; OR 6' Perimeter Buffer	No requirement other than 6' setback	No requirement other than 6' setback

* Where individual sites require or provide parking areas larger than the maximum size in this table, parking lots shall be broken into "parking blocks" meeting the size, location, and landscape requirements of this table. These "parking blocks" shall be arranged around internal access streets meeting that mimic public streetscape design standard per Chapter 404.020.

- B. **Landscape Design.** Landscape areas required by Table 408-9 shall be arranged to achieve the following results:
1. Parking pods of no more than 40 spaces without landscape islands either through end caps or center strips.
 2. No landscape island shall be less than eight feet in any dimension and no smaller than 150 square feet.
 3. The maximum distance in any direction between landscape areas and surrounding parking block edges or buffers shall be 180 feet.
 4. All buffers and islands shall have the proper allocation of landscape materials required by Section 408.020.A, and be arranged to provide shade, infiltrate runoff, soften large expanses of pavement and screen parking from adjacent streets and property.

5. Any parking otherwise permitted within 25 feet of any right of way or internal access street shall be screened with a continuous hedge, or decorative wall or fence compatible with the design of buildings, or a combination of both. The hedge, wall, or fence shall provide a continuous screen between two and one-half and four feet high, except at access points or pedestrian entrances.
6. Any non-residential parking permitted within 30 feet of a lot zoned R-2 or a lesser district, or any parking area greater than 10 spaces adjacent to property zoned or used for residential purposes, shall be screened with a combination of a landscape buffer and a six-foot high solid fence or wall.

- C. **Specifications.** Parking areas shall be designed to meet the dimension specifications in Table 408-10: Parking Dimensions.

Table 408-10: Parking Dimensions

Parking Angle Width	Width Parallel to Aisle	Depth to wall	Depth to Interlock	Aisle Width*	Module**		Bumper Overhang
					Wall to Wall	Interlock to Interlock	
45° / 9.0'	12.7'	19.5'	16.5'	12'	51'	45'	2.3'
45° / 9.5'	13.4'	19.5'	16.5'	11'	50'	44'	2.3'
60° / 9.0'	10.4'	20.5'	18.5'	16'	57'	53'	2.3'
60° / 9.5'	11.0'	20.5'	18.5'	15'	56'	52'	2.3'
75° / 9.0'	9.3'	20.0'	19.0'	23'	63'	61'	2.5'
75° / 9.5'	9.8'	20.0'	19.0'	22'	62'	60'	2.5'
90° / 9.0'***	9.0'	18.5'	18.5'	26'	63'	63'	2.5'
90° / 9.5'***	9.5'	18.5'	18.5'	25'	62'	62'	2.5'

* Measured between ends of stall lines.

** Rounded to the nearest foot.

*** For back-in parking, aisle width may be reduced 4.0.'

D. **General Design Standards.**

1. All required parking shall be on-site except as specifically provided in Credits or Shared parking sections. Additionally, the Planning Commission may allow for a portion of required parking to be located off site through a site plan review, provided it is within 300 feet of the subject site, it is in the same or comparable zoning district, there are no pedestrian barriers such as highways or other access constraints, and an agreement demonstrating rights and control of the off-site property is provided.
2. All on-site parking lots shall provide a sufficient amount of barrier free accessible spaces, meeting the Americans with Disabilities Act (ADA) guidelines for quantity, design and location.
3. No parking space shall be located where it backs into a drive aisle within 20 feet of the entrance to a street, except that parking areas for five or fewer cars may back directly onto the street.
4. All parking and access areas shall be designed to adequately address drainage and runoff, including curb, gutters and inlets, or any other drainage strategy approved by the Director of Public Works to support best management practices to minimize runoff and encourage infiltration of storm water.
5. All parking and access lighting shall meet the standards in Section 407.040.
6. All parking areas and driveways shall be surfaced with a permanent asphalt or concrete surface, except that residential lots more than five acres may use gravel for any portion of the driveway beyond 100 feet from the edge of street pavement.

7. Designated lanes for delivering and freight truck access and fire lanes shall be designed and constructed to support the weight of anticipated loads, acceptable to the Director of Public Works and the fire district.
8. All parking areas and drives in non-residential zoning districts shall have an edge constructed of straight-back concrete curbing (Type CG-1) or an integral concreted sidewalk and curb with a vertical face. Temporary asphalt curbs may be used in areas to be expanded only as shown and approved on a development plan or deferred parking plan.
9. Parking areas shall be designed so that sanitation, emergency and other public service vehicles can serve the development without backing unreasonable distances or making other dangerous turning movements.
10. The Director of Public Works may approve alternatives to any of these design standards or construction specifications, if they demonstrate superior stormwater management performance and sufficient durability and long-term maintenance.

E. Operational Limits.

1. All minimum required parking shall be reserved and used for that purpose except for what may be permitted through a Conditional Use Permit or other specific exception or approval provided in this code.
2. In residential zones, no motor vehicle designed or regularly used for carrying freight, merchandise or other property or more than eight passengers and that is licensed in excess of one ton gross vehicle weight, excluding vehicles licensed as a recreational vehicle, shall be parked on a lot.
3. Parking in residential districts shall be limited to enclosed garages, the driveway, adjoining asphalt or concrete pats, or public streets where permitted. Parking on other areas of the lot is prohibited, except for lots over five acres may park on a gravel surface.
4. Inoperative vehicles may not be store or repaired on the premises, other than in enclosed garages, or except in industrial zoning districts.
5. Construction equipment and construction vehicles may not be store or repaired on the premises, except:
 - a. When stored in an enclosed garage;
 - b. When utilized for construction activities pursuant to a valid permit from the City for the premises, or permitted work in the right-of-way; or
 - c. When associated with a condition use permit or as accessory to an allowable primary use.
 - d. In industrial zoning districts

Appendix B.1: City of Parkville, Native Plant Materials List

This guide shall be used to choose all trees, shrubs and groundcover plants to meet the City's requirement for non-invasive, native plant materials. This list can be managed and supplemented by City staff from time to time and administered through more specific landscape, streetscape and site design recommendation through the development review process.

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Large Native Shade Trees

Common Name	Scientific Name
American Basswood/Linden	<i>Tilia americana</i>
American Beech	<i>Fagus grandifolia</i>
American Hornbeam	<i>Carpinus caroliniana</i>
American Sycamore	<i>Platanus Occidentalis</i>
Bitternut hickory	<i>Carya cordiformis</i>
Black Cherry	<i>Prunus serotina</i>
Black Gum (Tupelo)	<i>Nyssa sylvatica</i>
Black Oak	<i>Quercus velutina</i>
Black Walnut	<i>Juglans Nigra</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinkapin Oak	<i>Quercus muehlenbergii</i>
Hackberry	<i>Celtis occidentalis</i>
Hop Hornbeam	<i>Ostrya virginiana</i>
Kentucky Coffeetree	<i>Gymnocladus dioicus</i>
mockernut hickory	<i>Carya tomentosa</i>
Nuttall Oak	<i>Quercus texana</i>
Overcup Oak	<i>Quercus lyrata</i>
Pecan	<i>Carya illinoensis</i>
Persimmon	<i>Diospyros virginiana</i>
Pin Oak	<i>Quercus palustris</i>
Post Oak	<i>Quercus stellata</i>
Red hickory	<i>Carya ovalis</i>
Red Maple	<i>Acer rubrum</i>
River Birch	<i>Betula nigra</i>
Sassafras	<i>Sassafras albidum</i>
Shagbark Hickory	<i>Carya ovata</i>
Shellbark hickory	<i>Carya laciniosa</i>
Shingle Oak	<i>Quercus imbricaria</i>
Shumard Oak	<i>Quercus shumardii</i>
Sugar Maple	<i>Acer saccharum</i>
Swamp Chestnut Oak	<i>Quercus michauxii</i>
Thornless Honey Locust	<i>Gleditsia Fabales</i>
Tulip Poplar	<i>Liriodendron tulipifera</i>
White Oak	<i>Quercus alba</i>

Smaller Native Flowering Trees

Common Name	Scientific Name
Alleghany Serviceberry	Amelanchier laevis
American Smoke Tree	Cotinus obovatus
Bladdernut	Staphylea Sapindales
Buttonbush	Cephalanthus occidentalis
Cockspur Hawthorn	Crataegus crus-galli
Downy Hawthorn	Crataegus mollis
Downy Serviceberry	Amelanchier arborea
Eastern Redbud	Cercis Canadensis
Flowering Dogwood	Cornus Florida
Green Hawthorn	Crataegus viridis
MO Prairie Crabapple	Malus ioensis
Ohio Buckeye	Aesculus glabra
Pawpaw Tree	Asimina triloba
Red Buckeye	Aesculus pavia
Shadblow Serviceberry	Amelanchier canadensis
Washington Hawthorn	Crataegus phaenopyrum
Wild Plum	Prunus Americana

Native Shrubs

Common Name	Scientific Name
American Beautyberry	Callicarpa americana
American Filbert; Hazelnut	Corylus americana
Arrowwood	Viburnum dentatum
Black Chokeberry	Aronia melanocarpa
Black Haw Viburnum	Viburnum prunifolium
Chokecherry	Prunus virginiana
Deciduous Holly	Ilex decidua
Elderberry	Sambucus canadensis
Fragrant Sumac	Rhus aromatica
Golden Currant	Ribes odoratum
Indigo Bush	Amorpha fruticosa
Lead Plant	Amorpha canescens
Leatherwood	Dirca palustris
Nannyberry Viburnum	Viburnum lentago
New Jersey Tea	Ceanothus americanus
Ninebark	Physocarpus opulifolius
Prairie Willow	Salix humilis
Red Chokeberry	Aronia arbutifolia
Rusty Blackhaw	Viburnum rufidulum
Shrubby St. John's Wort	Hypericum prolificum
Spicebush	Lindera benzoin
Strawberry Bush	Euonymus americanus
Vernal Witch Hazel	Hamamelis vernalis
Virginia Sweetspire	Itea virginica
Wahoo	Euonymus atropurpureus
Wild Hydrangea	Hydrangea arborescens
Winged Sumac	Rhus copallinum
Winterberry Holly	Ilex verticillata
Witch Hazel	Hamamelis virginiana

Native Trees to Missouri but not Kansas City

Common Name	Scientific Name
Bald Cypress	Taxodium distichum
Cucumber Tree	Magnolia acuminata
Mexican Plum	Prunus Mexicana
Southern Red Oak	Quercus Falcata

Native Evergreen Trees

Common Name	Scientific Name
American Holly	Ilex opaca
Eastern Red Cedar	Juniperus Virginiana
Shortleaf Pine	Pinus echinata
Thuja/Arborvitea	Thuja occidentalis
White Pine	Pinus strobus

Native Cultivars – Trees and Shrubs

Common Name	Scientific Name	Cultivars
Shade Trees		
American Sycamore	Platanus Occidentalis	'Bloodgood' 'Columbia' 'Liberty' 'Sutternii'
Shumard Oak	Quercus shumardii	
Nuttall Oak	Quercus texana	'Sangria'
Shingle Oak	Quercus imbricaria	
Overcup Oak	Quercus lyrata	
Chinkapin Oak	Quercus muehlenbergii	
Swamp White Oak	Quercus michauxii	'American Dream'
Bur Oak	Quercus macrocarpa	'Boomer' 'Lippert'
White Oak	Quercus alba	
Black Oak	Quercus velunina	
Pin Oak	Quercus palustris	Green Pillar'
Post Oak	Quercus stellata	
Tulip Poplar	Liriodendron tulipifera	'Ardis' 'Arnold' 'Fastigiata' 'Aureomarginatum'
American BasswoodLinden	Tilia americana	
American Beech	Fagus grandifolia	
Black Cherry	Prunus serotina	
Kentucky Coffeetree	Gymnocladus dioicus	'Espresso' 'Prairie Titan' 'Stately Manor'
Pecan	Carya illinoensis	
Persimmon	Diospyros virginiana	
River Birch	Betula nigra	'Cully'
Sassafras	Sassafras albidum	
Hackberry	Celtis occidentalis	
Sugar Maple	Acer saccharum	'Morton' 'Bailsta' 'Barrett Cole' 'JFS-KW8' 'Commemoration' 'Green Mountain' 'Legacy'
Red Maple	Acer rubrum	'Autumn Flame' 'Autumn Radiance' 'Autumn Spire' 'Bowhall' 'Karpick' 'Northwood' 'October Glory' 'Redpointe' 'Red Sunset' 'Scanlon'
Black Gum (Tupelo)	Nyssa sylvatica	'David Odom' 'Autumn Cascades' 'JFS-Red' 'Green Gable' 'Miss Scarlet' 'Red Rage' 'Red Splyndor' 'Sheri's Cloud' 'Snow Flurries' 'Sparkler' 'Swamp Tupelo' 'Wildfire' 'Zydeco Twist' var. biflora

Hop Hornbeam	Ostrya virginiana	
American Hornbeam	Carpinus caroliniana	'Native Flame' 'Palisade' 'Ball o' Fire' 'Rising Fire'
Thornless Honey Locust	Gleditsia fabales	gleditsis triacanthos 'skyline'
Shagbark Hickory	Carya ovata	
Bitternut Hickory	Carya cordiformis	
Mockernut hickory	Carya tomentosa	
Shellbark Hickory	Carya laciniosa	'Fayette' 'Henry' 'Keystone' 'Missouri Mammoth'
Red Hickory	Carya ovalis	
Black Walnut	Juglans nigra	'Black Gem' 'Kwik-Krop'
Ornamental Trees		
Eastern redbud	Cercis canadensis	'Columbus strain'
Prairie Crabapple	Malus loensis	'Prince Georges' 'Plena'
Flowering Dogwood	Cornus Florida	'Appalachian Spring' 'Appalachian Joy' 'Cloud nine'
Wild Plum	Prunus Americana	
American Smoke tree	Cotinus obovatus	'Northstar' 'Grace' 'Royal Purple'
Washington Hawthorn	Crataegus phaenopyrum	'Clark' 'Fastigiata' 'Manbeck Select' 'Princeton Sentry' 'Winter King'
Cockspur Hawthorn	Crataegus crus-galli	
Downy Hawthorn	Crataegus mollis	
Green Hawthorn	Crataegus viridis	'Winter King'
Red Buckeye	Aesculus pavla	
Ohio Buckeye	Aesculus glabra	'Autumn Splendor'
Buttonbush	Cephalanthus occidentalis	'Sugar Shack' 'Bailoptics'
Bladdernut	Staphylea Sapindales	
Downy Serviceberry	Amelanchier arborea	
Pawpaw Tree	Asimina triloba	
Shadblow Serviceberry	Amelanchier canadensis	'Prince William' 'Rainbow Pillar' 'Spring Glory'
Allegany Serviceberry	Amelanchier laevis	
Shrubs		
American Filbert; Hazelnut	Corylus americana	
American Beautyberry	Callicarpa americana	var. lactea
Arrowwood	Viburnum dentatum	'Autumn Jazz' 'Morton' 'Blue Blaze'
Black Chokeberry	Aronia melanocarpa	'Viking' 'Nero' 'Morton'
Red Chokeberry	Aronia arbutifolia	'Brilliantissima' 'Erecta'

Black Haw Viburnum	Viburnum prunifolium	'Summer Magic' 'Ovazum'
Chokecherry	Prunus virginiana	'Schubert' 'Canada Red'
Deciduous Holly	Ilex decidua	
Elderberry	Sambucus canadensis	
Fragrant Sumac	Rhus aromatica	'Gro-Low'
Golden Currant	Ribes odoratum	'Crandall' 'Gwen's Buffalo'
Indigo Bush	Amorpha fruticosa	
Lead Plant	Amorpha canescens	
Leatherwood	Dirca palustris	
Nannyberry Viburnum	Viburnum lentago	
New Jersey Tea	Ceanothus americanus	
Ninebark	Physocarpus opulifolius	'Jefam'
Prairie Willow	Salix humilis	
Rusty Blackhaw	Viburnum rufidulum	
Shrubby St. John's Wort	Hypericum prolificum	
Spicebush	Lindera benzoin	
Strawberry Bush	Euonymus americanus	
Vernal Witch Hazel	Hamamelis vernalis	
Virginia Sweetspire	Itea virginica	'Fizzy Mizzy' 'Scentlandia' 'Little Henry' 'Henry's Garnet' 'Merlot'
Wahoo	Euonymus atropurpureus	
Wild Hydrangea	Hydrangea arborescens	'Annabelle' 'Grandiflora' 'Abetwo' 'NACH1' 'Dardom' 'Haas Halo' 'Hayes Starburst' 'Incrediball' 'Invincibelle Ruby'
Winged Sumac	Rhus copallinum	'Morton'
Winterberry Holly	Ilex verticillata	'Cacapon' 'Shaver' 'Sparkleberry' 'Sunset' 'Winter Gold' 'Winter Red'
Witch Hazel	Hamamelis virginiana	x intermedia 'Arnold Promise' 'Diane'
Evergreen Trees		
Eastern Red Cedar	Juniperus virginiana	'Glauca' 'Blue Mountain' 'Burkii' 'Canaertii' ' Cupressifolia' 'Grey Owl' 'Taylor'
Shortleaf pine	Pinus echinata	
American Holly	Ilex opaca	
Thuja/Arborvitae	Thuja occidentalis	'Golden Globe' 'Golden Tuffet' 'Woodwardii' 'American Pillar' 'Globosa Aurea' 'Rheingold' 'Danica' 'Green Giant' 'Smaragd' 'Degroot's Spire' 'Anna's Magic Ball' 'Filips Magic Moment' 'Polar Gold'

White Pine	Pinus strobus	'Fastigiata' 'Alba' 'Pendula' 'Nana' 'Macopin' 'Sea Urchin' 'Torulosa' 'Verkade's Broom'
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Native – But Not Recommended

Common Name	Scientific Name
Alternate-leaved dogwood (Pagoda Dogwood)	Cornus alternifolia
American Jointweed	Polygonum americanum
American Snowbell	Styrax americanus
American Spikenard	Aralia racemosa
Box Elder	Acer negundo
Coralberry	Symphoricarpos orbiculatus
Corkwood	Leitneria floridana
Cottonwood	Populus deltoides
Fringetree	Chionanthus virginicus
Gray dogwood (stiff dogwood)	Cornus foemina
Green Ash	Fraxinus pennsylvanica
Hercules' Club	Aralia spinosa
Indian Cherry; Carolina Buckthorn	Rhamnus caroliniana
Lanceleaf Buckthorn	Rhamnus lanceolata
Littlehip Hawthorn	Crataegus spathulata
Locust, Black Locust, Rose Acacia	Robinia Fabaes
Missouri Gooseberry	Ribes missouriense
Mulberry	Morus Urticales
Parsley Hawthorn	Crataegus marshallii
Pasture Rose	Rosa carolina
Prairie Red Root	Ceanothus herbaceus
Rough Leaf Dogwood	Cornus drummondii
Scarlet Elder; Red Elderberry	Sambucus racemosa
Smooth Sumac	Rhus glabra
Southern Catalpa	Catalpa bignonioides
Swamp dogwood (silky dogwood; pale dogwood)	C. amomum
Sweetgum	Liquidambar styraciflua
Wafer Ash	Ptelea trifoliata
Western Soapberry	Sapindus drummondii
White Ash	Fraxinus americana

Invasive – DO NOT PLANT

Common Name	Scientific Name
Amur Bush Honeysuckle	Lonicera maackii
Autumn Clematis	Clematis terniflora
Autumn olive	Elaeagnus umbellata
Buddleia/ Butterfly Bush	Buddleja davidii
Burning Bush	Euonymus alatus
Callery Pear	Pyrus calleryana
Caucasian bluestem	Bothriochloa bladhii
European/common Buckthorn	Rhamnus cathartica
Heavenly Bamboo	Nandina domestica
Japanese knotweed	Fallopia japonica
Japanese stilt grass	Microstegium vimineum
Japanese Vining Honeysuckle	Lonicera japonica
Japanese/European Barberry	Berberis thunbergii
Morrow's Bush Honeysuckle	Lonicera morrowii
Purple loosestrife	Lythrum salicaria
Rose of Sharon	Hibiscus syriacus
Sericea lespedeza	Lespedeza cuneata
Star of Bethlehem	Ornithogalum umbellatum
Tree of Heaven	Ailanthus altissima
Wintercreeper	Euonymus fortunei
Yellow bluestem	Bthriochloa ischaemum

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Appendix B.2: Great Trees for the Kansas City Region

This guide shall be used to choose street tree and landscape materials. This list can be managed and supplemented by City Staff from time to time and administered through more specific landscape, street scape and site design recommendation through the development review process.

THE TREE LIST

Comprehensive Tree List

For The Kansas City Region

(As Rated by Metropolitan Area Experts)

A study by Robert Whitman ^{RLA, AICP, LEED AP}

The Tree List: For The Kansas City Region (As Rated By Metropolitan Area Experts) was a study conducted by Robert Whitman, RLA, AICP, LEED AP, in which Kansas City area tree experts were asked to provide numerical ratings for over 380 trees in multiple categories. These ratings were averaged to determine the highest rated trees for each category. Some trees and categories have been added since that original study to provide additional information for users. This list shows all typically available trees, good and bad, to provide users with information on most tree options.

Study Participants:

Alan Branhagen, Director of Horticulture, Powell Gardens (former); **Bob Haines**, Arborist (dec.); **Cheryl Boyer**, Assistant Professor, K-State Extension; **Chip Winslow**, FASLA, KSU Department of Landscape Architecture (retired); **Chris Casebeer**, Green Valley Nursery; **Dan Simmons**; **Dennis Patton**, Johnson County Extension Agent; **Ivan Katzer**, Consulting Arborist; **Kevin Smith**, Forester, Johnson County Parks & Recreation (retired); **Mark Young**, Country Club Tree Service; **Michael Dougherty**, Tree Management Company; **Robert Whitman**, Landscape Architect, Multistudio; **Scott Reiter**, Linda Hall Library (dec.); **Susan Mertz**, Director of Horticulture, Powell Gardens; **Tim McDonnell**, Forester, Kansas Forest Service; and **Tory Schwope**, KAT Nurseries

Comprehensive Tree List For The Kansas City

KEY	* = Recommended Tree for the KC Region for general landscape use in favorable conditions and sites.	 = Super tree for this situation
	Native Status = Trees native to local KC, the region near KC, distance U.S. areas or invasive trees to the area.	 = Good tree for this situation
	Ratings = As scored by local experts. Some cultivars grouped and averaged with new trees added.	 = Marginal tree for this situation
	Height/Lifespan/Comments = As scored/commented by local experts. Ecosystem Services added.	 = Poor tree for this situation

Tree Name		Rating							Comments	
Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
	*	<i>Acer buergerianum</i> - Trident Maple						30	65	Good urban tree, not hardy north of KC.
		<i>Acer campestre</i> - Hedge Maple						50	60	Compact form, dark green leaf, tolerates high pH
		<i>Acer campestre</i> 'JFS Shichtel2' - Streetside Hedge Maple						35	60	Narrow cultivar, 'Metro Gold' is less hardy.
Invasive		<i>Acer ginnala</i> - Amur Maple						20	40	Self-seeds, 'Flame' is common cultivar.
	*	<i>Acer griseum</i> - Paperbark Maple						30	65	Great fall color, dramatic exfoliating bark.
	*	<i>Acer miyabei</i> - Miyabe Maple						40	65	Durable, pale yellow fall color.
	*	<i>Acer miyabei</i> 'JFS-KW3AMI' - Rugged Ridge Miyabe Maple						55	65	More narrow than species, also: 'State Street'.
Local		<i>Acer negundo</i> - Boxelder						50	25	Fast, weak wooded. Best for natural areas.
		<i>Acer palmatum</i> - Japanese Maple						20	35	Only for protected sites. Common cultivars: 'Fireglow', 'Sango Kaku'.
	*	<i>Acer palmatum</i> 'Bloodgood' - Red-leaf Japanese Maple						20	35	Good red foliage variety, for protected sites.
		<i>Acer palmatum</i> var. 'dissectum' - Lanceleaf Japanese Maple						10	25	Shrubby cutleaf type.
		<i>Acer platanoides</i> - Norway Maple						50	50	Poor performer, invasive on east coast.
		<i>Acer platanoides</i> 'Crimson King' - Purple leaf Norway Maple						35	50	Poor performer, fades to green thru season.
Region		<i>Acer rubrum</i> - Red Maple						50	45	Subject to bark damage, shallow rooter, all red maples are way overplanted.
Region		<i>Acer rubrum</i> - Red Maple cultivars						50	45	Same issues as species, but with more refined features. Common cultivars: 'Autumn Flame', 'Bowhall', 'October Glory', 'Red Sunset', 'Summer Red', 'Sun Valley'.
Region		<i>Acer x freemanii</i> (Red Maple x Silver Maple cross)						50	40	Overplanted, fast rowing, good fall color, structural issues, common cultivars: 'Autumn Blaze', 'Armstrong', 'Celebration', 'Indian Summer', 'Matador'.
Local		<i>Acer saccharinum</i> - Silver Maple						70	40	Fast grower, weak wooded, best for natural areas.
Local	*	<i>Acer saccharum</i> 'Sugar Maple						50	70	Good maple for irrigated sites & quality soils, common cultivars: 'Fall Fiesta', 'Bonfire', 'Green Mountain', 'Oregon Trail', 'Legacy'.
Region	*	<i>Acer saccharum</i> v. <i>Caddo</i> - Caddo Sugar Maple						40	70	Native variety to region, good selection for dry sites, common cultivars: 'Autumn Splendor', 'Flashfire', 'John Pair'.

The Tree List: Trees For the Kansas City Region (As Rated by Metropolitan Area Experts)

© Robert Whitman, RLA, AICP, LEED AP | Robert.Whitman@Multi.studio

Tree Name		Rating							Comments	
Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
		<i>Acer tartaricum</i> - Tatarian Maple	😊	😊	😊	😞	😊	20	30	Durable substitute to A. ginnala.
		<i>Acer tartaricum</i> 'GarAnn' - Hot Wings Tartarian Maple	😊	😊	😊	😞	😊	20	30	Common cultivars: 'Hot Wings', 'Rugged Charm', 'Pattern Perfect' selected for enhanced fall color or seed vibrance.
	★	<i>Acer truncatum</i> - Shantung Maple	😊	😊	😊	😊	😊	25	70	Excellent small tree for KC.
	★	<i>Acer x truncatum</i> - Sunset Maple cultivars	😊	😊	😊	😊	😊	35	80	Medium size durable tree. Common cultivars: 'Pacific Sunset', 'Norwegian Sunset', 'Urban Sunset', 'Crimson Sunset'.
Region		<i>Aesculus flava</i> (octandra) - Yellow Buckeye	😊	😞	😞	😊	😊	70	70	Good regional native, leaf scorch is common.
Local		<i>Aesculus glabra</i> - Ohio Buckeye	😞	😞	😞	😊	😊	30	70	Local native, early leaf drop reduces late summer shade benefits.
Local	★	<i>Aesculus glabra</i> var. <i>arguta</i> - Texas Buckeye	😞	😞	😊	😊	😊	25	70	More drought tolerant variety.
		<i>Aesculus hippocastanum</i> 'Baumannii' - Common Horsechestnut	😞	😞	😞	😊	😞	70	70	Fruitless cultivar, summer leaf scorch in KC.
Region	★	<i>Aesculus pavia</i> - Red Buckeye	😊	😞	😞	😊	😊	15	50	Small tree, will bloom in shade. Buy in bloom to ensure best bloom quality.
Hybrid	★	<i>Aesculus x carnea</i> - Red Horsechestnut	😊	😞	😞	😊	😊	30	65	Vibrant red bloom, larger than A. pavia. Common cultivar: 'O'Neill's Red'.
Invasive		<i>Ailanthus altissima</i> - Tree of Heaven	😞	😞	😊	😞	😞	50	20	Invasive, exotic weed.
Invasive		<i>Albizia julibrissin</i> var. <i>rosea</i> - Mimosa	😞	😞	😞	😞	😞	20	20	Short lived, self-seeds freely.
		<i>Alnus glutinosa</i> - Black Alder	😞	😊	😞	😞	😞	50	35	Tough, durable tree, especially in wet areas. May become invasive in wetland areas only.
Local		<i>Amelanchier arborea</i> - Downy Serviceberry	😊	😞	😊	😞	😊	20	30	Needs perfect soil, Short bloom time, nice fall color.
Region		<i>Amelanchier canadensis</i> - Shadblow Serviceberry	😊	😞	😊	😊	😊	10	45	Shrubby form not often in the trade.
Region		<i>Amelanchier leavis</i> - Allegheny Serviceberry	😊	😞	😊	😞	😊	20	25	Not common in the trade.
Local	★	<i>Amelanchier x grandiflora</i> 'Autmn Brilliance' - Apple Serviceberry	😊	😞	😊	😞	😊	20	40	Most common in trade, single trunk trees often sucker, making multi-stem plants preferred. Also 'Robin Hill' cultivar.
Region		<i>Aralia spinosa</i> - Devil's Walkingstick	😞	😞	😞	😞	😞	15	20	Thorny native with an exotic appearance. Good late season nectar & wildlife fruit.
Local		<i>Asimina triloba</i> - Pawpaw	😊	😞	😞	😞	😊	20	25	Tasty fruit, plant in multiples for fruit production, will sucker/colonize. Best for naturalized landscapes.
U.S.		<i>Betula lenta</i> - Sweet Birch	😞	😞	😞	😊	😞	50	50	Not common in the trade.
Local		<i>Betula nigra</i> - River Birch	😞	😞	😊	😞	😞	70	40	Shallow rooting, pH concerns, messy. Grows larger than expected, best in natural areas.
Local		<i>Betula nigra</i> 'Fox Valley' - Little King River Birch	😞	😞	😞	😞	😞	15	25	Interesting dwarf multi-stem tree.
Local		<i>Betula nigra</i> 'Heritage' - Heritage River Birch	😊	😞	😊	😞	😞	70	40	Better than species for landscapes, 'Dura-Heat' not recommended.
U.S.		<i>Betula papyrifera</i> - Paper Birch	😞	😞	😞	😞	😞	50	10	White bark, borer issues, not successful in KC.
		<i>Betula pendula</i> - European White Birch	😞	😞	😞	😞	😞	50	10	White bark with weeping form, borer issues.
		<i>Betula platyphylla</i> 'Whitespire' - Whitespire Japanese White Birch	😞	😞	😞	😞	😞	30	10	Slightly better borer resistance, but not well suited to KC soils and climate.

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		<i>Broussonetia papyrifera</i> - Paper Mulberry						45	10	Fast grower, but somewhat invasive.
	★	<i>Carpinus betulus</i> - European Hornbeam						50	65	Clean shade tree that is underused.
	★	<i>Carpinus betulus</i> 'Fastigiata' - Upright Hornbeam						30	65	Durable upright tree. Also 'Frans Fontaine'.
U.S.	★	<i>Carpinus caroliniana</i> - American Hornbeam						30	65	Good shade tree alternative.
Local		<i>Carya cordiformis</i> - Bitternut Hickory						65	90	Durable native nut tree.
Local		<i>Carya illinoensis</i> - Pecan						70	90	Durable native nut tree.
Local		<i>Carya laciniosa</i> - Shellbark Hickory						60	90	Durable native nut tree.
Local		<i>Carya ovata</i> - Shagbark Hickory						55	90	Durable native nut tree with interesting bark.
		<i>Castanea mollissima</i> - Chinese Chestnut						35	70	Nice tree, but messy spiny seed husks.
		<i>Catalpa ovata</i> - Chinese Catalpa						40	30	Not as nice as the native Catalpa.
Region		<i>Catalpa speciosa</i> - Northern Catalpa						45	80	Durable, abundant flower, messy.
Local		<i>Celtis leavigata</i> - Sugarberry						70	65	Sim. To hackberry, smooth bark, less hardy.
Local		<i>Celtis occidentalis</i> - Hackberry						70	80	Large native tree, durable but less strength than similar size oaks.
Local		<i>Celtis occidentalis</i> 'JFS-KSU' - Prairie Sentinel Hackberry						45	80	Good columnar tree for challenging soils/sites.
		<i>Cercidiphyllum japonicum</i> - Katsuratree						50	35	Not a durable selection for KC, needs excellent draining soils.
Local	★	<i>Cercis canadensis</i> - Redbud						18	30	Common native, prefers understory, but can do well on most sites.
Region	★	<i>Cercis canadensis</i> v. <i>texensis</i> - Oklahoma Redbud						18	30	Thicker foliage and enhanced tolerance of extremes.
	★	<i>Chionanthus retusus</i> - Chinese Fringe Tree						15	45	Tighter bloom, thicker leaf than native species.
U.S.	★	<i>Chionanthus virginicus</i> - White Fringe Tree						12	35	Good small or multi-trunk tree.
Region	★	<i>Cladrastis kentuckea</i> (lutea) - Yellowwood						50	50	Great bloom and smooth bark.
Region		<i>Cornus alternifolia</i> - Pagoda Dogwood						15	20	Interesting regional native with open bloom.
	★	<i>Cornus controversa</i> 'June Snow' - June Snow Giant Dogwood						30	25	Excellent form small tree for good or better soils
Region	★	<i>Cornus florida</i> - White Flowering Dogwood						15	40	Missouri state tree, native just east of KC, only for good, draining soils. Common cultivars: 'Rubrum', 'Cherokee Princess', 'Princess Emily'.
	★	<i>Cornus kousa</i> - Kousa Dogwood						20	40	More durable than natives for KC, common cultivars: 'Scarlet Fire', 'Stellar Pink', 'Celestial', 'Radiant Rose', 'Milky Way'.
	★	<i>Cornus mas</i> - Corneliancherry Dogwood						16	50	Edible fruit, very early yellow bloom.
		<i>Corylus colurna</i> - Turkish Hazel						50	70	Very durable tree, medium size.
		<i>Cotinus coggygia</i> 'Royal Purple' - Purple Smoketree						15	30	Purple leaf, bushy habit, short lived.
Region		<i>Cotinus obovatus</i> - Chittamwood						25	40	Uncommon species, interesting character.

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		<i>Cotinus x 'Grace' - Grace Smoketree</i>	😊	😞	😊	😞	😞	20	40	Excellent fall color, good option to 'Royal Purple'.
		<i>Crataegus ambigua - Russian Hawthorn</i>	😞	😊	😊	😊	😞	20	50	Tough, good north and west of KC.
Local		<i>Crataegus crus-galli - Cockspur Hawthorn</i>	😞	😞	😞	😞	😊	20	20	Cockspur, Autumn Glory, Downy, Washington, Winter King are not recommended.
Local		<i>Diospyros virginiana - Persimmon</i>	😞	😞	😞	😊	😊	50	65	Best in natural areas or for fruit and course bark texture.
Invasive		<i>Elaeagnus angustifolia - Russian Olive</i>	😞	😞	😞	😞	😞	20	15	Invasive, not used anymore, short lived.
	★	<i>Eucommia ulmoides - Hardy Rubber Tree</i>	😊	😊	😊	😞	😞	40	50	Tough medium size tree, cultivar: 'Emerald Prairie'
Local		<i>Euonymus atropurpureus - Eastern Wahoo</i>	😞	😞	😊	😞	😊	15	20	Woodland shrubby tree, short lived.
U.S.		<i>Fagus grandifolia - American Beech</i>	😞	😞	😞	😊	😞	50	65	Not well suited to KC.
		<i>Fagus sylvatica - European Beech</i>	😊	😞	😞	😊	😞	50	60	Performs poorly due to KC climate stresses.
Local		<i>Fraxinus sp. - Ash</i>	😞	😞	😞	😞	😊	70	5	Emerald ash borer has made this tree unusable.
		<i>Ginkgo biloba - Ginkgo</i>	😞	😞	😊	😊	😞	70	100+	Only use known cultivars to ensure a male, fruitless tree.
	★	<i>Ginkgo biloba - Ginkgo cultivars</i>	😊	😊	😊	😊	😞	50	100+	Low ecological value, beautiful, long lived tree, protect from bark damage. Common cultivars: 'Princeton Sentry', 'Autumn Gold', 'Magyar', 'Shangri-La', 'Presidential Gold'.
Local		<i>Gleditsia triacanthos - Honeylocust</i>	😊	😊	😊	😊	😊	70	65	Use cultivars for thornless and seedless character, protect trunk during moving/planting to reduce canker issues, Common cultivars: Shademaster, 'Street Keeper', 'Imperial', Skyline
Local	★	<i>Gymnocladus dioica - Kentucky Coffeetree</i>	😊	😊	😊	😊	😊	50	95	Very tough species, Common fruitless cultivars: 'Expresso', 'Decaf'.
U.S.		<i>Halesia carolina - Silverbell</i>	😊	😞	😞	😞	😞	20	20	Not well suited to KC, needs highly organic soil.
Region	★	<i>Hamamelis virginiana - Common Witchhazel</i>	😊	😞	😊	😞	😞	20	35	Very early yellow bloom, underused, shrubby.
		<i>Hamamelis x intermedia 'Arnold Promise' - Arnold Promise Witchhazel</i>	😊	😞	😊	😞	😞	15	35	Good non-native shrubby small tree.
	★	<i>Heptacodium miconioides - Seven-Son Flower</i>	😊	😞	😊	😞	😞	8	30	Very late bloom and racemes for autumn interest, multi-trunk tree.
Local		<i>Juglans nigra - Black Walnut</i>	😞	😞	😊	😊	😊	70	100+	Durable very long lived, will poison soil for other plants, messy, best for natural areas.
Invasive		<i>Koeleruteria paniculata - Golden Raintree</i>	😊	😊	😊	😊	😞	70	70	Freely self-seeds, tough, good summer bloom.
Region		<i>Liquidambar styraciflua - Sweetgum</i>	😞	😞	😊	😊	😞	50	70	Durable. Very messy, spiky seed husks. Some cultivars have fewer seeds but none are seedless.
Region		<i>Liquidambar styr. 'Slender Silhouette' - Columnar Sweetgum</i>	😞	😊	😊	😞	😞	50	60	Very narrow columnar tree.
U.S.		<i>Liriodendron tulipifera - Tuliptree</i>	😊	😊	😊	😊	😞	55	70	An excellent option for fast growth rate.
		<i>Maackia amurensis - Amur Maackia</i>	😞	😊	😊	😊	😞	20	50	Durable, good mid-summer bloom. Cultivar: 'Starburst'.
Region		<i>Maclura pomifera - Osage Orange</i>	😞	😞	😊	😊	😊	50	100+	Very, very durable. Thorns and large, messy fruit make the true species hard to use.

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Region	✱	<i>Maclura pomifera</i> - Thornless/Fruitless Osage Orange	😊	😊	😊	😊	😊	20	100+	Cultivars: 'White Shield', 'Wichita'. Excellent tree for difficult planting sites.
U.S.		<i>Magnolia acuminata</i> - Cucumber Tree	😊	😞	😞	😞	😞	70	40	A large shade tree that deserves more use.
U.S.	✱	<i>Magnolia acuminata</i> 'Butterflies' - Butterflies Magnolia	😊	😞	😊	😞	😞	20	40	Vibrant yellow magnolia bloom. Also: 'Yellow Bird'.
U.S.		<i>Magnolia grandiflora</i> - Southern Magnolia	😊	😞	😞	😞	😞	35	75	Interesting evergreen tree only use cold hardy cultivars: Bracken's Brown', 'Edith Bogue'.
	✱	<i>Magnolia liliiflora</i> x <i>stellata</i> - Jane Magnolia	😊	😞	😊	😊	😞	10	55	Good small magnolias with slightly later bloom than Star Magnolia. Cultivars: Ann, Betty, Jane.
U.S.		<i>Magnolia macrophylla</i> - Big Leaf Magnolia	😊	😞	😞	😞	😞	30	30	Interesting specimen with very large leaves.
		<i>Magnolia stellata</i> - Star Magnolia	😊	😞	😊	😊	😞	15	60	Proven small magnolia. Cultivar: 'Royal Star'.
U.S.	✱	<i>Magnolia virginiana</i> - Sweetbay Magnolia	😊	😞	😞	😊	😞	15	55	Fragrant, durable semi-evergreen, multi-trunk. Cultivar: 'Moonglow'.
		<i>Magnolia x galaxy</i> - Galaxy Magnolia	😞	😞	😊	😞	😞	20	25	Red-pink bloom, option for Saucer Magnolia.
		<i>Magnolia x loebneri</i> 'Merrill' - Merrill Magnolia	😊	😞	😊	😊	😞	25	60	Option for Saucer Magnolia.
		<i>Magnolia x soulangiana</i> - Saucer Magnolia	😞	😞	😊	😊	😞	30	85	A proven long-lived Magnolia, blooms may freeze out. Cultivar: 'Rustica Red'.
		<i>Malus cultivars</i> - Crabapple	😊	😊	😊	😊	😊	20	40	Many colors and characteristics. All not equal. Common cultivars: 'Coralburst', 'Perfect Purple', 'Prairiefire', 'Royal Raindrops', 'Spring Snow', 'Sugartyme', 'Velvet Pillar', 'Red Jewell'.
		<i>Malus floribunda</i> - Japanese Crabapple	😞	😞	😊	😊	😊	20	40	Specimen tree with good disease resistance.
		<i>Malus hupehensis</i> - Tea Crabapple	😊	😊	😊	😊	😊	15	55	Short, wide spreading flowering crabapple.
	✱	<i>Malus sargentii</i> - Sargent Crabapple	😊	😞	😊	😞	😊	10	40	Very horizontal spreading character. Cultivars: 'Firebird', 'Tina'.
	✱	<i>Metasequoia glyptostroboides</i> - Dawn Redwood	😊	😊	😊	😊	😞	70	95	Option to bald cypress, Interesting deciduous needled conifer.
Invasive		<i>Morus alba</i> - Common Mulberry	😞	😞	😞	😊	😞	8	50	Terrible invasive weed, tasty fruit.
Local		<i>Morus rubra</i> - Red Mulberry	😞	😞	😞	😞	😊	50	70	Good native small woodland tree.
Region		<i>Nyssa sylvatica</i> - Blackgum	😊	😊	😞	😊	😞	40	75	Species is variable, cultivar is recommended.
Region	✱	<i>Nyssa sylvatica</i> - Blackgum cultivars	😊	😊	😞	😊	😞	40	75	'Wildfire' is well proven. Common cultivars: 'Red Rage', 'Afterburner', 'Firestarter', 'Green Gable'.
Local	✱	<i>Ostrya virginiana</i> - Amer. Hophornbeam	😊	😊	😊	😊	😊	40	95	Good native woodland tree. Cultivar: 'Autumn Treasure'.
U.S.		<i>Oxydendrum arboreum</i> - Sourwood	😊	😞	😞	😞	😞	30	25	Not well suited to our climate and soils, beautiful otherwise.
	✱	<i>Parrotia persica</i> - Persian Parrotia	😊	😊	😊	😊	😞	25	65	Excellent fall color, flower often freezes. Makes a good small shrubby tree.
Invasive		<i>Paulownia tomentosa</i> - Royal Paulownia Empress Tree	😞	😞	😞	😞	😞	30	20	Weak wooded and invasive.
		<i>Phellodendron amurense</i> - Amur Corktree	😞	😊	😊	😊	😞	30	60	Low value and not recommended.
		<i>Pistacia chinensis</i> - Chinese Pistache	😞	😊	😞	😞	😞	30	35	Not fully hardy in KC, good fall color.
Local		<i>Platanus occidentalis</i> - Sycamore	😞	😊	😊	😊	😊	70	95	Very large native tree, best for large sites or grand boulevards, prone to anthracnose, messy.

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		<i>Platanus x acerifolia</i> 'Morton Circle' - Exclamation Planetree	☹️	😊	😊	😊	☹️	70	95	Exclamation cultivar has a refined pyramidal form, better fungus resistance than others, but not native.
		<i>Populus alba</i> - White Poplar	☹️	☹️	☹️	☹️	☹️	50	25	Trash tree that suckers excessively.
Local		<i>Populus deltoides</i>	☹️	☹️	☹️	☹️	😊	80	40	Kansas state tree, very fast growing, messy, very large. 'Siouxland' cultivar is a seedless male, but less vigorous.
		<i>Populus tremula</i> 'Erecta' - Columnar Swedish Aspen	☹️	☹️	☹️	☹️	☹️	40	20	Used to replace the old Lombardy Poplar.
U.S.		<i>Populus tremuloides</i> - Quaking Aspen	☹️	☹️	☹️	☹️	☹️	35	15	Best suited to the mountains.
Region		<i>Populus tremuloides</i> 'NE Arb' - Prairie Gold Aspen	😊	☹️	☹️	☹️	☹️	35	25	Native to central Nebraska and better adapted to KC. Allow to sucker in colonies so use only in landscapes where this is appropriate.
		<i>Prunus americana</i> - American Plum	☹️	☹️	😊	😊	😊	15	25	Forms in colonies, best for natural landscapes.
		<i>Prunus cerasifera</i> 'Newport' - Newport Plum	☹️	☹️	☹️	☹️	😊	15	10	Very sort lived, not recommended.
		<i>Prunus sargentii</i> - Sargent Cherry	☹️	☹️	☹️	☹️	😊	50	20	Ornamental cherries generally perform poorly in KC.
Local		<i>Prunus serotina</i> - Black Cherry	☹️	☹️	😊	😊	😊	20	45	Large native tree that has high ecosystem benefits.
		<i>Prunus serrulata</i> 'Kwanzan' - Japanese Flowering Cherry	☹️	☹️	☹️	☹️	😊	20	15	A moderate performing ornamental cherry for KC.
		<i>Prunus subhirtella</i> 'Pendula' - Weeping Cherry	☹️	☹️	☹️	☹️	😊	8	10	A moderate performing weeping cherry in KC.
Local		<i>Prunus virginiana</i> 'Canada Red' - Canadian Red Chokecherry	☹️	😊	😊	☹️	😊	20	25	Useful for late purple foliage color, durable but not long lived.
		<i>Prunus x cistina</i> - Cistina Plum	☹️	☹️	☹️	☹️	😊	15	10	Short-lived small purple leaf plum.
		<i>Prunus x yedoensis</i> - Yoshino Cherry	☹️	☹️	☹️	☹️	😊	10	15	Beautiful, traditional cherry, but not durable.
		<i>Pseudocarya sinensis</i> - Chinese Quince	😊	😊	😊	😊	☹️	50	60	Interesting bark, subject to fireblight, not many old specimens in KC.
Invasive		<i>Pyrus calleryana</i> - Callery Pear	☹️	☹️	☹️	☹️	☹️	12	20	Terrible invasive. Never plant ornamental pears and remove existing trees. Common cultivars: 'Bradford', 'Aristocrat', 'Capital', 'Cleveland', 'Chanticleer'.
		<i>Quercus acutissima</i> - Sawtooth Oak	😊	😊	😊	😊	😊	50	85	Susceptible to storm damage, many better oak options.
Local	✱	<i>Quercus alba</i> - White Oak	😊	😊	😊	😊	😊	70	100+	Queen of the shade trees, best for quality soils.
Local	✱	<i>Quercus bicolor</i> - Swamp White Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree for all large shade tree needs. Extremely high pH soils are a concern.
U.S.		<i>Quercus buckleyi</i> - Texas Red Oak	😊	😊	😊	😊	😊	35	85	May be a good option in higher pH soils.
Region	✱	<i>Quercus coccinea</i> - Scarlet Oak	😊	😊	😊	😊	😊	70	90	Excellent tree for average or better soils.
		<i>Quercus dendata</i> - Japanese Emperor Oak	😊	😊	😊	😊	😊	50	70	Interesting and rare oak.
Local		<i>Quercus imbricaria</i> - Shingle Oak	😊	😊	😊	😊	😊	70	95	Holds most leaves thru winter which may be a concern where snow/ice melt is important, durable oak.
Region	✱	<i>Quercus lyrata</i> - Overcup Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree that needs more use.

The Tree List: Trees For the Kansas City Region (As Rated by Metropolitan Area Experts)
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Tree Name		Rating							Comments	
Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
		<i>Quercus macdanielli</i> 'Clemons' - Heritage Oak	😊	😊	😊	😊	😊	70	90	Has non-native genes, heavy nut production.
Local	★	<i>Quercus macrocarpa</i> - Bur Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree for KC but has large nuts that may not be appropriate for urban sites.
Local		<i>Quercus marilandica</i> - Blackjack Oak	😞	😊	😊	😊	😊	30	100+	Tough but very slow growing. Long lived and not in production.
Region		<i>Quercus michauxii</i> - Swamp Chestnut Oak	😊	😊	😞	😊	😊	70	100+	Similar to Chestnut Oak, but more tolerant of wet soils.
Local	★	<i>Quercus muehlenbergii</i> - Chinkapin Oak	😊	😊	😊	😊	😊	60	100+	Excellent native, large and wide tree. Best for non-irrigated sites.
Region		<i>Quercus nigra</i> - Water Oak	😞	😊	😞	😊	😊	70	70	Becoming more hardy, holds green leaves late.
Region	★	<i>Quercus pagoda</i> - Cherrybark Oak	😊	😊	😞	😊	😊	70	90	Excellent tree, should be used more.
Local		<i>Quercus palustris</i> - Pin Oak	😞	😊	😞	😊	😊	45	90	Overused in the past, chlorosis issues in high pH soils, many better oak options.
Region		<i>Quercus phellos</i> - Willow Oak	😊	😊	😞	😊	😊	15	80	Northern strains have thrived, interesting narrow willow-like leaf.
U.S.	★	<i>Quercus prinus</i> (montana) - Chestnut Oak	😊	😊	😞	😊	😊	60	95	Very drought tolerant, needs good drainage.
		<i>Quercus robur</i> - English Oak	😊	😊	😞	😊	😊	70	85	Mildew issues, many superior oak options.
Local	★	<i>Quercus rubra</i> - Red Oak	😊	😊	😊	😊	😊	70	95	Shumard may be better selection for urban sites
Local	★	<i>Quercus shumardii</i> - Shumard Oak	😊	😊	😊	😊	😊	70	95	Excellent urban shade tree.
Local	★	<i>Quercus stellata</i> - Post Oak	😊	😊	😊	😊	😊	50	100+	Beautiful tree, slow growing with tiny acorns.
U.S.		<i>Quercus texana</i> - Nuttall Oak (Texas Red Oak)	😊	😊	😞	😊	😊	70	75	Great urban tree that tolerates wet soils.
Local		<i>Quercus velutina</i> - Black Oak	😞	😊	😊	😊	😊	70	85	Similar to red oak without the red fall color.
	★	<i>Quercus × bebbiana</i> - Bebb's Oak	😊	😊	😊	😊	😊	70	100+	Cross between White Oak & Burr Oak.
	★	<i>Quercus</i> var. - Columnar Types	😊	😊	😊	😊	😊	45	85	Columnar oaks in the trade are excellent trees but are only partially native. Common cultivars: 'Kindred Spirit', 'Regal Prince', 'Scarlet Letter', 'Urban Pinnacle'.
Region		<i>Rhamnus caroliniana</i> - Carolina Buckthorn	😞	😞	😊	😞	😞	15	30	Durable native small tree, unkept appearance.
Invasive		<i>Rhamnus</i> sp. - Non-Native Buckthorn	😞	😞	😞	😞	😞	15	25	Invasive, remove existing trees.
U.S.		<i>Rhus typhina</i> - Staghorn Sumac	😞	😞	😊	😞	😊	12	15	Interesting massing plant, other sumac species are more shrublike in size.
Local		<i>Robinia pseudoacacia</i> - Black Locust	😞	😞	😊	😞	😊	50	35	Tough, mangy, fragrant blooms, few uses in the landscape due to suckering far from trunk.
		<i>Salix alba</i> - White Willow	😞	😞	😞	😞	😊	70	15	Invasive, exotic weed, somewhat weeping.
		<i>Salix babylonica</i> (sepulcralis) - Weeping Willow	😞	😞	😞	😞	😊	40	20	Messy, subject to winter injury, perfect near a pond but nowhere else.
U.S.		<i>Salix caprea</i> (discolor) - French Pussy Willow	😞	😞	😞	😞	😊	12	10	Fun, soft buds, subject to many heart rot and decay problems, shrubby.
		<i>Salix matsudana</i> 'Tortuosa', 'Snake' - Corkscrew Willow	😞	😞	😊	😞	😊	15	10	Interesting in the landscape, subject to many decay problems, shrubby. Also S. alba 'Tristis'.
Local		<i>Salix nigra</i> - Black Willow	😞	😞	😞	😞	😊	45	15	Best to stabilize stream banks, not in trade.

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Tree Name		Rating							Comments	
Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
Region		<i>Sapindus drummondii</i> - Soapberry	😊	😊	😊	😊	😊	50	60	Takes high pH and drought, but fruit is very messy, especially on cars.
Local		<i>Sassafras albidum</i> - Common Sassafras	😊	😊	😞	😊	😊	35	35	Very hard to establish, great when able to grow.
Region		<i>Sideroxylon lanuginosum</i> - Gum Bumelia	😊	😊	😊	😊	😊	40	40	Rugged tree accustomed to dry, rocky sites.
		<i>Sophora japonica</i> - Japanese Pagodatree	😊	😊	😊	😊	😊	40	40	Canker and breakage issues, seed issues.
		<i>Sorbus alnifolia</i> - Korean Mountain Ash	😞	😊	😞	😞	😊	35	15	Fireblight issues, interesting, but poor performance.
		<i>Sorbus aucuparia</i> - European Mountain Ash	😞	😞	😞	😞	😊	25	10	Heat & borers, needs a perfect site.
		<i>Stewartia pseudocamellia</i> - Japanese Stewartia	😊	😞	😞	😞	😊	25	15	Very touchy, no trees make it to maturity in KC.
		<i>Styrax japonicus</i> - Japanese Snowbell	😊	😞	😞	😞	😊	25	15	Very touchy, though beautiful when successful.
		<i>Styrax obassia</i> - Fragrant Snowbell	😊	😞	😞	😞	😊	20	20	Similar to <i>S. japonicus</i> .
		<i>Syringa pekinensis</i> - Chinese Tree Lilac	😊	😊	😊	😊	😊	30	50	Interesting bark texture, late spring bloom.
	★	<i>Syringa reticulata</i> 'Ivory Silk' - Japanese Tree Lilac	😊	😊	😊	😊	😊	30	30	Durable blooming tree but not very long lived.
U.S.	★	<i>Taxodium ascendens</i> - Pond Cypress	😊	😊	😊	😊	😊	50	100+	Interesting fine foliage compared to bald cypress. Cultivar: 'Prairie Sentinel'.
U.S.	★	<i>Taxodium distichum</i> - Bald Cypress	😊	😊	😊	😊	😊	70	100+	Great urban tree, interesting deciduous needled conifer, gets very large, grows knees on wet sites
U.S.		<i>Taxodium distichum</i> - Weeping Bald Cypress	😊	😞	😊	😊	😊	10+	50	Stake to desired height, cultivars: 'Cascade Falls', 'Falling Water'.
U.S.	★	<i>Taxodium distichum</i> - Columnar Bald Cypress	😊	😊	😊	😊	😊	50	100+	'Shawnee Brave' is a wide columnar tree, 'Lindsey's Skyward' is a narrow columnar tree.
Local	★	<i>Tilia americana</i> - American Linden / Basswood	😊	😊	😊	😊	😊	60	75	Native Linden/Basswood, excellent tree, not preferred by Japanese beetle, common cultivars: 'Boulevard', 'American Sentry'.
		<i>Tilia americana x euchlora</i> 'Redmond' - Redmond Linden	😊	😊	😊	😊	😊	50	55	Inferior cultivar to native species.
		<i>Tilia cordata</i> 'Greenspire' - Littleleaf Linden	😊	😊	😊	😊	😊	50	55	Japanese Beetle food, Common cultivars: 'Greenspire', 'Corinthian', 'Summer Sprite', 'Shamrock', 'Glenleven'.
		<i>Tilia mongolica</i> - Mongolian Linden	😊	😊	😊	😊	😊	35	65	Uncommon and underwhelming compared to other <i>Tilia</i> .
	★	<i>Tilia tomentosa</i> - Silver Linden	😊	😊	😊	😊	😊	70	75	Excellent Linden, Cultivar: 'Sterling Silver'.
		<i>Tilia x euchlora</i> - Crimean Linden	😊	😊	😊	😊	😊	50	65	Better than <i>T. cordata</i> , but not excellent.
Local		<i>Ulmus americana</i> - American Elm	😞	😞	😞	😞	😊	70	30	Not viable because of Dutch elm disease (DED).
Local	★	<i>Ulmus americana</i> - American Elm cultivars	😊	😊	😊	😊	😊	70	95	The king of urban trees past. Still excellent with DED resistant cultivars: 'Valley Forge', 'Princeton', 'Prairie Expedition', 'New Harmony'.
	★	<i>Ulmus parvifolia</i> - Lacebark Elm	😊	😊	😊	😊	😊	50	60	Interesting bark, tough, fast growing, ice storm damage possible, cultivars: 'Allee', 'Emerald Prairie', 'Athena', 'Dynasty'.
Invasive		<i>Ulmus pumila</i> - Siberian Elm	😞	😞	😊	😊	😞	50	60	Terrible invasive used decades ago to replace DED affected elms, messy.
	★	<i>Ulmus x</i> - Hybrid Elm	😊	😊	😊	😊	😊	50	80	Many excellent, durable complex elm clones: 'Frontier', 'Accolade', 'Triumph', 'Commendation', 'New Horizon', 'Patriot'.

The Tree List: Trees For the Kansas City Region (As Rated by Metropolitan Area Experts)

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Tree Name		Rating								Comments
Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
Region		<i>Viburnum lentago</i> - Nannyberry <i>Viburnum</i>						15	25	A woodland small tree/shrub.
Local		<i>Viburnum rufidulum</i> – Rusty Blackhaw						15	25	A good native woodland plant.
		<i>Zelkova serrata</i> 'Goshiki' - Variegated <i>Zelkova</i>						50	40	Interesting, variegated cultivar, same size as species, rare but worth more use.
	✱	<i>Zelkova serrata</i> - Japanese <i>Zelkova</i>						50	40	Durable, fast growing urban tree with minimal ecological benefit. Common cultivars: 'Green Vase', 'Halka', 'Village Green'.
	✱	<i>Zelkova serrata</i> 'Musashino' - Columnar <i>Zelkova</i>						50	40	Columnar selection of <i>Zelkova</i> .
		<i>Zizyphus jujube</i> - Chinese Date						20	50	Heat & drought tolerant, edible plum-like fruit.

THE TREE LIST

Great Landscape Trees

For The Kansas City Region

(As Rated by Metropolitan Area Experts)

A study by Robert Whitman ^{RLA, AICP, LEED AP}

The Tree List: For The Kansas City Region (As Rated By Metropolitan Area Experts) was a study conducted by Robert Whitman, RLA, AICP, LEED AP, in which Kansas City area tree experts were asked to provide numerical ratings for over 380 trees in multiple categories. These ratings were averaged to determine the highest rated trees for each category. Some trees and categories have been added since that original study to provide additional information for users. This list shows all typically available trees, good and bad, to provide users with information on most tree options.

Study Participants:

Alan Branhagen, Director of Horticulture, Powell Gardens (former); **Bob Haines**, Arborist (dec.); **Cheryl Boyer**, Assistant Professor, K-State Extension; **Chip Winslow**, FASLA, KSU Department of Landscape Architecture (retired); **Chris Casebeer**, Green Valley Nursery; **Dan Simmons**; **Dennis Patton**, Johnson County Extension Agent; **Ivan Katzer**, Consulting Arborist; **Kevin Smith**, Forester, Johnson County Parks & Recreation (retired); **Mark Young**, Country Club Tree Service; **Michael Dougherty**, Tree Management Company; **Robert Whitman**, Landscape Architect, Multistudio; **Scott Reiter**, Linda Hall Library (dec.); **Susan Mertz**, Director of Horticulture, Powell Gardens; **Tim McDonnell**, Forester, Kansas Forest Service; and **Tory Schwope**, KAT Nurseries

Great Landscape Trees For The Kansas City Region

KEY	* = Recommended Tree for the KC Region for general landscape use in favorable conditions and sites.	 = Super tree for this situation
	Native Status = Trees native to local KC, the region near KC, distance U.S. areas or invasive trees to the area.	 = Good tree for this situation
	Ratings = As scored by local experts. Some cultivars grouped and averaged with new trees added.	 = Marginal tree for this situation
	Height/Lifespan/Comments = As scored/commented by local experts. Ecosystem Services added.	 = Poor tree for this situation

Tree Name		Rating							Comments	
Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
	*	<i>Acer buergerianum</i> - Trident Maple						30	65	Good urban tree, not hardy north of KC.
	*	<i>Acer griseum</i> - Paperbark Maple						30	65	Great fall color, dramatic exfoliating bark.
	*	<i>Acer miyabei</i> - Miyabe Maple						40	65	Durable, pale yellow fall color.
	*	<i>Acer miyabei</i> 'JFS-KW3AMI' - Rugged Ridge Miyabe Maple						55	65	More narrow than species, also: 'State Street'.
	*	<i>Acer palmatum</i> 'Bloodgood' - Red-leaf Japanese Maple						20	35	Good red foliage variety, for protected sites.
Local	*	<i>Acer saccharum</i> 'Sugar Maple						50	70	Good maple for irrigated sites & quality soils, common cultivars: 'Fall Fiesta', 'Bonfire', 'Green Mountain', 'Oregon Trail', 'Legacy'.
Region	*	<i>Acer saccharum</i> v. <i>Caddo</i> - Caddo Sugar Maple						40	70	Native variety to region, good selection for dry sites, common cultivars: 'Autumn Splendor', 'Flashfire', 'John Pair'.
	*	<i>Acer truncatum</i> - Shantung Maple						25	70	Excellent small tree for KC.
	*	<i>Acer x truncatum</i> - Sunset Maple cultivars						35	80	Medium size durable tree. Common cultivars: 'Pacific Sunset', 'Norwegian Sunset', 'Urban Sunset', 'Crimson Sunset'.
Local	*	<i>Aesculus glabra</i> var. <i>arguta</i> - Texas Buckeye						25	70	More drought tolerant variety.
Region	*	<i>Aesculus pavia</i> - Red Buckeye						15	50	Small tree, will bloom in shade. Buy in bloom to ensure best bloom quality.
Hybrid	*	<i>Aesculus x carnea</i> - Red Horsechestnut						30	65	Vibrant red bloom, larger than <i>A. pavia</i> . Common cultivar: 'O'Neill's Red'.
Local	*	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' - Apple Serviceberry						20	40	Most common in trade, single trunk trees often sucker, making multi-stem plants preferred. Also 'Robin Hill' cultivar.
	*	<i>Carpinus betulus</i> - European Hornbeam						50	65	Clean shade tree that is underused.
	*	<i>Carpinus betulus</i> 'Fastigiata' - Upright Hornbeam						30	65	Durable upright tree. Also 'Frans Fontaine'.
U.S.	*	<i>Carpinus caroliniana</i> - American Hornbeam						30	65	Good shade tree alternative.
Local	*	<i>Cercis canadensis</i> - Redbud						18	30	Common native, prefers understory, but can do well on most sites.
Region	*	<i>Cercis canadensis</i> v. <i>texensis</i> - Oklahoma Redbud						18	30	Thicker foliage and enhanced tolerance of extremes.
	*	<i>Chionanthus retusus</i> - Chinese Fringe Tree						15	45	Tighter bloom, thicker leaf than native species.
U.S.	*	<i>Chionanthus virginicus</i> - White Fringe Tree						12	35	Good small or multi-trunk tree.

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Tree Name		Rating							Comments	
Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
Region	★	<i>Cladrastis kentukea</i> (lutea) - Yellowwood	😊	😊	😞	😊	😞	50	50	Great bloom and smooth bark.
	★	<i>Cornus controversa</i> 'June Snow' - June Snow Giant Dogwood	😊	😞	😞	😞	😞	30	25	Excellent form small tree for good or better soils
Region	★	<i>Cornus florida</i> - White Flowering Dogwood	😊	😞	😞	😞	😊	15	40	Missouri state tree, native just east of KC, only for good, draining soils. Common cultivars: 'Rubrum', 'Cherokee Princess', 'Princess Emily'.
	★	<i>Cornus kousa</i> - Kousa Dogwood	😊	😞	😞	😞	😞	20	40	More durable than natives for KC, common cultivars: 'Scarlet Fire', 'Stellar Pink', 'Celestial', 'Radiant Rose', 'Milky Way'.
	★	<i>Cornus mas</i> - Corneliancherry Dogwood	😊	😞	😊	😊	😞	16	50	Edible fruit, very early yellow bloom.
	★	<i>Eucommia ulmoides</i> - Hardy Rubber Tree	😊	😊	😊	😞	😞	40	50	Tough medium size tree, cultivar: 'Emerald Prairie'
	★	<i>Ginkgo biloba</i> - Ginkgo cultivars	😊	😊	😊	😊	😞	50	100+	Low ecological value, beautiful, long lived tree, protect from bark damage. Common cultivars: 'Princeton Sentry', 'Autumn Gold', 'Magyar', 'Shangri-La', 'Presidential Gold'.
Local	★	<i>Gymnocladus dioica</i> - Kentucky Coffeetree	😊	😊	😊	😊	😊	50	95	Very tough species, Common fruitless cultivars: 'Expresso', 'Decaf'.
Region	★	<i>Hamamelis virginiana</i> - Common Witchhazel	😊	😞	😊	😞	😞	20	35	Very early yellow bloom, underused, shrubby.
	★	<i>Heptacodium miconioides</i> - Seven-Son Flower	😊	😞	😊	😞	😞	8	30	Very late bloom and racemes for autumn interest, multi-trunk tree.
Region	★	<i>Maclura pomifera</i> - Thornless/Fruitless Osage Orange	😊	😊	😊	😊	😊	20	100+	Cultivars: 'White Shield', 'Wichita'. Excellent tree for difficult planting sites.
U.S.	★	<i>Magnolia acuminata</i> 'Butterflies' - Butterflies Magnolia	😊	😞	😊	😞	😞	20	40	Vibrant yellow magnolia bloom. Also: 'Yellow Bird'.
	★	<i>Magnolia liliiflora</i> x <i>stellata</i> - Jane Magnolia	😊	😞	😊	😊	😞	10	55	Good small magnolias with slightly later bloom than Star Magnolia. Cultivars: Ann, Betty, Jane.
U.S.	★	<i>Magnolia virginiana</i> - Sweetbay Magnolia	😊	😞	😞	😊	😞	15	55	Fragrant, durable semi-evergreen, multi-trunk. Cultivar: 'Moonglow'.
		<i>Malus cultivars</i> - Crabapple	😊	😊	😊	😊	😊	20	40	Many colors and characteristics. All not equal. Common cultivars: 'Coralburst', 'Perfect Purple', 'Prairiefire', 'Royal Raindrops', 'Spring Snow', 'Sugartyme', 'Velvet Pillar', 'Red Jewell'.
	★	<i>Malus sargentii</i> - Sargent Crabapple	😊	😞	😊	😞	😊	10	40	Very horizontal spreading character. Cultivars: 'Firebird', 'Tina'.
	★	<i>Metasequoia glyptostroboides</i> - Dawn Redwood	😊	😊	😊	😊	😞	70	95	Option to bald cypress, Interesting deciduous needled conifer.
Region	★	<i>Nyssa sylvatica</i> - Blackgum cultivars	😊	😊	😞	😊	😞	40	75	'Wildfire' is well proven. Common cultivars: 'Red Rage', 'Afterburner', 'Firestarter', 'Green Gable'.
Local	★	<i>Ostrya virginiana</i> - Amer. Hophornbeam	😊	😊	😊	😊	😊	40	95	Good native woodland tree. Cultivar: 'Autumn Treasure'.
	★	<i>Parrotia persica</i> - Persian Parrotia	😊	😊	😊	😊	😞	25	65	Excellent fall color, flower often freezes. Makes a good small shrubby tree.
Local	★	<i>Quercus alba</i> - White Oak	😊	😊	😊	😊	😊	70	100+	Queen of the shade trees, best for quality soils.
Local	★	<i>Quercus bicolor</i> - Swamp White Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree for all large shade tree needs. Extremely high pH soils are a concern.
Region	★	<i>Quercus coccinea</i> - Scarlet Oak	😊	😊	😊	😊	😊	70	90	Excellent tree for average or better soils.
Region	★	<i>Quercus lyrata</i> - Overcup Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree that needs more use.

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Native Status	General Landscape Recommended		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft.)	Exp. Lifespan (yrs.)	
Local	★	<i>Quercus macrocarpa</i> - Bur Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree for KC but has large nuts that may not be appropriate for urban sites.
Local	★	<i>Quercus muehlenbergii</i> - Chinkapin Oak	😊	😊	😊	😊	😊	60	100+	Excellent native, large and wide tree. Best for non-irrigated sites.
Region	★	<i>Quercus pagoda</i> - Cherrybark Oak	😊	😊	😞	😊	😊	70	90	Excellent tree, should be used more.
U.S.	★	<i>Quercus prinus</i> (montana) - Chestnut Oak	😊	😊	😞	😊	😊	60	95	Very drought tolerant, needs good drainage.
Local	★	<i>Quercus rubra</i> - Red Oak	😊	😊	😊	😊	😊	70	95	Shumard may be better selection for urban sites
Local	★	<i>Quercus shumardii</i> - Shumard Oak	😊	😊	😊	😊	😊	70	95	Excellent urban shade tree.
Local	★	<i>Quercus stellata</i> - Post Oak	😊	😊	😊	😊	😊	50	100+	Beautiful tree, slow growing with tiny acorns.
	★	<i>Quercus × bebbiana</i> - Bebb's Oak	😊	😊	😊	😊	😊	70	100+	Cross between White Oak & Burr Oak.
	★	<i>Quercus</i> var. - Columnar Types	😊	😊	😊	😊	😊	45	85	Columnar oaks in the trade are excellent trees but are only partially native. Common cultivars: 'Kindred Spirit', 'Regal Prince', 'Scarlet Letter', 'Urban Pinnacle'.
	★	<i>Syringa reticulata</i> 'Ivory Silk' - Japanese Tree Lilac	😊	😊	😊	😞	😞	30	30	Durable blooming tree but not very long lived.
U.S.	★	<i>Taxodium ascendens</i> - Pond Cypress	😊	😊	😊	😊	😞	50	100+	Interesting fine foliage compared to bald cypress. Cultivar: 'Prairie Sentinel'.
U.S.	★	<i>Taxodium distichum</i> - Bald Cypress	😊	😊	😊	😊	😞	70	100+	Great urban tree, interesting deciduous needled conifer, gets very large, grows knees on wet sites
U.S.	★	<i>Taxodium distichum</i> - Columnar Bald Cypress	😊	😊	😊	😊	😞	50	100+	'Shawnee Brave' is a wide columnar tree, 'Lindsey's Skyward' is a narrow columnar tree.
Local	★	<i>Tilia americana</i> - American Linden / Basswood	😊	😊	😞	😊	😊	60	75	Native Linden/Basswood, excellent tree, not preferred by Japanese beetle, common cultivars: 'Boulevard', 'American Sentry'.
	★	<i>Tilia tomentosa</i> - Silver Linden	😊	😊	😊	😊	😊	70	75	Excellent Linden, Cultivar: 'Sterling Silver'.
Local	★	<i>Ulmus americana</i> - American Elm cultivars	😊	😊	😊	😊	😊	70	95	The king of urban trees past. Still excellent with DED resistant cultivars: 'Valley Forge', 'Princeton', 'Prairie Expedition', 'New Harmony'.
	★	<i>Ulmus parvifolia</i> - Lacebark Elm	😊	😊	😊	😊	😊	50	60	Interesting bark, tough, fast growing, ice storm damage possible, cultivars: 'Allee', 'Emerald Prairie', 'Athena', 'Dynasty'.
	★	<i>Ulmus</i> x - Hybrid Elm	😊	😊	😊	😊	😊	50	80	Many excellent, durable complex elm clones: 'Frontier', 'Accolade', 'Triumph', 'Commendation', 'New Horizon', 'Patriot'.
	★	<i>Zelkova serrata</i> - Japanese Zelkova	😊	😊	😊	😞	😞	50	40	Durable, fast growing urban tree with minimal ecological benefit. Common cultivars: 'Green Vase', 'Halka', 'Village Green'.
	★	<i>Zelkova serrata</i> 'Musashino' - Columnar Zelkova	😊	😊	😊	😞	😞	50	40	Columnar selection of Zelkova.

The Tree List: Trees For the Kansas City Region (As Rated by Metropolitan Area Experts)
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THE TREE LIST

Great Street Trees

For The Kansas City Region

(As Rated by Metropolitan Area Experts)

A study by Robert Whitman RLA, AICP, LEED AP

The Tree List: For The Kansas City Region (As Rated By Metropolitan Area Experts) was a study conducted by Robert Whitman, RLA, AICP, LEED AP, in which Kansas City area tree experts were asked to provide numerical ratings for over 380 trees in multiple categories. These ratings were averaged to determine the highest rated trees for each category. Some trees and categories have been added since that original study to provide additional information for users. This list shows all typically available trees, good and bad, to provide users with information on most tree options.

Study Participants:

Alan Branhagen, Director of Horticulture, Powell Gardens (former); **Bob Haines**, Arborist (dec.); **Cheryl Boyer**, Assistant Professor, K-State Extension; **Chip Winslow**, FASLA, KSU Department of Landscape Architecture (retired); **Chris Casebeer**, Green Valley Nursery; **Dan Simmons**; **Dennis Patton**, Johnson County Extension Agent; **Ivan Katzer**, Consulting Arborist; **Kevin Smith**, Forester, Johnson County Parks & Recreation (retired); **Mark Young**, Country Club Tree Service; **Michael Dougherty**, Tree Management Company; **Robert Whitman**, Landscape Architect, Multistudio; **Scott Reiter**, Linda Hall Library (dec.); **Susan Mertz**, Director of Horticulture, Powell Gardens; **Tim McDonnell**, Forester, Kansas Forest Service; and **Tory Schwope**, KAT Nurseries

Great Street Trees For The Kansas City Region

★ = Recommended Tree for the KC Region for general landscape use in favorable conditions and sites.

Native Status = Trees native to **local** KC, the **region** near KC, distance **U.S.** areas or **invasive** trees to the area.

Ratings = As scored by local experts. Some cultivars grouped and averaged with new trees added.

Height/Lifespan/Comments = As scored/commented by local experts. Ecosystem Services added.

😊 = Super tree for this situation

🙂 = Good tree for this situation

😐 = Marginal tree for this situation

😞 = Poor tree for this situation

KEY

Tree Name		Rating							Comments	
Native Status	Under Power Lines		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft)	Exp. Lifespan (yrs.)	
	★	<i>Acer buergerianum</i> - Trident Maple	😊	😊	😊	😊	😊	30	65	Good urban tree, not hardy north of KC.
		<i>Acer campestre</i> - Hedge Maple	😊	😊	😊	😊	😊	50	60	Compact form, dark green leaf, tolerates high pH
		<i>Acer campestre</i> 'JFS Shichtel2' - Streetside Hedge Maple	😊	😊	😊	😊	😊	35	60	Narrow cultivar, 'Metro Gold' is less hardy.
	★	<i>Acer griseum</i> - Paperbark Maple	😊	😊	😊	😊	😊	30	65	Great fall color, dramatic exfoliating bark.
		<i>Acer miyabei</i> - Miyabe Maple	😊	😊	😊	😊	😊	40	65	Durable, pale yellow fall color.
		<i>Acer miyabei</i> 'JFS-KW3AMI' - Rugged Ridge Miyabe Maple	😊	😊	😊	😊	😊	55	65	More narrow than species, also: 'State Street'.
Local		<i>Acer saccharum</i> 'Sugar Maple	😊	😊	😊	😊	😊	50	70	Good maple for irrigated sites & quality soils, common cultivars: 'Fall Fiesta', 'Bonfire', 'Green Mountain', 'Oregon Trail', 'Legacy'.
Region		<i>Acer saccharum</i> v. <i>Caddo</i> - Caddo Sugar Maple	😊	😊	😊	😊	😊	40	70	Native variety to region, good selection for dry sites, common cultivars: 'Autumn Splendor', 'Flashfire', 'John Pair'.
	★	<i>Acer truncatum</i> - Shantung Maple	😊	😊	😊	😊	😊	25	70	Excellent small tree for KC.
		<i>Acer x truncatum</i> - Sunset Maple cultivars	😊	😊	😊	😊	😊	35	80	Medium size durable tree. Common cultivars: 'Pacific Sunset', 'Norwegian Sunset', 'Urban Sunset', 'Crimson Sunset'.
		<i>Carpinus betulus</i> - European Hornbeam	😊	😊	😊	😊	😊	50	65	Clean shade tree that is underused.
U.S.	★	<i>Carpinus caroliniana</i> - American Hornbeam	😊	😊	😊	😊	😊	30	65	Good shade tree alternative.
Region		<i>Cladrastis kentukea</i> (lutea) - Yellowwood	😊	😊	😊	😊	😊	50	50	Great bloom and smooth bark.
		<i>Corylus colurna</i> - Turkish Hazel	😊	😊	😊	😊	😊	50	70	Very durable tree, medium size.
	★	<i>Crataegus ambigua</i> - Russian Hawthorn	😊	😊	😊	😊	😊	20	50	Tough, good north and west of KC.
		<i>Eucommia ulmoides</i> - Hardy Rubber Tree	😊	😊	😊	😊	😊	40	50	Tough medium size tree, cultivar: 'Emerald Prairie'
		<i>Ginkgo biloba</i> - Ginkgo cultivars	😊	😊	😊	😊	😊	50	100+	Low ecological value, beautiful, long lived tree, protect from bark damage. Common cultivars: 'Princeton Sentry', 'Autumn Gold', 'Magyar', 'Shangri-La', 'Presidential Gold'.
Local		<i>Gleditsia triacanthos</i> - Honeylocust	😊	😊	😊	😊	😊	70	65	Use cultivars for thornless and seedless character, protect trunk during moving/planting to reduce canker issues, Common cultivars: 'Shademaster', 'Street Keeper', 'Imperial', 'Skyline'
Local		<i>Gymnocladus dioica</i> - Kentucky Coffeetree	😊	😊	😊	😊	😊	50	95	Very tough species, Common fruitless cultivars: 'Expresso', 'Decaf'.

The Tree List: Trees For the Kansas City Region (As Rated by Metropolitan Area Experts)

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Tree Name		Rating							Comments	
Native Status	Under Power Lines		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft)	Exp. Lifespan (yrs.)	
	✱	<i>Maackia amurensis</i> - Amur Maackia	☹️	😊	😊	😊	😊	20	50	Durable, good mid-summer bloom. Cultivar: 'Starburst'.
Region	✱	<i>Maclura pomifera</i> - Thornless/Fruitless Osage Orange	😊	😊	😊	😊	😊	20	100+	Cultivars: 'White Shield', 'Wichita'. Excellent tree for difficult planting sites.
	✱	<i>Malus cultivars</i> - Crabapple	😊	😊	😊	😊	😊	20	40	Many colors and characteristics. All not equal. Common cultivars: 'Coralburst', 'Perfect Purple', 'Prairiefire', 'Royal Raindrops', 'Spring Snow', 'Sugartyme', 'Velvet Pillar', 'Red Jewell'.
		<i>Metasequoia glyptostroboides</i> - Dawn Redwood	😊	😊	😊	😊	😊	70	95	Option to bald cypress, Interesting deciduous needled conifer.
Region		<i>Nyssa sylvatica</i> - Blackgum cultivars	😊	😊	😊	😊	😊	40	75	'Wildfire' is well proven. Common cultivars: 'Red Rage', 'Afterburner', 'Firestarter', 'Green Gable'.
Local		<i>Ostrya virginiana</i> - Amer. Hophornbeam	😊	😊	😊	😊	😊	40	95	Good native woodland tree. Cultivar: 'Autumn Treasure'.
Local		<i>Platanus occidentalis</i> - Sycamore	😊	😊	😊	😊	😊	70	95	Very large native tree, best for large sites or grand boulevards, prone to anthracnose, messy.
		<i>Platanus x acerifolia</i> 'Morton Circle' - Exclamation Planetree	😊	😊	😊	😊	😊	70	95	Exclamation cultivar has a refined pyramidal form, better fungus resistance than others, but not native.
		<i>Pseudocarya sinensis</i> - Chinese Quince	😊	😊	😊	😊	😊	50	60	Interesting bark, subject to fireblight, not many old specimens in KC.
Local		<i>Quercus alba</i> - White Oak	😊	😊	😊	😊	😊	70	100+	Queen of the shade trees, best for quality soils.
Local		<i>Quercus bicolor</i> - Swamp White Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree for all large shade tree needs. Extremely high pH soils are a concern.
U.S.		<i>Quercus buckleyi</i> - Texas Red Oak	😊	😊	😊	😊	😊	35	85	May be a good option in higher pH soils.
Region		<i>Quercus coccinea</i> - Scarlet Oak	😊	😊	😊	😊	😊	70	90	Excellent tree for average or better soils.
		<i>Quercus dendata</i> - Japanese Emperor Oak	😊	😊	😊	😊	😊	50	70	Interesting and rare oak.
Local		<i>Quercus imbricaria</i> - Shingle Oak	😊	😊	😊	😊	😊	70	95	Holds most leaves thru winter which may be a concern where snow/ice melt is important, durable oak.
Region		<i>Quercus lyrata</i> - Overcup Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree that needs more use.
		<i>Quercus macdanielli</i> 'Clemons' - Heritage Oak	😊	😊	😊	😊	😊	70	90	Has non-native genes, heavy nut production.
Local		<i>Quercus macrocarpa</i> - Bur Oak	😊	😊	😊	😊	😊	70	100+	Excellent tree for KC but has large nuts that may not be appropriate for urban sites.
Region		<i>Quercus michauxii</i> - Swamp Chestnut Oak	😊	😊	😊	😊	😊	70	100+	Similar to Chestnut Oak, but more tolerant of wet soils.
Local		<i>Quercus muehlenbergii</i> - Chinkapin Oak	😊	😊	😊	😊	😊	60	100+	Excellent native, large and wide tree. Best for non-irrigated sites.
Region		<i>Quercus pagoda</i> - Cherrybark Oak	😊	😊	😊	😊	😊	70	90	Excellent tree, should be used more.
U.S.		<i>Quercus prinus</i> (montana) - Chestnut Oak	😊	😊	😊	😊	😊	60	95	Very drought tolerant, needs good drainage.
Local		<i>Quercus rubra</i> - Red Oak	😊	😊	😊	😊	😊	70	95	Shumard may be better selection for urban sites
Local		<i>Quercus shumardii</i> - Shumard Oak	😊	😊	😊	😊	😊	70	95	Excellent urban shade tree.
Local		<i>Quercus stellata</i> - Post Oak	😊	😊	😊	😊	😊	50	100+	Beautiful tree, slow growing with tiny acorns.
U.S.		<i>Quercus texana</i> - Nuttall Oak (Texas Red Oak)	😊	😊	😊	😊	😊	70	75	Great urban tree that tolerates wet soils.

The Tree List: Trees For the Kansas City Region (As Rated by Metropolitan Area Experts)
 © Robert Whitman, RLA, AICP, LEED AP | Robert.Whitman@Multi.studio

Tree Name		Rating							Comments	
Native Status	Under Power Lines		Landscape Value	Street Tree	Climate Adaptable	Drought Tolerant	Ecosystem Services	Mature Height (ft)	Exp. Lifespan (yrs.)	
		<i>Quercus × bebbiana</i> - Bebb's Oak	😊	😊	😊	😊	😊	70	100+	Cross between White Oak & Burr Oak.
		<i>Quercus</i> var. - Columnar Types	😊	😊	😊	😊	😊	45	85	Columnar oaks in the trade are excellent trees but are only partially native. Common cultivars: 'Kindred Spirit', 'Regal Prince', 'Scarlet Letter', 'Urban Pinnacle'.
	✱	<i>Syringa pekinensis</i> - Chinese Tree Lilac	😊	😊	😊	😊	😞	30	50	Interesting bark texture, late spring bloom.
	✱	<i>Syringa reticulata</i> 'Ivory Silk' - Japanese Tree Lilac	😊	😊	😊	😞	😞	30	30	Durable blooming tree but not very long lived.
U.S.		<i>Taxodium ascendens</i> - Pond Cypress	😊	😊	😊	😊	😞	50	100+	Interesting fine foliage compared to bald cypress. Cultivar: 'Prairie Sentinel'.
U.S.		<i>Taxodium distichum</i> - Bald Cypress	😊	😊	😊	😊	😞	70	100+	Great urban tree, interesting deciduous needled conifer, gets very large, grows knees on wet sites
U.S.		<i>Taxodium distichum</i> - Columnar Bald Cypress	😊	😊	😊	😊	😞	50	100+	'Shawnee Brave' is a wide columnar tree, 'Lindsey's Skyward' is a narrow columnar tree.
Local		<i>Tilia americana</i> - American Linden / Basswood	😊	😊	😞	😊	😊	60	75	Native Linden/Basswood, excellent tree, not preferred by Japanese beetle, common cultivars: 'Boulevard', 'American Sentry'.
		<i>Tilia tomentosa</i> - Silver Linden	😊	😊	😊	😊	😊	70	75	Excellent Linden, Cultivar: 'Sterling Silver'.
Local		<i>Ulmus americana</i> - American Elm cultivars	😊	😊	😊	😊	😊	70	95	The king of urban trees past. Still excellent with DED resistant cultivars: 'Valley Forge', 'Princeton', 'Prairie Expedition', 'New Harmony'.
		<i>Ulmus parvifolia</i> - Lacebark Elm	😊	😊	😊	😊	😊	50	60	Interesting bark, tough, fast growing, ice storm damage possible, cultivars: 'Allee', 'Emerald Prairie', 'Athena', 'Dynasty'.
		<i>Ulmus</i> x - Hybrid Elm	😊	😊	😊	😊	😊	50	80	Many excellent, durable complex elm clones: 'Frontier', 'Accolade', 'Triumph', 'Commendation', 'New Horizon', 'Patriot'.
		<i>Zelkova serrata</i> - Japanese Zelkova	😊	😊	😊	😞	😞	50	40	Durable, fast growing urban tree with minimal ecological benefit. Common cultivars: 'Green Vase', 'Halka', 'Village Green'.
		<i>Zelkova serrata</i> 'Musashino' - Columnar Zelkova	😊	😊	😊	😞	😞	50	40	Columnar selection of Zelkova.

THE TREE LIST

Evergreen Trees

For The Kansas City Region

(As Rated by Metropolitan Area Experts)

A study by Robert Whitman RLA, AICP, LEED AP

The Tree List: Evergreen Trees For The Kansas City Region (As Rated By Metropolitan Area Experts) was a 2012-2013 study conducted by Robert Whitman, RLA, AICP, LEED AP, in which Kansas City region tree experts were asked to provide numerical opinions (0-5 ratings) in each category for evergreen trees they have tested/observed from a master list of 154 evergreen trees. These ratings were averaged to determine the tree ratings for each category.

Study Participants:

Alan Branhagen, Director of Horticulture, Powell Gardens; **Cameron Rees**, Skinner Garden Store; **Cheryl Boyer**, Assistant Professor, K-State Extension; **Chip Winslow**, FASLA, KSU Department of Landscape Architecture; **Chuck Conner**, Forester, Missouri Department of Conservation; **Dennis Patton**, Johnson County Extension Agent; **Don Mann**, Loma Vista Nursery; **Duane Hoover**, Horticulturist, Kauffman Memorial Garden; **Ivan Katzer**, Consulting Arborist; **Jason Griffin PhD**, KSU John C. Pair Horticultural Center; **Kim Bomberger**, Community Forester, Kansas Forest Service; **Marvin Snyder**, Past President, American Conifer Society; **Mic Mills**, Rosehill Gardens; **Michael Dougherty**, Tree Management Company; **Rick Spurgeon**, Olathe City Arborist; **Robert Whitman**, Landscape Architect, Multistudio; **Scott Reiter**, Linda Hall Library; **Susan Mertz**, Loma Vista Nursery; and **Tim McDonnell**, Forester, Kansas Forest Service

PINE TREES

KEY	*** = Well Tested/Observed in Kansas City region	😊 = Super tree for this condition	😞 = Very Poor tree for this condition
	** = Somewhat Tested/Observed in Kansas City region	😬 = Fair tree for this condition	✖ = Unknown
	* = Not Well Tested/Observed in Kansas City region (Buyer Beware)	😓 = Poor tree for this condition	

Score	Size	Tree Name	Rating						Comments
Expert-tested for Kansas City region	Height x width (ft.)		As specimen	As buffer or massing	Culturally adaptable	Heavy soils	Drought tolerant	Lifespan	
**	15x9	<i>Pinus aristata</i> Bristlecone Pine	😓	😞	😓	😞	😬	😓	Needs excellent drainage, dislikes Kansas City humidity
*	35x20	<i>Pinus ayacahuite</i> Mexican White Pine	😬	😊	😊	😊	😊	✖	Limited experience, but shows promise
**	35x22	<i>Pinus banksiana</i> Jack Pine	😞	😞	😬	😬	😬	😓	Pine wilt when under stress
**	25x18	<i>Pinus bungeana</i> Lacebark Pine	😊	😬	😬	😓	😬	😬	Excellent performer with interesting bark
*	22x11	<i>Pinus cembra</i> Swiss Stone Pine	😬	😓	😓	😞	😓	✖	Limited local success, slow grower
**	30x20	<i>Pinus densiflora</i> Japanese Red Pine	😬	😓	😬	😬	😬	😓	Some local success, very open habit
**	14x12	<i>Pinus densiflora</i> 'Umbraculifera' Tabletop Pine	😊	😓	😬	😬	😬	😓	Some local success, interesting flattop specimen
***	30x17	<i>Pinus flexilis</i> 'Vanderwolf's' Limber Pine	😬	😬	😬	😬	😬	😬	Green-blue color, can get needle blight
*	35x20	<i>Pinus koraiensis</i> Korean Pine	😬	😬	😬	😊	😬	✖	Loose form, some local success
*	28x15	<i>Pinus leucodermis</i> Bosnian Pine	😬	😬	😬	😓	😊	✖	Some local success, black pine replacement
***	12x14	<i>Pinus mugo</i> Mugo Pine	😓	😞	😬	😬	😬	😬	Variation in size, pine wilt and scale problems
*	12x7	<i>Pinus mugo</i> 'Tannenbaum' Tannenbaum Pine	😬	😓	😬	😬	😬	✖	Attractive form, small pine alternative
***	55x30	<i>Pinus nigra</i> Austrian Pine	😞	😞	😓	😊	😊	😞	Severe diploia tip blight, short lived
**	35x19	<i>Pinus parviflora</i> Japanese White Pine	😓	😓	😓	😬	😬	😬	Attractive pine, some local success
***	50x30	<i>Pinus ponderosa</i> Ponderosa Pine	😞	😓	😓	😓	😊	😊	Pine tip moth, fungal problems
**	40x18	<i>Pinus resinosa</i> Red Pine	😞	😓	😞	😬	😓	😞	Too hot in KC for this pine
**	40x25	<i>Pinus strobiformis</i> Southwestern White Pine	😬	😬	😬	😓	😊	😬	Performs well here and Southwest of KC
***	60x30	<i>Pinus strobus</i> Eastern White Pine	😓	😬	😬	😬	😓	😊	Drought susceptible, chlorosis, good pine
***	45x16	<i>Pinus strob.</i> 'Fastigiata' Columnar White Pine	😬	😬	😬	😬	😓	😊	Same as species but better for narrow sites
***	45x25	<i>Pinus sylvestris</i> Scotch Pine	😞	😞	😓	😊	😬	😞	Pine wilt & root nematode, European sawfly
*	50x25	<i>Pinus taeda</i> Loblolly Pine	😞	😓	😓	😊	😬	✖	Cold, ice and high pH can cause problems
**	25x15	<i>Pinus thunbergiana</i> Japanese Black Pine	😓	😞	😓	😬	😓	😓	Salt tolerant, ice damage, pine wilt
*	30x15	<i>Pinus wallichiana</i> Himalayan Pine	😓	😬	😓	😬	😓	✖	Needs more testing

The Tree List: Evergreen Trees For the Kansas City Region (As Rated By Metropolitan Area Experts)
A study by Robert Whitman, RLA, AICP, LEED AP | Robert.Whitman@Multi.studio

SPRUCE TREES

KEY	*** = Well Tested/Observed in Kansas City region	😊 = Super tree for this condition	😞 = Very Poor tree for this condition
	** = Somewhat Tested/Observed in Kansas City region	😬 = Fair tree for this condition	✖ = Unknown
	* = Not Well Tested/Observed in Kansas City region (Buyer Beware)	😓 = Poor tree for this condition	

Score	Size	Tree Name	Rating						Comments
Expert-tested for Kansas City region	Height x width (ft.)		As specimen	As buffer or massing	Culturally adaptable	Heavy soils	Drought tolerant	Lifespan	
***	60x30	<i>Picea abies</i> Norway Spruce	😊	😊	😊	😊	😬	😊	Tough and proven spruce for KC
***	27x10	<i>Picea abies</i> 'Cupressina' Upright Norway Spruce	😊	😓	😊	😊	😬	😊	Narrow and fast growing spruce
***	22x15	<i>Picea abies</i> v. pendula Weeping Norway Spruce	😊	😓	😊	😊	😬	😊	Many specimen application options
**	30x14	<i>Picea breweriana</i> Brewer's Spruce	😞	😓	😞	😓	😞	😓	Tested with many failures
*	30x16	<i>Picea engelmannii</i> Engelmann Spruce	😬	😞	😬	😊	😊	✖	Not tolerant of KC heat or humidity
**	40x20	<i>Picea glauca</i> White Spruce	😓	😓	😞	😓	😞	😓	Poor heat tolerance
***	30x18	<i>Picea glauca</i> 'Densata' Black Hills Spruce	😬	😬	😬	😬	😬	😓	Slow growing but performs well, dense form
**	18x4	<i>Picea glauca</i> 'Pendula' Weeping White Spruce	😬	😞	😬	😬	😓	😓	Great specimen, good upright leader
**	20x9	<i>Picea mariana</i> 'Columnar' Columnar Black Spruce	😊	😓	😬	😞	😞	😓	Blue-green foliage, slow growing
**	20x7	<i>Picea mariana</i> 'Wellspire' Columnar Black Spruce	😊	😓	😬	😞	😞	😓	Upright form, soft needles, green color
**	40x16	<i>Picea omorika</i> Serbian Spruce	😬	😬	😬	😓	😓	😬	Blue-green color, performs well in irrigation
**	25x10	<i>Picea omorika</i> 'Bruns' Bruns Serbian Spruce	😬	😬	😬	😓	😓	😬	More narrow than species
**	22x8	<i>Picea omorika</i> 'Pendula' Weeping Serbian Spruce	😊	😓	😬	😓	😓	😬	Very attractive weeping specimen
***	25x12	<i>Picea omorika</i> 'Riverside' Upright Serbian Spruce	😊	😬	😬	😓	😓	😬	Nice form with green color
*	25x15	<i>Picea orientalis</i> Oriental Spruce	😊	😬	😬	😬	😬	✖	Tiny needles
**	18x8	<i>Picea orientalis</i> 'Deer Run' Deer Run Spruce	😊	😓	😬	😬	😬	😬	Blue color, slow growing
*	18x9	<i>P. orientalis</i> 'Skylands' Yellow Oriental Spruce	😬	😓	😓	😓	😓	✖	Yellow needles fade to green, will scorch
***	45x20	<i>Picea pungens</i> Colorado Spruce	😬	😬	😓	😞	😓	😬	Not heat or drought tolerant, green needles
***	45x20	<i>Picea pungens</i> v. glauca Colorado Blue Spruce	😬	😬	😓	😞	😓	😬	Same as species, but blue color
***	40x18	<i>Picea pungens</i> 'Kosteri' Koster Blue Spruce	😊	😓	😬	😞	😓	😬	Blue color, not uniform or dense
*	15x8	<i>Picea pungens</i> 'Baby Blue Eyes' Baby Blue Eyes Spruce	😊	😬	😓	😞	😓	✖	Tidy, small mature size
**	25x14	<i>Picea pungens</i> 'Bakeri' Bakeri Spruce	😊	😬	😓	😞	😓	😬	Good blue color
***	20x9	<i>Picea pungens</i> 'Blue Totum' Col. Blue Spruce	😬	😓	😓	😞	😓	😬	Good blue color, snow/ice load is problem
**	20x10	<i>Picea pungens</i> 'Fastigiata' Col. Blue Spruce	😬	😓	😓	😞	😓	😬	Good blue color, snow/ice load is problem
***	20x15	<i>Picea pungens</i> 'Fat Albert' Fat Albert Blue Spruce	😊	😬	😓	😞	😓	😬	Excellent blue color and form
***	30x16	<i>Picea pungens</i> 'Hoopsii' Hoopsii Blue Spruce	😊	😬	😓	😞	😓	😬	Bluest spruce, more open form

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JUNIPER TREES

KEY	*** = Well Tested/Observed in Kansas City region	😊 = Super tree for this condition	😞 = Very Poor tree for this condition
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	* = Not Well Tested/Observed in Kansas City region (Buyer Beware)	😓 = Poor tree for this condition	

Score	Size	Tree Name	Rating						Comments
Expert-tested for Kansas City region	Height x width (ft.)		As specimen	As buffer or massing	Culturally adaptable	Heavy soils	Drought tolerant	Lifespan	
*	20x12	<i>Juniperus chinensis</i> 'Wintergreen' Wintergreen Juniper	😓	😊	😬	😬	😊	✖	Dense rich green
**	16x9	<i>Juniperus chinensis</i> 'Blue Point' Blue Point Juniper	😬	😊	😬	😊	😊	😬	Teardrop shape, blue-green color
**	25x14	<i>Juniperus chinensis</i> 'Columnaris Glauca' Upright Blue Juniper	😓	😊	😬	😊	😊	😓	Narrow, loose habit, silver-grey color
***	16x9	<i>Juniperus chinensis</i> 'Hetzii Columnaris' Hetz Juniper	😓	😊	😊	😊	😊	😬	Green, heavy attractive cone production
**	13x5	<i>Juniperus chinensis</i> 'Iowa' Iowa Juniper	😓	😊	😊	😊	😊	😓	Green with blue tint, loose form
***	20x13	<i>Juniperus chinensis</i> 'Keteleerii' Keteleerii Juniper	😓	😊	😊	😊	😊	😊	Green with loose form, interesting unshed
***	20x12	<i>Juniperus chinensis</i> 'Perfecta' Perfecta Juniper	😓	😊	😊	😊	😊	😊	Natural freshly sheared look
**	18x9	<i>Juniperus chinensis</i> 'Robusta Green' Upright Juniper	😓	😊	😬	😬	😊	😬	Green, tufted form, slightly irregular
***	20x9	<i>Juniperus chinensis</i> 'Spartan' Spartan Juniper	😬	😊	😊	😊	😊	😬	Green, dense and narrow
*	20x18	<i>Juniperus rigida</i> Temple Juniper	😬	😬	😊	😊	😊	✖	Green, slightly weeping branchlets
**	25x13	<i>J. scopulorum</i> 'Blue Haven' Blue Haven Juniper	😞	😓	😓	😞	😞	😞	Blue, striking color, heavy cone production
***	20x7	<i>Juniperus scopulorum</i> 'Skyrocket' Skyrocket Juniper	😞	😞	😞	😓	😬	😞	Blue, very narrow, poor performer
***	18x8	<i>Juniperus scopulorum</i> 'Welchii' Welch Juniper	😞	😞	😞	😞	😬	😞	Silvery blue-green, compact and dense
***	20x10	<i>Juniperus scopulorum</i> 'Wichita Blue' Wichita Blue Juniper	😞	😓	😞	😓	😬	😞	Brilliant bright blue, poor performer
***	40x25	<i>Juniperus virginiana</i> Eastern Red Cedar	😓	😊	😊	😊	😊	😊	Our only native and most durable evergreen
***	30x15	<i>Juniperus virginiana</i> 'Glauca' Silver Eastern Red Cedar	😓	😊	😊	😊	😊	😊	Silver hue and very durable
*	15x5	<i>Juniperus virginiana</i> 'Blue Arrow' Blue Arrow Juniper	😓	😬	😊	😊	😊	✖	More narrow than 'Glauca', not as durable
**	25x14	<i>Juniperus virginiana</i> 'Burkii' Blue Burkii Juniper	😓	😊	😊	😊	😊	😊	Steel-blue color, lacks interesting cones
***	25x15	<i>Juniperus virginiana</i> 'Canaertii' Canaert Juniper	😬	😊	😊	😊	😊	😊	Attractive lumpy form, proven durability
**	20x12	<i>Juniperus virginiana</i> 'Cupressifolia' Hillspire Juniper	😓	😊	😊	😊	😊	😊	Green, keeps winter color, durable
**	23x10	<i>Juniperus virginiana</i> 'Emerald Sentinel' Emerald Sentinel Juniper	😓	😊	😊	😊	😊	😊	Dark green color
*	20x8	<i>Juniperus virginiana</i> 'Prairie Sentinel' Prairie Sentinel Juniper	😓	😊	😊	😊	😊	✖	Grey-green color, slower grower
**	18x5	<i>Juniperus virginiana</i> 'Taylor' Taylor Upright Juniper	😊	😊	😊	😊	😊	😬	Italian cypress look, durable, species color

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	** = Somewhat Tested/Observed in Kansas City region	😐 = Fair tree for this condition	✖ = Unknown
	* = Not Well Tested/Observed in Kansas City region (Buyer Beware)	😓 = Poor tree for this condition	

ARBORVITAE TREES

Score	Size	Tree Name	Rating						Comments
Expert-tested for Kansas City region	Height x width (ft.)		As specimen	As buffer or massing	Culturally adaptable	Heavy soils	Drought tolerant	Lifespan	
***	25x15	<i>Thuja occidentalis</i> Eastern Arborvitae	😞	😐	😓	😐	😞	😓	Needs irrigation, snow loads are a problem
**	18x4	<i>T. occ.</i> 'Degroot's Spire' Degroot's Spire Arborvitae	😐	😐	😞	😐	😞	😓	Best cultivar, otherwise same as species, slow
***	16x6	<i>T. occidentalis</i> 'Smaragd' Emerald Green Arborvitae	😞	😓	😞	😐	😞	😞	Overplanted and unloved by experts
**	20x7	<i>Thuja occidentalis</i> 'Techny' Techny Arborvitae	😞	😓	😞	😐	😞	😞	Poor performer, slow growing
***	35x15	<i>Thuja</i> x 'Green Giant' Green Giant Arborvitae	😓	😊	😐	😐	😞	😓	Fast grower, drought problems, deer resistant
**	25x12	<i>Thuja</i> x 'Spring Grove' Spring Grove Arborvitae	😓	😐	😐	😐	😞	😓	Less vigorous than Green Giant, but similar
***	25x15	<i>Thuja orientalis</i> Oriental Arborvitae	😞	😐	😐	😐	😊	😊	Toughest arborvitae for challenging KC

FIR / YEW TREES

Score	Size	Tree Name	Rating						Comments
*	40x18	<i>Abies balsamea</i> Balsam Fir	😞	😞	😞	😞	😞	✖	Poor performance in KC
**	45x25	<i>Abies concolor</i> White Fir	😐	😞	😞	😞	😞	😓	Beautiful, needs excellent drainage, variable
**	25x14	<i>Abies concolor</i> 'Candicans' Candicans Fir	😐	😞	😞	😞	😞	😓	White-blue color very impressive
*	30x16	<i>Abies fraseri</i> Fraser Fir	😞	😓	😞	😞	😞	✖	Very few good trees in KC, many failures
*	30x20	<i>Abies homolepis</i> Nikko Fir	😊	😓	😞	😊	😞	✖	Very few good trees in KC, many failures
*	15x6	<i>Abies koreana</i> Korean Fir	😐	😞	😞	😐	😞	✖	Heat and drought sensitive
*	35x16	<i>Abies nordmanniana</i> Nordman Fir	😐	😓	😓	😐	😐	✖	Very few good trees, but shows promise
**	40x20	<i>Pseudotsuga menziesii</i> Douglas Fir	😓	😓	😓	😞	😓	😐	Very few nice older specimens in KC
***	20x14	<i>Taxus cuspidata</i> 'Capitata' Pyramidal Japanese Yew	😐	😓	😐	😞	😓	😓	Great evergreen for shade, needs drainage
***	15x9	<i>Taxus x media</i> 'Hicksii' Hicks Upright Yew	😓	😊	😐	😓	😐	😊	More upright/round form than Cap Yew

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HOLLY / MAGNOLIA TREES (BROADLEAF EVERGREENS ONLY)

KEY	***	= Well Tested/Observed in Kansas City region	😊	= Super tree for this condition	😞	= Very Poor tree for this condition
	**	= Somewhat Tested/Observed in Kansas City region	😬	= Fair tree for this condition	✖	= Unknown
	*	= Not Well Tested/Observed in Kansas City region (Buyer Beware)	😞	= Poor tree for this condition		

Score	Size	Tree Name	Rating						Comments
Expert-tested for Kansas City region	Height x width (ft.)		As specimen	As buffer or massing	Culturally adaptable	Heavy soils	Drought tolerant	Lifespan	
***	20x12	<i>Ilex x attenuata</i> 'Fosteri' Foster's #2 Holly	😬	😬	😬	😞	😞	😞	Needs winter wind protection
***	20x12	<i>Ilex x attenuata</i> 'Greenleaf' Greenleaf Holly	😬	😬	😞	😞	😞	😞	Chlorosis, needs winter wind protection
***	8x7	<i>Ilex x 'Blue Maid'</i> Blue Maid Holly	😞	😞	😬	😞	😞	😞	Needs winter wind protection
**	14x7	<i>Ilex x Centennial Girl'</i> Centennial Girl Holly	😞	😊	😬	😞	😞	😞	Needs winter wind protection
*	14x6	<i>Ilex x 'Dragon Lady'</i> Dragon Lady Holly	😞	😞	😞	😞	😞	✖	Rare to succeed in KC
**	6x5	<i>Ilex x 'Honey Maid'</i> Honey Maid Holly	😞	😞	😞	😞	😞	😞	Creamy white leaf margin, often fails
*	9x5	<i>Ilex x meserveae</i> 'Hackenfee' Castle Spire Holly	😊	😬	😬	😞	😞	✖	Good fruit production, needs male in area
*	9x5	<i>Ilex x meserveae</i> 'Hackenstar' Castle Wall Holly	😬	😬	😬	😞	😞	✖	Male pollinator for 'Castle Spire'
*	18x9	<i>Ilex x 'Nellie R. Stevens'</i> Nellie Stevens Holly	😞	😞	😞	😞	😞	✖	Needs shelter, but often killed to ground
***	35x18	<i>Ilex opaca</i> American Holly	😊	😬	😬	😞	😞	😊	Species is variable, but many old specimens
*	20x15	<i>Ilex penunculosa</i> Longstock Holly	😞	😞	😞	😬	😞	✖	Not heat or drought tolerant
*	10x5	<i>Ilex x 'Rutzan'</i> Red Beauty Holly	😊	😊	😬	😞	😞	✖	Tough holly with excellent fruit production
*	40x20	<i>Magnolia grandiflora</i> 'DD Blanchard' Magnolia	😊	😊	😬	😊	😬	✖	Large flowers, seems superior to 'Bracken's'
***	30x20	<i>Magnolia grandiflora</i> 'Bracken's Brown' Magnolia	😊	😬	😬	😬	😬	😊	No protection needed, heavy snow breakage
**	35x25	<i>Magnolia grandiflora</i> 'Edith Bogue' Magnolia	😬	😬	😬	😬	😬	😞	More hardy than 'Bracken's'
**	25x12	<i>M. virginiana</i> 'Jim Wilson' Moonglow Sweetbay Magnolia	😬	😬	😊	😊	😬	😬	Holds some foliage thru winter, fragrant
***	25x14	<i>Magnolia virginiana v. australis</i> Sweetbay Magnolia	😬	😬	😊	😊	😬	😬	Tolerates wet sites, needs winter moisture

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MISC. NEEDLED EVERGREENS TREES

KEY	*** = Well Tested/Observed in Kansas City region	😊 = Super tree for this condition	😞 = Very Poor tree for this condition
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	* = Not Well Tested/Observed in Kansas City region (Buyer Beware)	😓 = Poor tree for this condition	

Score	Size	Tree Name	Rating						Comments
Expert-tested for Kansas City region	Height x width (ft.)		As specimen	As buffer or massing	Culturally adaptable	Heavy soils	Drought tolerant	Lifespan	
*	30x14	<i>Calocedrus decurrens</i> Incense-Cedar	😬	😓	😓	😬	😬	✖	Does well in SW KS, but not tested in KC
**	30x16	<i>Cedrus atlantica</i> 'Glauc' Blue Atlas Cedar	😊	😞	😬	😓	😬	😓	Nice specimen if winters stay mild
*	30x15	<i>C. deodara</i> 'Karl Fuchs' Blue Himalayan Cedar	😬	😞	😓	😓	😬	✖	Blue fades to grey, cold tolerant
*	25x12	<i>Cedrus deodara</i> 'Electric Blue' Blue Him.Cedar	😬	😞	😞	😓	😬	✖	More dense, less cold tolerant than 'K.Fuchs'
*	30x25	<i>Cedrus libani</i> v. <i>stenocoma</i> Cedar of Lebanon	😬	😞	😓	😞	😬	✖	Not holding up in KC, no thriving old trees
*	18x9	<i>Chamaecyparis lawsoniana</i> Lawson Falsecypress	😬	😞	😓	😬	😓	✖	Interesting horizontal twig structure
**	24x10	<i>Chamaecyparis nootkatensis</i> Weeping Alaska Cedar	😊	😞	😓	😬	😞	😬	Interesting specimen, doing well in KC
**	12x8	<i>Cham. pisifera</i> 'Filifera' Japanese Falsecypress	😊	😓	😬	😬	😓	😬	Internal needles die but can be trimmed
**	15x9	<i>Cham. pisifera</i> 'Boulevard' Bld. Falsecypress	😬	😞	😬	😬	😓	😬	Can look a bit rough with age, but does well
*	35x20	<i>Cryptomeria japonica</i> Japanese Cedar	😓	😞	😞	😓	😬	✖	Very few surviving trees in KC
*	30x14	<i>Cupressus arizonica</i> Arizona Cypress	😓	😓	😓	😞	😊	✖	Seed source/cultivar is important
*	20x7	<i>Cupressus arizonica</i> 'Cook's Peak' Cook's Peak Cypress	😓	😓	😬	😞	😊	✖	Appears to be cold hardy, blue foliage
*	25x10	<i>Cupressus arizonica</i> 'Blue Ice' Blue Ice Cypress	😬	😓	😓	😞	😊	✖	Blue foliage, cold hardiness in question
**	25x10	<i>Sciadopitys verticillata</i> Japanese Umbrella Pine	😬	😞	😞	😓	😞	😞	Very slow, needs winter shade, needs love
*	30x15	<i>Sequoiadendron giganteum</i> Giant Redwood	😞	😞	😞	😞	😞	✖	Not suited for KC's climate
*	30x15	<i>Sequoiadendron giganteum</i> 'Hazel Smith' Giant Redwood	😬	😞	😞	😞	😞	✖	Blue color, hates KC humidity, but can survive
***	45x25	<i>Tsuga canadensis</i> Canadian Hemlock	😓	😓	😓	😞	😞	😓	Needs winter wind protection and good soil

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**CITY OF PARKVILLE
Policy Report**

Date: December 31, 2024

Prepared By:

Daniel Harper, Public Works Director

Reviewed By:

Alexa Barton, City Administrator

ISSUE:

Approve the first and second readings of Bill No. 3315, an ordinance to accept the street and storm sewer (stormwater) public improvements, associated maintenance bonds, and irrevocable letter of credit for Platte 38 (Public Works)

BACKGROUND:

Public improvements were recently constructed as part of the Platte 38 development. These improvements include public streets and storm sewer (stormwater), curb and gutter, sidewalks, and signs, which were approved for construction in July 2024 after a staff review of the proposed improvement plans.

The plans and construction were reviewed and inspected for conformance to the City's adopted ordinances and the current version of the American Public Works Association standards that have been adopted by the City. During both of these processes, City staff worked with the developer, design engineer, and contractor to ensure the quality of infrastructure met these standards.

The City performed a final walk-through of the project to identify any non-compliant construction and provided a punch list for the contractor and developer to complete. At this time, staff reviewed the punch list of final items and found them to be completed, and the contractor had successfully completed the necessary infrastructure for substantial completion. During this walk-through staff identified two separate issues that required additional modification from the original plan to fully complete the subdivision's infrastructure:

1. The project requires the installation of a culvert under Crooked Road that will exceed capacity once the subdivision is fully built. Due to weather this time of year the developer requested the City to allow construction of this culvert to be delayed, and in consideration of this request has provided an irrevocable letter of credit in the amount of \$155,785.00 which is 5% excess of the engineer's estimate for the construction cost of the culvert. This culvert is planned for construction in the summer of 2025, however if it is not constructed by the developer the City may draw upon the letter of credit to fund construction of the culvert per the already approved City design.
2. The project has had identified issues with the condition of the asphalt pavement throughout the subdivision. There was degradation in the surface of the asphalt material that exceeded the tolerance that the city would accept. Staff has requested a mill and overlay of effected areas of the asphalt to bring the associated Improvements to City standard; however, due to weather restrictions in the winter the Developer requested the option of posting an irrevocable letter of credit in the amount of \$135,009 which is escalated over a 1 year increase of 5% in lieu of completing the said work at the present time. Note: In consideration of this request the

Developer is to provide an irrevocable letter of credit to the city for asphalt overlay work in the amount of \$135,009. If the letter of credit is not provided to the city in satisfactory form prior to January 7, 2025 this Ordinance will be pulled from the agenda.

Platte 38 is a subdivision that consists of 35 residential lots. The public infrastructure contained in this subdivision are three street segments that contain approximately 2,404.19 linear feet of two-lane roadway with curb and gutter, four cul-de-sacs, three residential intersections, 3,108.29 linear feet of storm sewer pipe, 19 curb inlets, and future sidewalks to be constructed by individual lot home builders at a later date. Upon adoption of the ordinance, these facilities will become public and are owned and operated by the City and all the lots will become eligible for the issuance of building permits. The public improvement permit holder remains responsible for any defects related to the construction until the expiration of the maintenance bond, the mill and overlay of the entire subdivision, and the installation of the culvert on Crooked Road.

STRATEGIC GOAL(S):

This ordinance fulfills the *Infrastructure and Public Facilities* strategic goal of Enhancing Thoroughfare Connectivity, Safety, and Walkability.

BUDGET IMPACT:

This ordinance has no direct budget impact, but new infrastructure added to the system will require routine maintenance for the life of the infrastructure.

ALTERNATIVES:

1. Approve the first and second readings of an ordinance accepting public improvements for the Platte 38 subdivision.
2. Approve the first and second readings of an ordinance, subject to changes.
3. Approve the first reading of an ordinance and postpone the second reading to January 21, 2025.
4. Do not approve the ordinance.
5. Postpone the ordinance.

FINANCE COMMITTEE RECOMMENDATION:

This item was not taken to Finance Committee and is being brought directly to the Board of Aldermen.

STAFF RECOMMENDATION:

Staff recommends the acceptance of the public improvements, associated maintenance bond, and irrevocable letter of credit by this ordinance.

POLICY:

Per Parkville Municipal Code Section 404.040.H the Board of Aldermen must accept public street and sewer improvements prior to the issuance of building permits. Per this Section, the Board must also approve a maintenance bond, cash escrow, or irrevocable letter of credit guaranteeing against defects in the construction of such improvements for a minimum period of two years.

SUGGESTED MOTION:

I move to approve Bill No. 3315, an ordinance accepting public street and storm sewer, associated maintenance bond, and irrevocable letters of credit for the Platte 38 subdivision, on first reading.

I move to approve Bill No.3315, an ordinance accepting public street and storm sewer, associated maintenance bond, and irrevocable letters of credit for the Platte 38 subdivision, on second reading to become Ordinance No. ____.

ATTACHMENTS:

1. Ordinance
2. Irrevocable Letter of Credit - Culvert Work
3. Platte 38 Maintaince Bond
4. Street and Storm As-Builts

AN ORDINANCE ACCEPTING PUBLIC STREET AND STORM SEWER IMPROVEMENTS, ASSOCIATED MAINTENANCE BOND AND IRREVOCABLE LETTERS OF CREDIT FOR THE PLATTE 38 FINAL PLAT SUBDIVISION

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF PARKVILLE, MISSOURI AS FOLLOWS:

Section 1. The plans titled the *Platte 38 Improvements* were reviewed by Public Works staff and approved for construction in July 2024, with said improvements including certain public street and storm sewer improvements (the “Improvements”) for the Platte 38 Final Plat Subdivision (the “Subdivision”).

Section 2. The Improvements include a culvert under Crooked Road that will exceed capacity once the Subdivision is fully built. Due to weather concerns, the Developer of the Subdivision, Genesis Realty and Development, LLC, has not yet constructed the culvert and has requested the City to allow construction of this culvert to be delayed until the summer of 2025. In consideration of this request, the Developer has provided an irrevocable letter of credit as security for the construction of said culvert in the amount of \$155,785.00, with a copy of said letter of credit attached to this Ordinance as Exhibit A.

Section 3. The condition of the asphalt pavement throughout the Subdivision did not meet City standards and City staff requested a mill and overlay of effected areas of the asphalt to bring the associated Improvements to City standards. However, due to weather restrictions in the winter, the Developer requested the option of posting an irrevocable letter of credit in the amount of \$135,009.00 in lieu of completing the said work at the present time. In consideration of this request, the Developer has provided an irrevocable letter of credit as security for the performance of said mill and overlay work in the amount of \$135,009.00, with a copy of said letter of credit attached to this Ordinance as Exhibit B.

Section 4. With the exception of the work covered by the irrevocable letters of credit, attached hereto as Exhibits A and B, the construction of said public Improvements associated with the Platte 38 Final Plat is substantially complete.

Section 3. The design and construction of the improvements meet the City’s adopted standards as set forth in the Parkville Municipal Code and the currently adopted edition of the Kansas City Metro Chapter of the American Public Works Association.

Section 4. A maintenance bond was submitted by Developer to reflect 50 percent of the value of the public street and storm sewer improvements in the amount of \$375,500.00. A copy of said maintenance bond is attached to the Ordinance as Exhibit C.

Section 5. The acceptance date will initiate the beginning of the required contractor maintenance bond period as outlined in Parkville Municipal Code Chapter 404, Section 404.040(H)(5). Per this section, the applicant is responsible to correct defects or other issues apparent during that time.

Section 6. The public improvements located within the right-of way and easements of the Platte 38 Final Plat are hereby accepted.

Section 7. The approvals granted by this Ordinance are expressly conditioned upon the continued maintenance of the required security for completion, repair, and maintenance of the public improvements, including Exhibits A and B, by the Developer.

Section 8. This ordinance is effective upon its passage and approval.

PASSED and APPROVED this 7th day of January 2025.

Mayor Dean Katerndahl

ATTESTED:

City Clerk Melissa McChesney

IRREVOCABLE LETTER OF CREDIT

Borrower: Genesis Realty & Development, LLC
4420 Madison Avenue, Suite 104
Kansas City, MO 64111

Lender: KENDALL BANK
OVERLAND PARK
11225 COLLEGE BLVD, SUITE 150
OVERLAND PARK, KS 66210

Beneficiary: City of Parkville
Attn: Public Works
8880 Clark Avenue
Parkville, MO 64152

NO.: 1161013

EXPIRATION DATE. This letter of credit shall expire upon the close of business on 12-27-2025 and all drafts and accompanying statements or documents must be presented to Lender on or before that time (the "Expiration Date").

AMOUNT OF CREDIT. Lender hereby establishes at the request and for the account of Borrower, an Irrevocable Letter of Credit in favor of Beneficiary for a sum of One Hundred Fifty-five Thousand Seven Hundred Eighty-five & 00/100 Dollars (\$155,785.00) (the "Letter of Credit"). These funds shall be made available to Beneficiary upon Lender's receipt from Beneficiary of sight drafts drawn on Lender at Lender's address indicated above (or other such address that Lender may provide Beneficiary in writing) during regular business hours and accompanied by the signed written statements or documents indicated below.

WARNING TO BENEFICIARY: PLEASE EXAMINE THIS LETTER OF CREDIT AT ONCE. IF YOU FEEL UNABLE TO MEET ANY OF ITS REQUIREMENTS, EITHER SINGLY OR TOGETHER, YOU SHOULD CONTACT BORROWER IMMEDIATELY TO SEE IF THE LETTER OF CREDIT CAN BE AMENDED. OTHERWISE, YOU WILL RISK LOSING PAYMENT UNDER THIS LETTER OF CREDIT FOR FAILURE TO COMPLY STRICTLY WITH ITS TERMS AS WRITTEN.

DRAFT TERMS AND CONDITIONS. Lender shall honor drafts submitted by Beneficiary under the following terms and conditions:

Upon Lender's honor of such drafts, Lender shall be fully discharged of Lender's obligations under this Letter of Credit and shall not be obligated to make any further payments under this Letter of Credit once the full amount of credit available under this Letter of Credit has been drawn.

Beneficiary shall have no recourse against Lender for any amount paid under this Letter of Credit once Lender has honored any draft or other document which complies strictly with this Letter of Credit, and which on its face appears otherwise in order but which is signed, issued, or presented by a party or under the name of a party purporting to act for Beneficiary, purporting to claim through Beneficiary, or posing as Beneficiary without Beneficiary's authorization. By paying an amount demanded in accordance with this Letter of Credit, Lender makes no representation as to the correctness of the amount demanded and Lender shall not be liable to Beneficiary, or any other person, for any amount paid or disbursed for any reason whatsoever, including, without limitation, any nonapplication or misapplication by Beneficiary of the proceeds of such payment. By presenting upon Lender or a confirming bank, Beneficiary certifies that Beneficiary has not and will not present upon the other, unless and until Beneficiary meets with dishonor. Beneficiary promises to return to Lender any funds received by Beneficiary in excess of the Letter of Credit's maximum drawing amount.

USE RESTRICTIONS. All drafts must be marked "DRAWN UNDER KENDALL BANK IRREVOCABLE LETTER OF CREDIT NO. 1161013 DATED 12-27-2024," and the amount of each draft shall be marked on the draft. Only Beneficiary or Beneficiary's transferee may complete a draft and accompanying statements or documents required by this Letter of Credit and make a draw under this Letter of Credit. This original Letter of Credit must accompany any draft drawn hereunder.

Partial draws are permitted under this Letter of Credit. Lender's honor of a partial draw shall correspondingly reduce the amount of credit available under this Letter of Credit. Following a partial draw, Lender shall return this original Letter of Credit to Beneficiary with the partial draw noted hereon; in the alternative, and in its sole discretion, Lender may issue a substitute Letter of Credit to Beneficiary in the amount shown above, less any partial draw(s).

PERMITTED TRANSFEREES. This Letter of Credit may be transferred by Beneficiary upon prior written notice to Lender of the transfer. The transferee shall be deemed the new Beneficiary of this Letter of Credit and the documents of the transferee, including drafts required under this Letter of Credit, will be processed by Lender (or any intermediary) without the original Beneficiary's intervention and without any further obligation of Lender to the original Beneficiary.

TRANSFEREES REQUIRED DOCUMENTS. When the presenter is a permitted transferee under the "Permitted Transferees" paragraph above (the "Permitted Transferee"), the documents required for a draw shall include all documents required elsewhere in this Letter of Credit, except that such documents may be in the name of and executed by either the original Beneficiary or the presenter permitted by the "Permitted Transferees" paragraph above.

COMPLIANCE BURDEN. Lender is not responsible for any impossibility or other difficulty in achieving strict compliance with the requirements of this Letter of Credit precisely as written. Beneficiary understands and acknowledges: (i) that unless and until the present wording of this Letter of Credit is amended with Lender's prior written consent, the burden of complying strictly with such wording remains solely upon Beneficiary, and (ii) that Lender is relying upon the lack of such amendment as constituting Beneficiary's initial and continued approval of such wording.

NON-SEVERABILITY. If any aspect of this Letter of Credit is ever declared unenforceable for any reason by any court or governmental body having jurisdiction, Lender's entire engagement under this Letter of Credit shall be deemed null and void ab initio, and both Lender and Beneficiary shall be restored to the position each would have occupied with all rights available as though this Letter of Credit had never occurred. This non-severability provision shall override all other provisions in this Letter of Credit, no matter where such provision appears within this Letter of Credit.

GOVERNING LAW. This Agreement will be governed by federal law applicable to Lender and, to the extent not preempted by federal law, the laws of the State of Kansas without regard to its conflicts of law provisions, and except to the extent such laws are inconsistent with the 2007 Revision of the Uniform Customs and Practice for Documentary Credits of the International Chamber of Commerce, ICC Publication No. 600. This Agreement has been accepted by Lender in the State of Kansas.

EXPIRATION. Lender hereby agrees with Beneficiary that drafts drawn under and in compliance with the terms of this Letter of Credit will be duly honored if presented to Lender on or before the Expiration Date unless otherwise provided for above.

Loan No: 1161013

IRREVOCABLE LETTER OF CREDIT
(Continued)

Page 2

Dated: December 27, 2024

LENDER:

KENDALL BANK

By: 
KYLE KNOTH, DIRECTOR OF COMMERCIAL
LENDING

ENDORSEMENT OF DRAFTS DRAWN:

Date	Negotiated By	Amount In Words	Amount In Figures
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LetterPro, Ver. 24.2.10.058 Copy: Fineline USA Corporation 1887, 2024. All Rights Reserved. -KS C:\app\pro\CRL\PL\0435\OC.FD TR-788 PR-1

Maintenance Bond

City of Parkville

Bond No: 800145525

KNOW ALL MEN BY ALL THESE PRESENTS:

THAT WE, Holthouse Construction LLC PO Box 1197 Liberty, MO 64069 (hereinafter called the Principal), as Principal, and Atlantic Specialty Insurance Company 605 Highway 169 North, Suite 800 Plymouth, MN 55441 A Corporation duly organized under the laws of the State of New York and duly licensed to transact business in the State of Missouri (hereinafter called Surety), as Surety, are held and firmly bound into the City of Parkville, Missouri (hereinafter called Obligee, in the sum of \$348,327.50 / Three Hundred Forty Eight Thousand Three Hundred Twenty Seven and 50/100 DOLLARS, for the payment of which sum well and truly to be made, we, the said Principal and the Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

Sealed with our seals and dated this 4th day of November, 2024.

WHEREAS, the said Principal has heretofore constructed the following public improvements:
Platte 38; Storm Sewer

and,

WHEREAS, the said Principal is required to and does guarantee said Platte 38; Storm Sewer constructed by said Principal, against any defects of workmanship or materials, which may develop during the period of (3) three from acceptance by the City of Parkville, Missouri.

Acceptance of said public improvements was granted by ordinance number _____ adopted on _____.

The condition of this obligation is such that if said Principal shall faithfully carry out and perform said guarantee and shall, on due notice, repair and make good at its own expense any and all defects in materials or workmanship in said work which may develop for a period of (3) three years from the acceptance date issued by the Obligee, or shall pay over, make good and reimburse to said Obligee all loss and damage which said Obligee may sustain by reasons of failure or default of said principal so to do, then this obligation shall be null and void upon expiration of the aforesaid maintenance bond, otherwise shall remain in full force and effect.

Should any defective work have been done or materials supplied by any subcontractor, Principal and surety shall be liable to make good in the same manner as such work or material has been or supplied by the Principal.

PRINCIPAL:

Holthouse Construction LLC

ATTEST:

Title:

SURETY:

Atlantic Specialty Insurance Company

ATTEST:

Susan Blackaby

Susan K. DeWitt

Attorney-in-Fact





100-200000-100000



Power of Attorney

KNOW ALL MEN BY THESE PRESENTS, that ATLANTIC SPECIALTY INSURANCE COMPANY, a New York corporation with its principal office in Plymouth, Minnesota, does hereby constitute and appoint: **Jaycee Simpson, Luanne K. Degler, Tandra Stacer, William R. Wilkerson IV**, each individually if there be more than one named, its true and lawful Attorney-in-Fact, to make, execute, seal and deliver, for and on its behalf as surety, any and all bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof; provided that no bond or undertaking executed under this authority shall exceed in amount the sum of: **unlimited** and the execution of such bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof in pursuance of these presents, shall be as binding upon said Company as if they had been fully signed by an authorized officer of the Company and sealed with the Company seal. This Power of Attorney is made and executed by authority of the following resolutions adopted by the Board of Directors of ATLANTIC SPECIALTY INSURANCE COMPANY on the twenty-fifth day of September, 2012:

Resolved: That the President, any Senior Vice President or Vice-President (each an "Authorized Officer") may execute for and in behalf of the Company any and all bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof, and affix the seal of the Company thereto; and that the Authorized Officer may appoint and authorize an Attorney-in-Fact to execute on behalf of the Company any and all such instruments and to affix the Company seal thereto; and that the Authorized Officer may at any time remove any such Attorney-in-Fact and revoke all power and authority given to any such Attorney-in-Fact.

Resolved: That the Attorney-in-Fact may be given full power and authority to execute for and in the name and on behalf of the Company any and all bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof, and any such instrument executed by any such Attorney-in-Fact shall be as binding upon the Company as if signed and sealed by an Authorized Officer and, further, the Attorney-in-Fact is hereby authorized to verify any affidavit required to be attached to bonds, recognizances, contracts of indemnity, and all other writings obligatory in the nature thereof.

This power of attorney is signed and sealed by facsimile under the authority of the following Resolution adopted by the Board of Directors of ATLANTIC SPECIALTY INSURANCE COMPANY on the twenty-fifth day of September, 2012:

Resolved: That the signature of an Authorized Officer, the signature of the Secretary or the Assistant Secretary, and the Company seal may be affixed by facsimile to any power of attorney or to any certificate relating thereto appointing an Attorney-in-Fact for purposes only of executing and sealing any bond, undertaking, recognizance or other written obligation in the nature thereof, and any such signature and seal where so used, being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as though manually affixed.

IN WITNESS WHEREOF, ATLANTIC SPECIALTY INSURANCE COMPANY has caused these presents to be signed by an Authorized Officer and the seal of the Company to be affixed this first day of January, 2023.

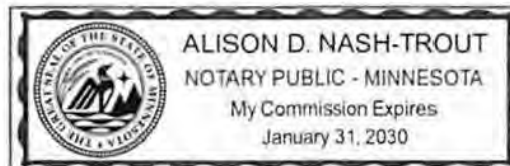
STATE OF MINNESOTA
HENNEPIN COUNTY



By

Sarah A. Kolar, Vice President and General Counsel

On this first day of January, 2023, before me personally came Sarah A. Kolar, Vice President and General Counsel of ATLANTIC SPECIALTY INSURANCE COMPANY, to me personally known to be the individual and officer described in and who executed the preceding instrument, and she acknowledged the execution of the same, and being by me duly sworn, that she is the said officer of the Company aforesaid, and that the seal affixed to the preceding instrument is the seal of said Company and that the said seal and the signature as such officer was duly affixed and subscribed to the said instrument by the authority and at the direction of the Company.



Notary Public

I, the undersigned, Secretary of ATLANTIC SPECIALTY INSURANCE COMPANY, a New York Corporation, do hereby certify that the foregoing power of attorney is in full force and has not been revoked, and the resolutions set forth above are now in force.

Signed and sealed. Dated 4th day of November 2024

This Power of Attorney expires
January 31, 2030



Kara L.B. Barrow, Secretary



Street And Storm Plans

Legal Description:
All that part of the Northeast Quarter of Section 27, Township 51 North, Range 34 West of the Fifth Principal Meridian in Platte County, Missouri, being more particularly described by Jed A. Baughman, its 6303-0420-00 of Renaissance Infrastructure Consulting, Inc., as follows:
Beginning at the Northeast Corner of said Southwest Quarter;
thence South 00°17'30" West, along the West line of said Northeast Quarter, a distance of 1321.18 feet to the Northwest corner of the Southwest Quarter of said Northeast Quarter;
thence leaving said West line and along the North line of said Southwest Quarter, North 89°59'23" East, a distance of 132.49 feet to the Northeast Corner of said Southwest Quarter;
thence leaving said North line and along the East line of said Southwest Quarter, South 00°11'06" West, a distance of 504.02 feet;
thence leaving said East line, North 89°51'37" West, a distance of 139.82 feet;
thence South 00°07'36" West, a distance of 125.94 feet;
thence South 45°07'23" West, a distance of 202.02 feet;
thence South 00°43'36" East, a distance of 250.41 feet;
thence South 82°26'56" West, a distance of 118.01 feet;
thence North 63°08'07" West, a distance of 182.65 feet;
thence North 86°54'47" West, a distance of 123.61 feet;
thence North 61°42'44" West, a distance of 134.97 feet;
thence South 67°24'46" West, a distance of 227.70 feet;
thence North 89°43'59" West, a distance of 223.11 feet to a point on the East right-of-way line of
E 63rd Road, as now established;
thence along said East right-of-way line, North 00°13'30" East, a distance of 339.34 feet;
thence continuing along said East right-of-way line, North 75°40'30" West, a distance of 20.62 feet to a point on the West line of said Northeast Quarter;
thence leaving said East right-of-way line and along said West line, North 00°13'30" East, a distance of 639.81 feet to the Point of Beginning, containing 1,138.576 square feet, or 26.138 acres, more or less;

U/E	Utility Easement		
SS/E	Sanitary Sewer Easement	A/E	Access Easement
D/E	Drainage Easement	T/E	Temporary Easement

LOCATION MAP
SECTION 27-T51N-R34W
Scale 1" = 2000'

DEVELOPER:
Genesis Companies
Todd Kobayashi
4420 Madison Ave, Ste 104
Kansas City, MO 64111
todd.k@builtbygenesis.com

(816) 741-7676
(816) 891-3457
(816) 858-2052
(800) 562-0000
(800) 544-4852
(816) 807-7502
(816) 243-5642
(816) 903-9400
(816) 431-5818
(800) DIG-RITE
(800) 464-7928
(913) 891-3457
(816) 622-6500
(816) 359-5000



Summary Table:

Description:
Planned residential development with internal circulation, public streets, private drives, duplex lots and 2 apartment complex buildings with access off of N crooked Rd and S National Dr.

Zoning:
Current zoning: Platte County RMD-Residential Multiple Dwelling and R-7 Single-Family High Density

Lot Purpose/Use
Lots 1-21: Duplex residential buildings.
Lot 22: 2 Apartment complex buildings. (100 units/bldg)
Provided Parking: 300 stalls.

"NOT AS-BUILT"

Sheet
C02

Asphalt Pavement Construction Notes

1. All work shall conform to the KC Metro APWA Standards, Section 2200.
2. Submit proposed mix designs to the Director of Public Works, for approval prior to commencement of paving.
3. Prior to placement of any pavement, all subgrade shall pass a proof-roll test witnessed by the City. All repaired areas shall pass a witness proof-roll test.
4. City will provide inspection and materials testing. Contractor shall notify City Inspector 24-hours prior to commencement of paving. Contractor shall cooperate with the testing personnel and provide mix for laboratory tests.
5. Asphalt mix load ticket copy shall be given to City Inspector. Load tickets shall clearly show batch line.
6. Asphalt laydown temperatures shall meet the requirements of APWA 2205.8.B.
7. If during paving areas of subgrade show signs of movement or pumping under the weight of asphalt trucks, these areas shall be excavated and filled and prior to placing the proscribed lifts of base course, and before paving shall no longer show excessive movement in the judgment of the City Inspector. Fill materials may be compacted asphalt mix, compacted soil, well-graded crusher-run aggregate, or other material approved by the Director of Public Works.

City Erosion Control Requirements:

1. These erosion control drawings will be made part of the Stormwater Pollution Prevention Plan (SWPPP). Contractor shall keep the SWPPP available at the project site at all times.
2. No disturbance and grading will take place until the Land Disturbance Permit has been issued by MDNR and the erosion and sediment control BMP's are in place.
3. All erosion control measures shall conform to City Standards, including the APWA Standard Drawings and the Protecting Water Quality Guide (PWQ Guide).
4. The person designated in the SWPPP shall inspect the erosion control BMP's after each rainstorm, address deficiencies, and enter inspections and activities in the maintenance log contained in the SWPPP.
5. Temporary Seeding: All non-paved areas that will not be under active earthwork for 3 weeks shall be stabilized with temporary seeding to establish a stand of grass, as set forth in the PWQ Guide. These areas shall be stabilized again the next season with temporary seeding, until the final grading is complete and the area is permanently stabilized.
6. Permanent Seeding: When the next spring or fall planting period arrives, all non-paved areas in which earthwork is completed will be stabilized by mulching and seeding to establish a permanent stand of grass.
7. These Erosion Control Plans and the SWPPP will be modified as the project progresses. At the direction of the City Inspector or Director of Public Works, specific additional BMP's shall be added by Contractor to address needs that arise.
8. At the request of the Director of Public Works, the SWPPP and the erosion control plans shall be revised during construction, to reflect changes required.

Proof-Roll Tests:

1. All new roads shall be tested by proof-rolling. All lanes (per each 12 feet of width) shall be roll-tested by one pass, over their entire length.
2. All curb subgrade within a plat or phase of development shall pass a witnessed proof-roll test before any curbing is placed.
3. All roadway subgrade within a plat or phase of development shall pass a witnessed proof-roll test before any pavement is placed.
4. All utility cuts below the road shall be backfilled with flowable fill, and the road base reworked prior to proof rolling. The flowable fill may be stopped six to 12 inches below pavement.
5. Road subgrade shall be prepared and cut within 0.1 feet of finished grade elevation prior to proof-rolling.
6. Survey stakes with station numbers shall be provided at 100-foot intervals, for reference during proof-roll tests.
7. Before contacting the City, Contractor shall perform his own proof-roll test to identify and remedy areas of soft subgrade.
8. Contractor shall notify the City and Inspector 24 hours prior to commencement of witnessed proof-roll test.
9. Contractor shall proof-roll the completed road subgrades, in the presence of the City representative, using a loaded tandem axle dump truck, or other equipment acceptable to the City representative. Additional tests shall be rolled along the proposed curb lines. Minimum weight of the loaded truck shall be 50,000 pounds, as evidenced by a weigh slip. Approximate test speed shall be 3 to 5 miles per hour, or a reasonable walking pace. Unstable areas will be identified by deflections, ruts or excess elasticity, in the judgment of the City representative.
10. Unstable materials located by proof-rolling shall be promptly removed and replaced with suitable materials, and these areas shall be re-tested by density tests and proof-rolling, with final tests witnessed by the City representative. If Contractor does not have a source for suitable soil for which ASTM D-698 Proctor test results are available, then compacted aggregate or another material acceptable to the Director of Public Works may be used.
11. City representative will witness one proof-roll session per day. If areas need to be re-tested, Contractor shall schedule witnessed proof-rolling for the following day.

Earthwork & Subgrade Notes

Earthfills and Road Subgrades

1. Earthfills and embankments shall be constructed per APWA Standards Section 2100, in addition to the following requirements:
 - Existing surfaces with the road ROW shall be stripped, scarified, and benched prior to placing fill.
 - Maximum lift thickness before compaction shall be 9 inches.
 - All fills shall be free of stumps, roots, sticks, branches, and other organic material.
 - Asphaltic concrete pieces shall not be used for fill material.
 - All rock and rubble larger than 6 inches in the greatest dimension shall be removed from the roadway embankment fill material.
 - All fills outside the ROW shall be compacted to 90% of maximum density per ASTM D-698 at minus 3 to plus 2 percent moisture.
 - All fills inside the ROW shall be compacted to 95% of maximum density per ASTM D-698 at minus 3 to plus 2 percent moisture.
 - Contractor shall have a water truck available to increase soil moisture.
 - All soft, moist, and unsuitable soils shall be removed from the fill area.

Testing of Fill and Road Subgrades:

1. Testing Procedures: An independent testing laboratory shall perform all tests. All tests shall be scheduled by the developer's contractor and paid for by the developer or the contractor. All test results shall be submitted to the City Inspector and Director of Public Works directly from the testing laboratory, as soon as they are available, but not later than 1 week after each test.
2. Proctor Tests: For each location of borrow on the site and off the site, and for each different type of soil, earthwork Contractor shall have testing firm take samples and run Proctor tests (ASTM D698) to determine the moisture-density relations.
3. If Contractor encounters persistently wet areas or springs that will affect the roadway subgrade, he shall bring these to the attention of the City Inspector. If required by the City, Contractor shall install curtain drain, extending from the moist area to the next downhill curb inlet or ditch. Curtain drain design shall be acceptable to the Director of Public Works. Where present, a storm sewer trench may be used as a roadway curtain drain, as approved by the Director of Public Works. If large wet areas or heavy groundwater flows are encountered, the Director of Public Works may require the design engineer to prepare a drainage design to protect the roadway subgrade.
4. Testing of Earth Fills: Two nuclear density tests shall be performed for each 250 feet of roadway constructed in fill, as the fill is placed. Additional tests shall be performed in sections with deep fill, with one additional test for each 4 feet of fill depth, per each 250 feet of roadway. Samples shall be taken for lab analysis (Proctor tests) as required at the beginning of the project. City Inspector and Department of Public Works shall be notified at the same time the testing firm is notified.
5. Street Subgrade Notification and Testing: Once the road subgrades have been prepared and prior to placement of curbs, the Inspector and Public Works Director shall be given 24-hour's notice to perform and inspection. Note: The prepared and compacted subgrade shall extend a minimum of one foot behind the back-of-curb line. Once nuclear density test shall be performed for each 250 feet of prepared road subgrade, plus one test at each intersection. These subgrade tests are in addition to the tests performed on earth fills. Tests will be staggered to verify subgrade for curbs as well. Test results shall be submitted to the Inspector and Director of Public Works.
6. Backfill Behind Curbs: One nuclear density test shall be performed behind the curb, for each 250 feet of roadway. Curb backfill shall be compacted to 95% of maximum density per ASTM D-698 at minus 3 to plus 2 percent moisture.

City General Requirements:

1. Contractor and all subcontractors shall keep onsite a set of approved plans. Approved plans shall bear the approval signature of the City. Contractor shall also keep onsite a set of KC Metro APWA Standard Specifications and Standard Drawings.
2. All work proposed on these plans shall conform to the current edition of the KC Metro APWA Standards for Public Works Construction, and the current standards and policies of the City of Parkville Department of Public Works, and the Parkville Municipal Code. In case of conflict the most restrictive requirement shall apply, unless directed otherwise by the Director of Public Works.
3. Development plans, public improvement plans, and drainage reports are initially approved for one (1) year after which they automatically become void and must be updated and re-submitted to the Director of Public Works for approval, before commencement of any construction. This one-year limitation may be exempted by the Director of Public Works for projects exceeding 100 acres in total area, for a longer period not to exceed two years.
4. The City of Parkville plan review is only for general conformance with APWA Standards, Parkville Department of Public Works standards and policies, and the Parkville Municipal Code. Neither the City nor the plan reviewer is responsible for the adequacy of the design or the accuracy of the construction documents, or dimensions or elevations.
5. All design changes contemplated to the approved drawings shall be brought to the attention of the Inspector or Director of Public Works. Approved changes shall be included in revised plans prepared by the engineer of record and approved by the City in writing before the commencement of changed work.
6. Developer and Contractor shall designate and onsite superintendent who shall be onsite during the work and who will have the authority to address deficiencies communicated by the City Representative.
7. Developer or Contractor shall employ or hire a license professional surveyor to stake all work, including roadways, drainage features, storm sewers, and sanitary sewers. Stakes shall be provided for each roadway maximum 100-foot intervals, showing station numbers and required cut and fill. Roadway stakes with station numbers shall be provided along each side of the roadway, in addition to centerline stakes. Offset curb stakes will be acceptable if they show the stationing information.
8. Prior to the acceptance of public infrastructure by the City, Contractor and Developer shall furnish an executed Maintenance Bond.
9. The Contractor shall schedule the work and shall plan for testing and inspection activities required by the City. The Contractor shall be aware of weather and temperature limitations set forth in the City Standards.
10. All soil testing, including Proctors and earthwork and compaction testing shall be paid for by the Contractor. All test reports, both failing and passing, shall be reported to the City as soon as they are available.
11. The City will cover the cost of City inspections and materials testing for concrete. Contractor shall notify City in advance of all activities requiring inspection or materials testing.
12. The Stormwater Pollution Prevention Plan (SWPPP) shall be prepared by the design engineer and approved by the City. The Contractor shall review the SWPPP, become familiar with its requirements, and shall keep an up-to-date copy at the site.
13. Weekend and Holiday work will be allowed only with the prior authorization of the Inspector or Director of Public Works.
14. All work not conforming to City standards, including adopted standards and policies of the Department of Public Works, will be subject to rejection by the City, and shall be replaced at Contractor's cost.
15. Storm sewer inlet dimensions are inside face to inside face of the storm sewer structure.
16. Manhole top elevations designated as "Field Verify" are located outside of the street right-of-way or in areas of undetermined grading. Contractors ordering precast manholes shall be responsible for adjustments required in the field at no additional cost to the owner. The Contractor shall field verify the top elevations prior to ordering precast manholes.

Erosion and sedimentation control under separate plan set.

Street And Storm Plans
21-0107
Plate 38
City Of Parkville, Platte County, Missouri

General Notes

Original As-Built Drawing
REVISED

DATE
BY
CHKD
APP'D

Renaissance
Infrastructure
Consulting
816.460.0960
5005 NW Cass, Suite 100
Portland, Oregon 97209
www.ri-consult.com



Nov 18, 2024 10:26am
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Sheet
C03

Street And Storm Plans
21-0107
Platte 38
City Of Parkville, Platte County, Missouri

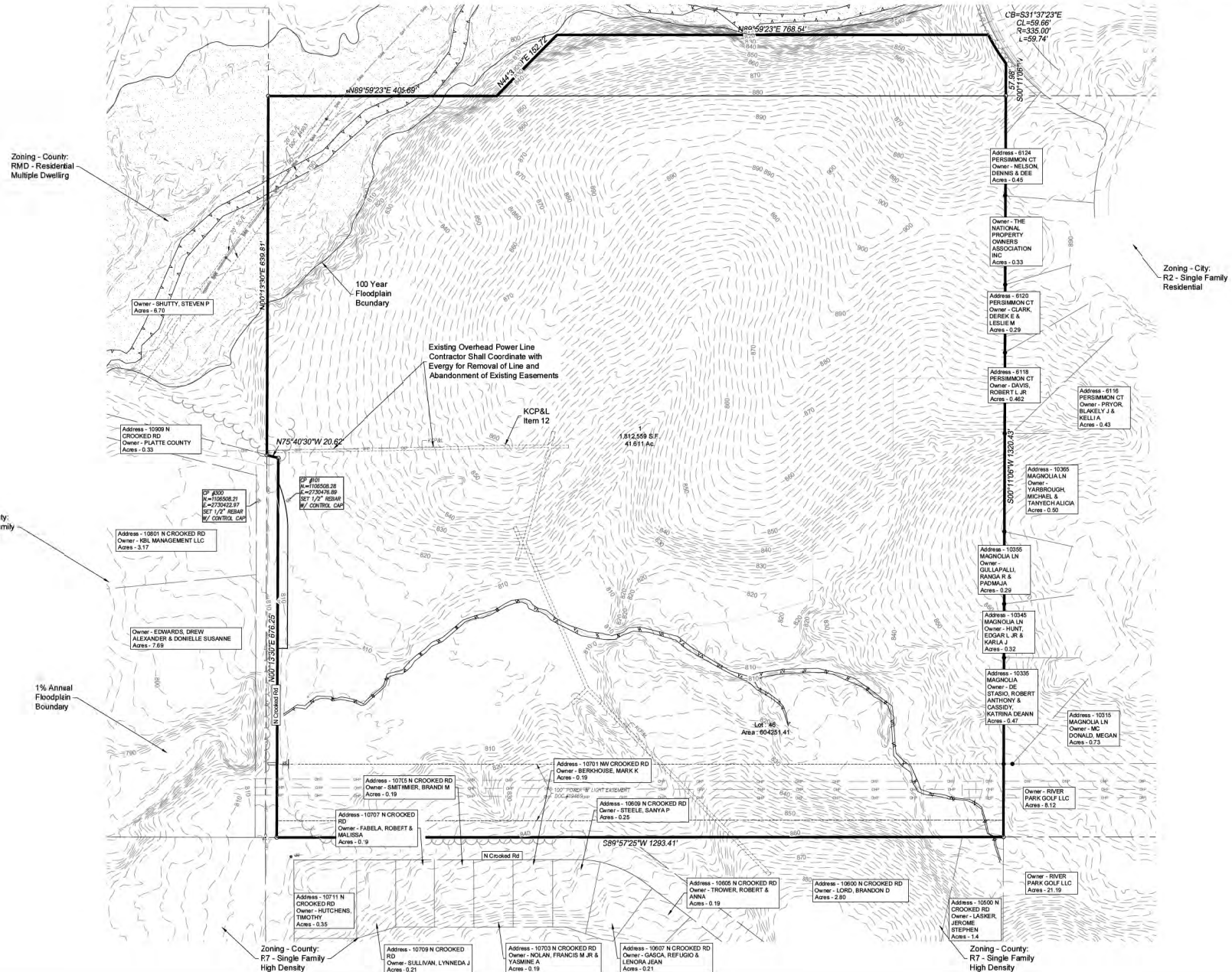
Existing Conditions

NO.	BY	QD	DATE	REVISION
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**Renaissance
Infrastructure
Consulting**

815 McGEE STREET, SUITE 200
816.800.0950



Sheet
C04

Street And Storm Plans
21-0107
Platte 38
City Of Parkville, Platte County, Missouri

General Layout

**Renaissance
Infrastructure
Consulting**



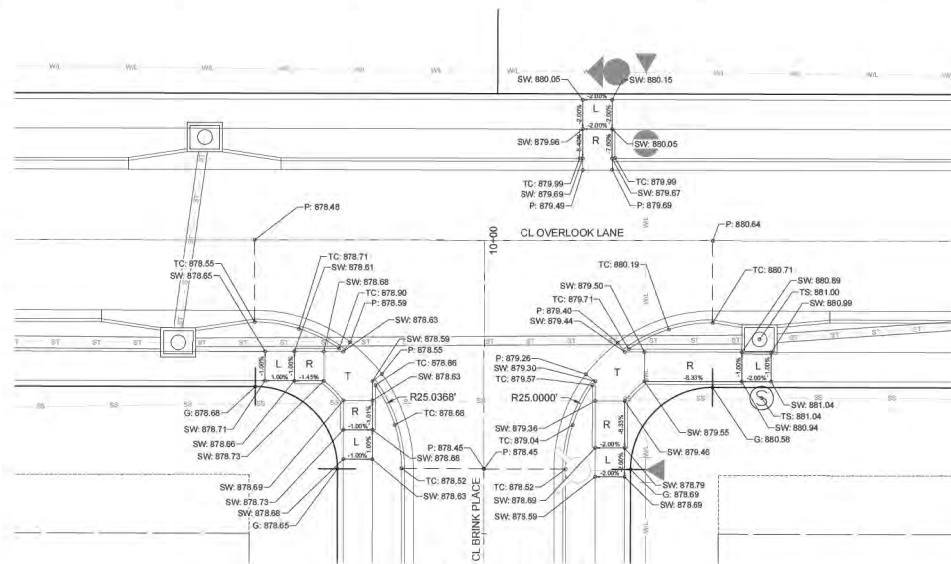
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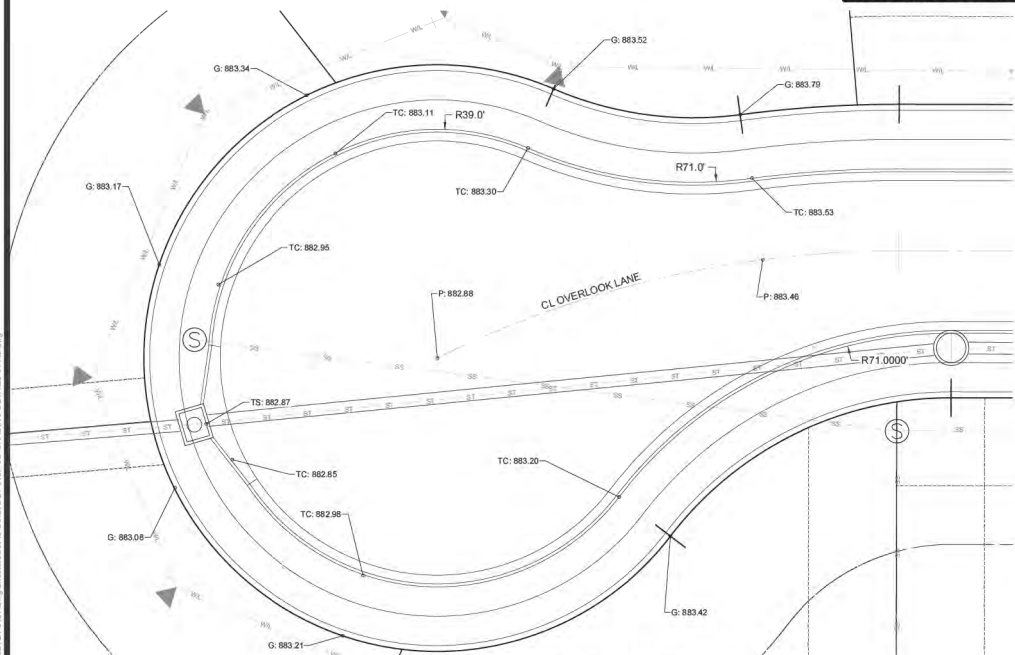
Street And Storm Plans
21-0107
Plate 38
City of Parkville, Platte County, Missouri

Grading Details

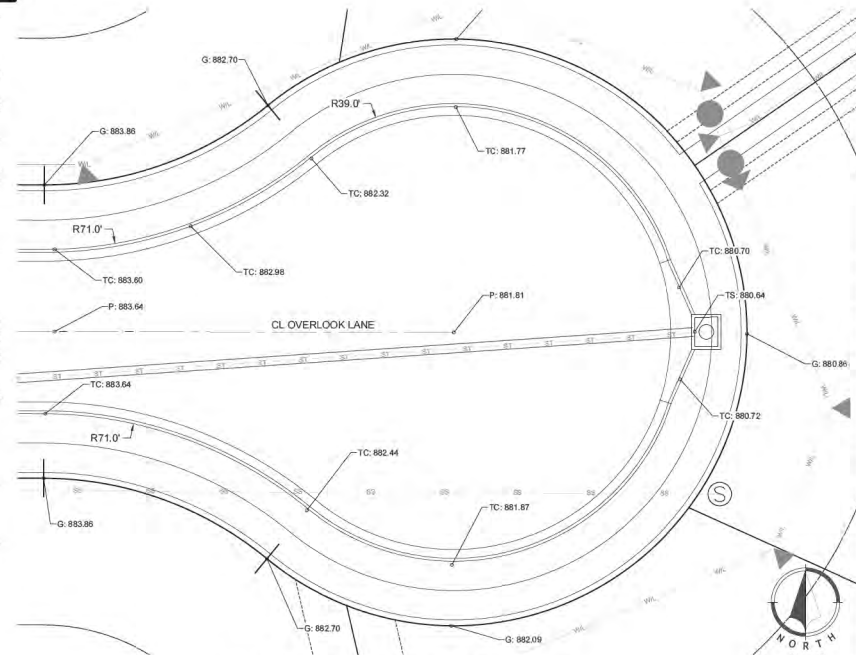
- LEGEND
TC: Top of Curb
P: Pavement
TS: Top of Structure
SW: Sidewalk
FG: Finished Grade
T: Transition
R: Ramp
L: Landing



**INTERSECTION OVERLOOK LANE
AND BRINK PLACE**



EAST CUL DE SAC OVERLOOK LANE



WEST CUL DE SAC OVERLOOK LANE



REVISIONS

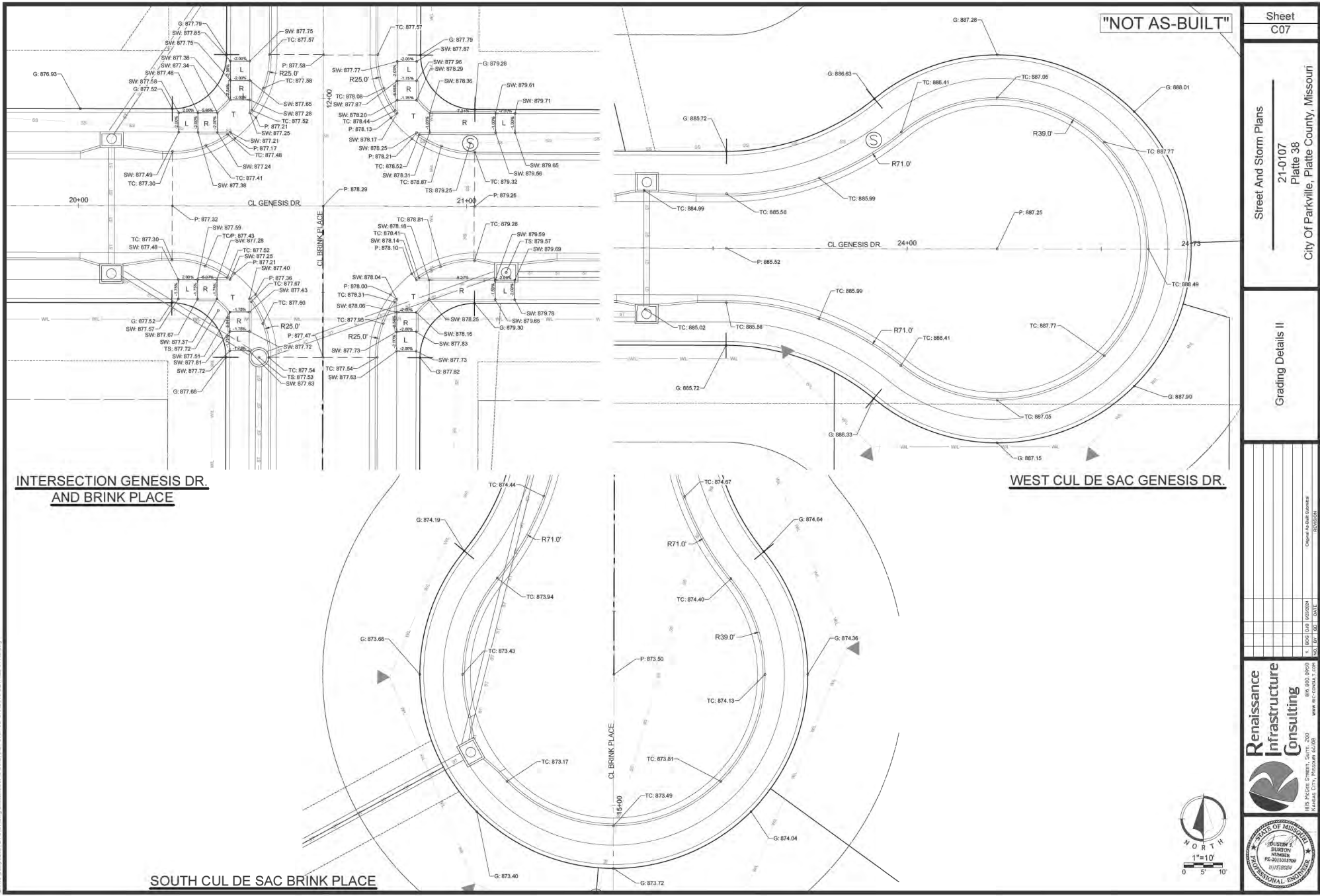
NO.	BY	DATE	DESCRIPTION
1	BR	10/20/24	ISSUED FOR CONSTRUCTION

Original As-Built Submittal
REVISIONS

Renaissance Infrastructure Consulting
1815 Pacific Street, Suite 200
Kansas City, Missouri 64108
www.rieconsult.com
816.800.0900
E-201003930

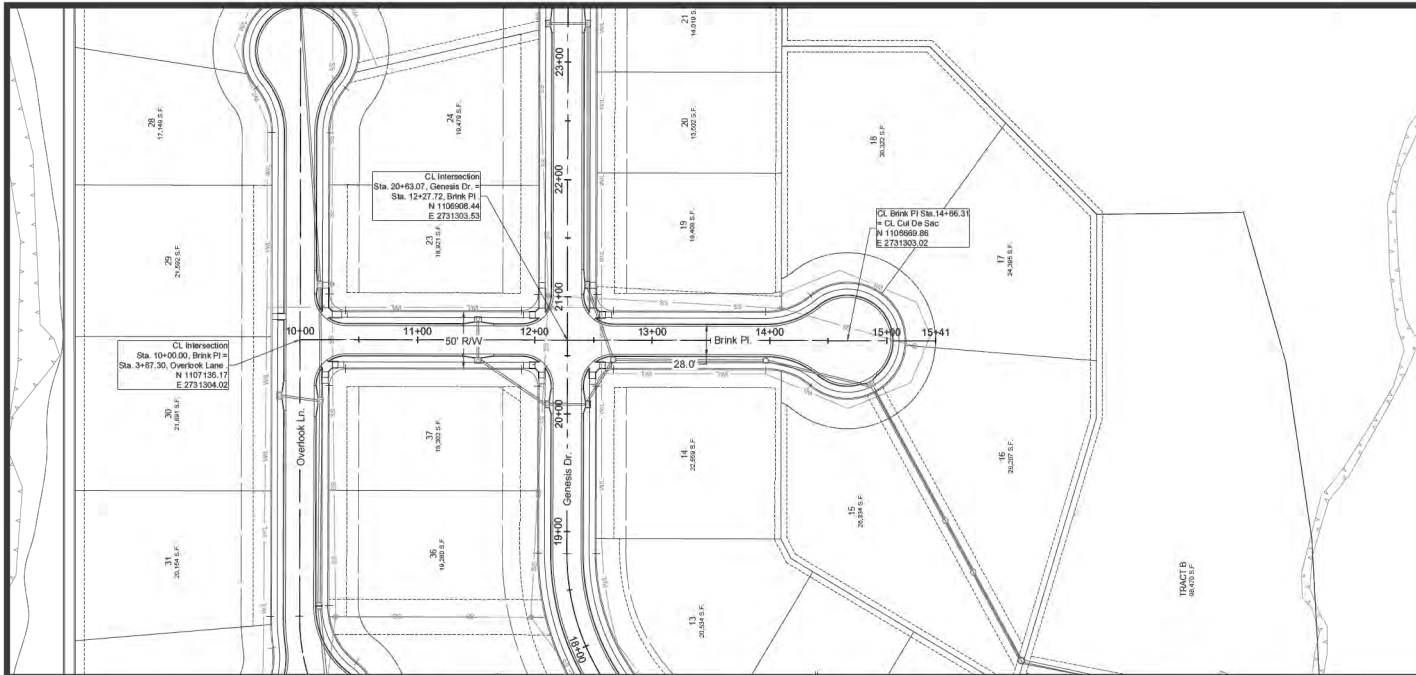
STATE OF MISSOURI
JOSHUA E. BISHOP
REGISTERED PROFESSIONAL ENGINEER
No. 117176
EXPIRATION DATE 12/31/2026

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Street And Storm Plans 21-0107 Platte 38 City Of Parkville, Platte County, Missouri		
Grading Details II		
REVISIONS		
NO	BY	DATE
1	BOG	08/08/2017
Original As-Built Submittal		
www.renaissanceinfrastructure.com		
1815 Pacific Street, Suite 200 Kansas City, Missouri 64108		
E-201003930		
Renaissance Infrastructure Consulting		

Nov 18, 2024 10:57 am
2024 Design/CD/PLT/14107/Design/CD/AS-BUILT/21-017.ctb sheet pp 51-63.dwg



"NOT AS-BUILT"

NOTE:
Contractor shall coordinate with Every and install conduits for future street light wiring prior to street construction. Street lights will be installed by Every

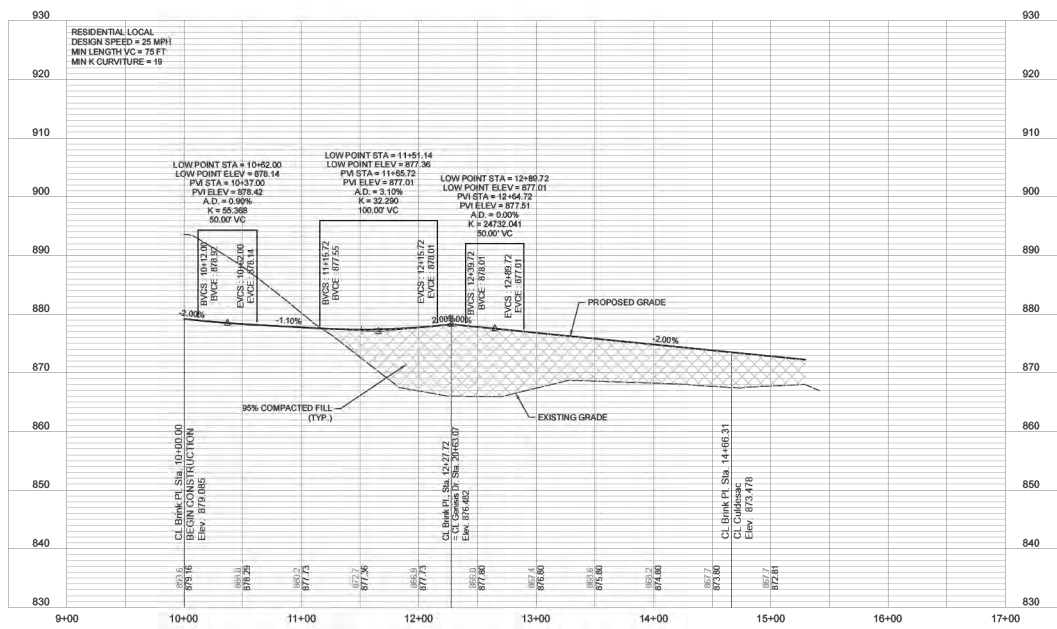
NOTE:
Earth Fill Material shall be placed and compacted to a minimum density of 95% of the material's maximum dry density as determined by ASTM D698 (Standard Proctor Compaction).



Sheet
C09

Street And Storm Plans
21-017
Plate 38
City of Parkville, Platte County, Missouri

Brnk Pt. Plan And
Profile

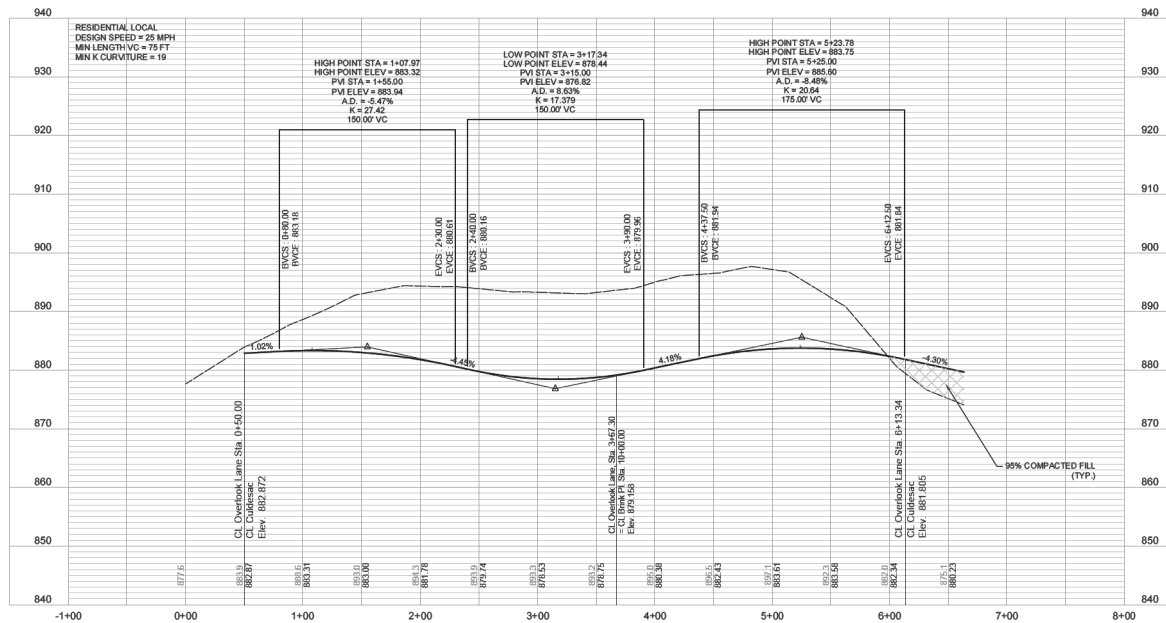
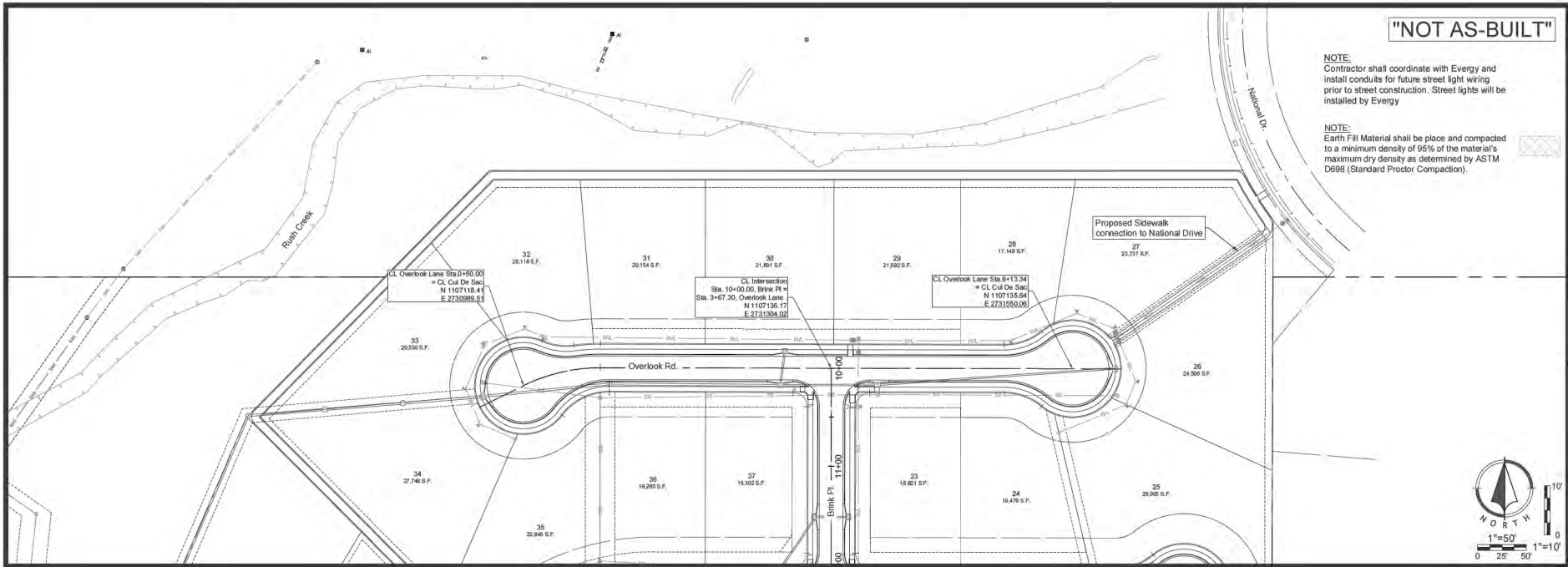


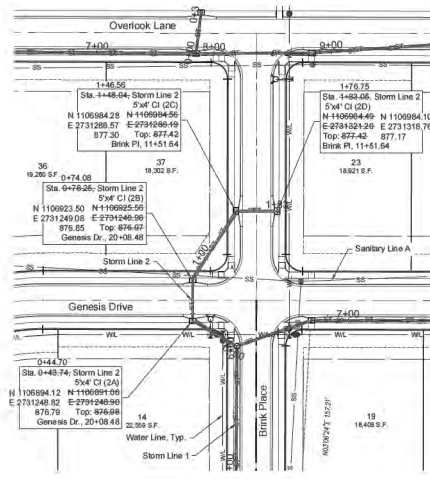
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2	REC	10/23/2024
3	REC	10/23/2024
4	REC	10/23/2024
5	REC	10/23/2024
6	REC	10/23/2024
7	REC	10/23/2024
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10	REC	10/23/2024

Original As-Built Submittal
REVISIONS

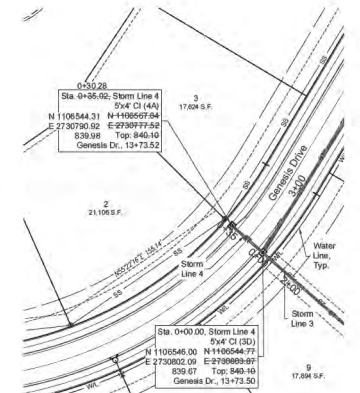
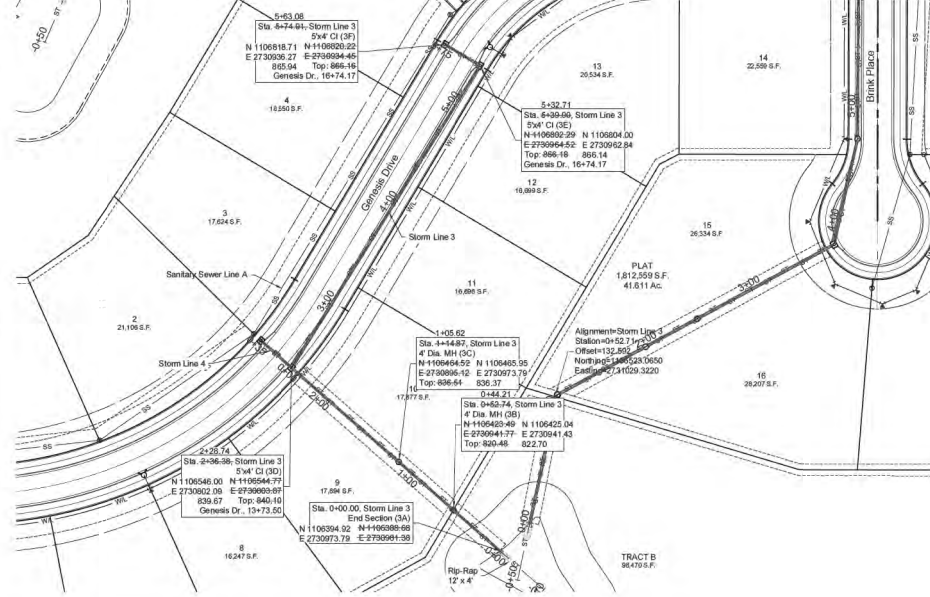


Renaissance
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1115 W. 12th Street, Suite 200
Kansas City, Missouri 64108
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E-201032930

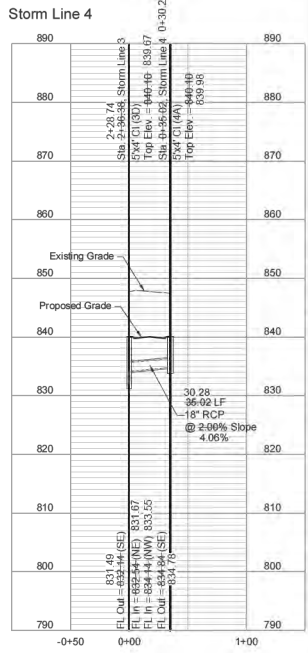
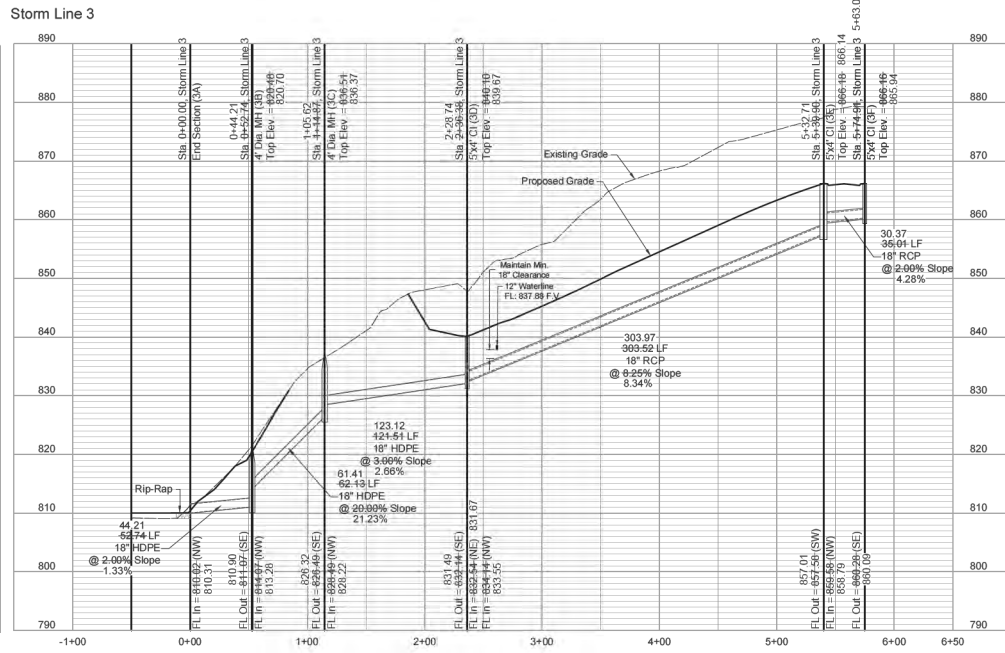
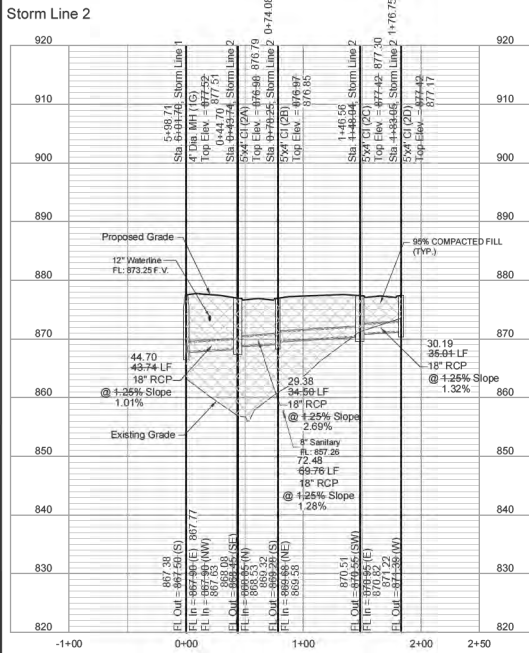
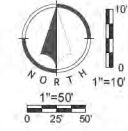




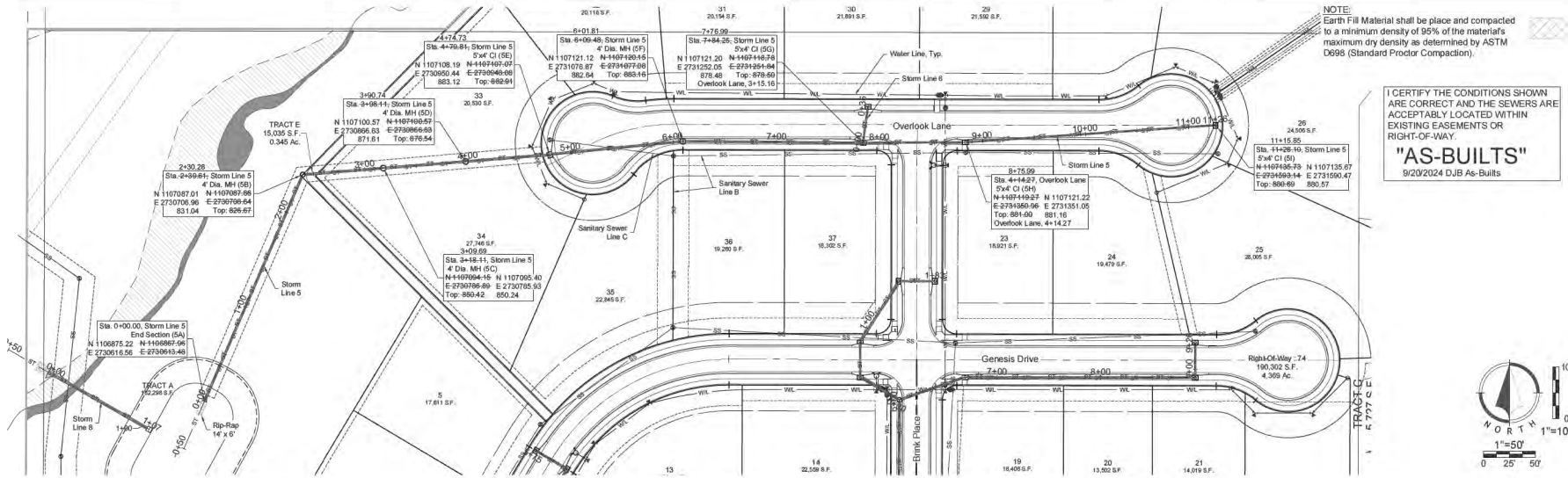
NOTE:
Earth Fill Material shall be placed and compacted to a minimum density of 95% of the material's maximum dry density as determined by ASTM D698 (Standard Proctor Compaction).



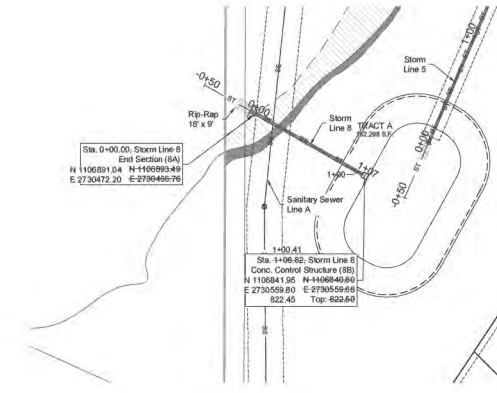
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"AS-BUILTS"
9/20/2024 DJB As-Built



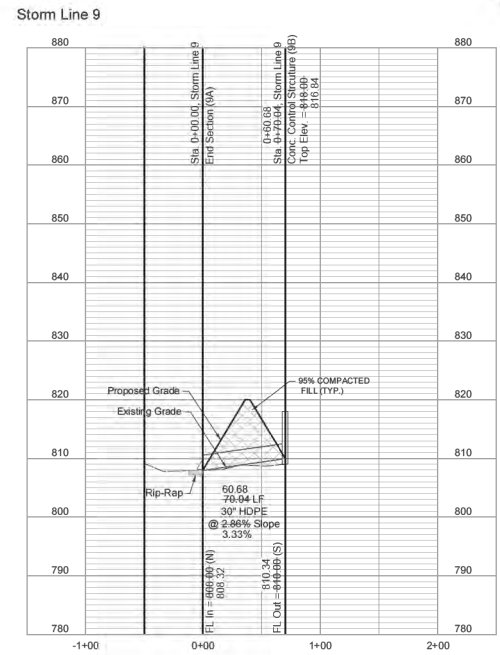
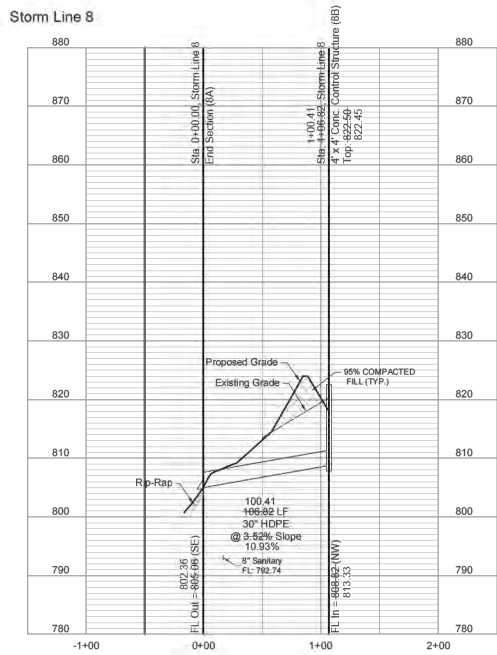
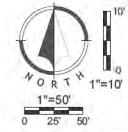
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Nov 18, 2024, 10:05am
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I CERTIFY THE CONDITIONS SHOWN
ARE CORRECT AND THE SEWERS ARE
ACCEPTABLY LOCATED WITHIN
EXISTING EASEMENTS OR
RIGHT-OF-WAY.
"AS-BUILTS"
9/20/2024 D.J.B. As-Built



NOTE:
Earth Fill Material shall be placed and compacted
to a minimum density of 95% of the material's
maximum dry density as determined by ASTM
D698 (Standard Proctor Compaction).

Sheet
C15

Street And Storm Plans
21-0107
Plate 38
City Of Parkville, Platte County, Missouri

Storm Line 8 & 9 Plan &
Profile

Original As-Built Submittal
9/20/2024

DATE

NO. 101

BY: SD

10/18/2024

10/18/2024

DATE

NO. 101

BY: SD

10/18/2024

REnaissance
Infrastructure
Consulting

1815 N. 2nd Street, Suite 200
Kansas City, Missouri 64108
www.renaissance-consulting.com
E-201032933

STATE OF MISSOURI

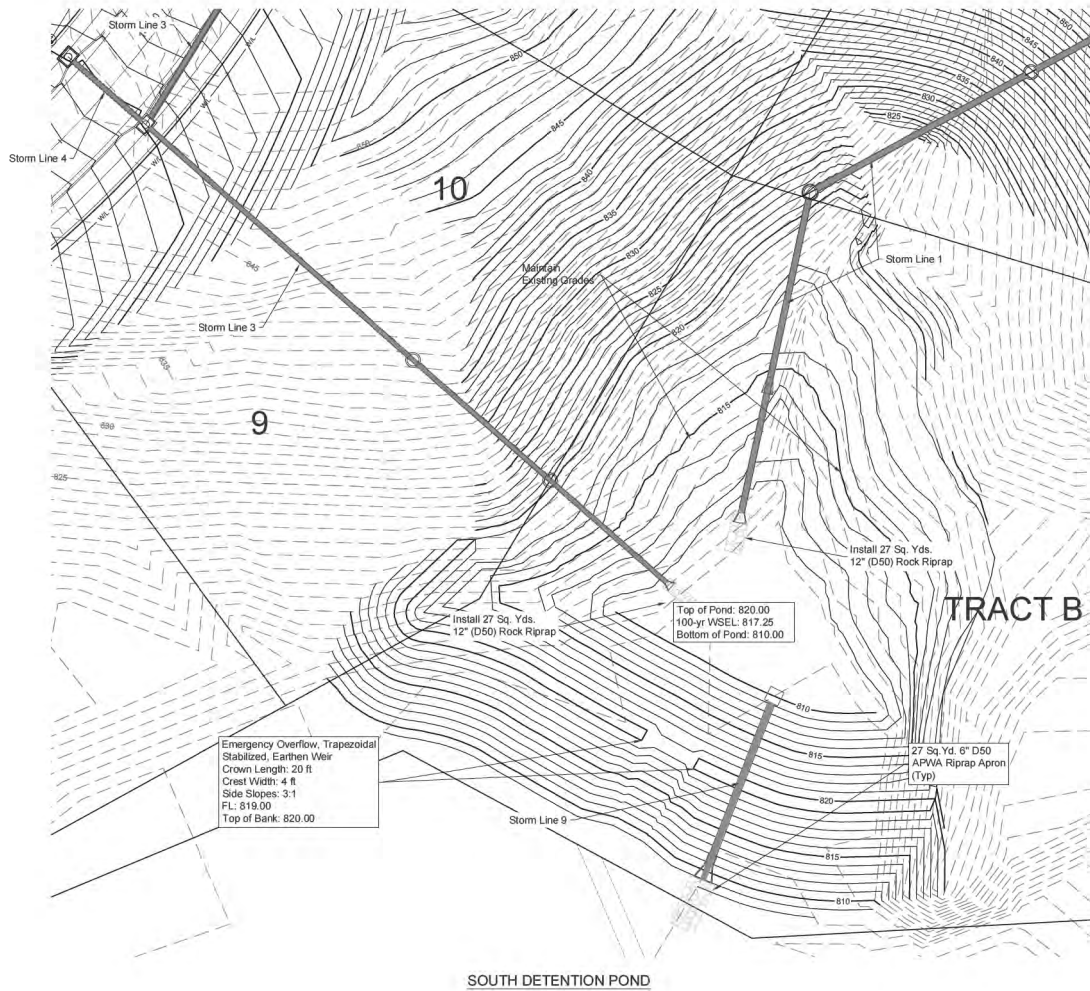
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10/18/2024

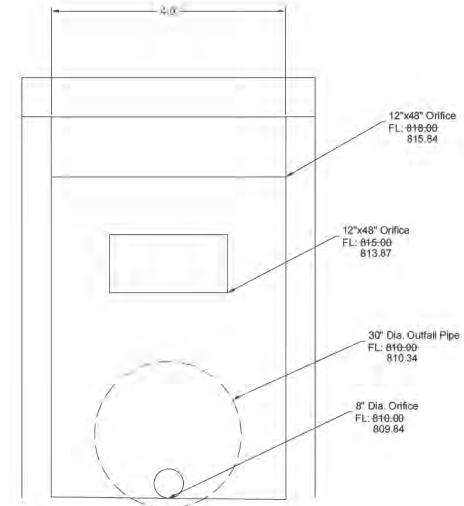
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Page 113 of 150

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I CERTIFY THE CONDITIONS SHOWN
ARE CORRECT AND THE SEWERS ARE
ACCEPTABLY LOCATED WITHIN
EXISTING EASEMENTS OR
RIGHT-OF-WAY.
"AS-BUILTS"
9/20/2024 D.J.B. As-Built



NE Face
Control Structure 9B Detail
N.T.S.



Sheet
C17

Street And Storm Plans
21-0107
Plate 38
City Of Parkville, Platte County, Missouri

South Detention Pond

Original As-Built Submittal
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"NOT AS-BUILT"

2-Year Calculations

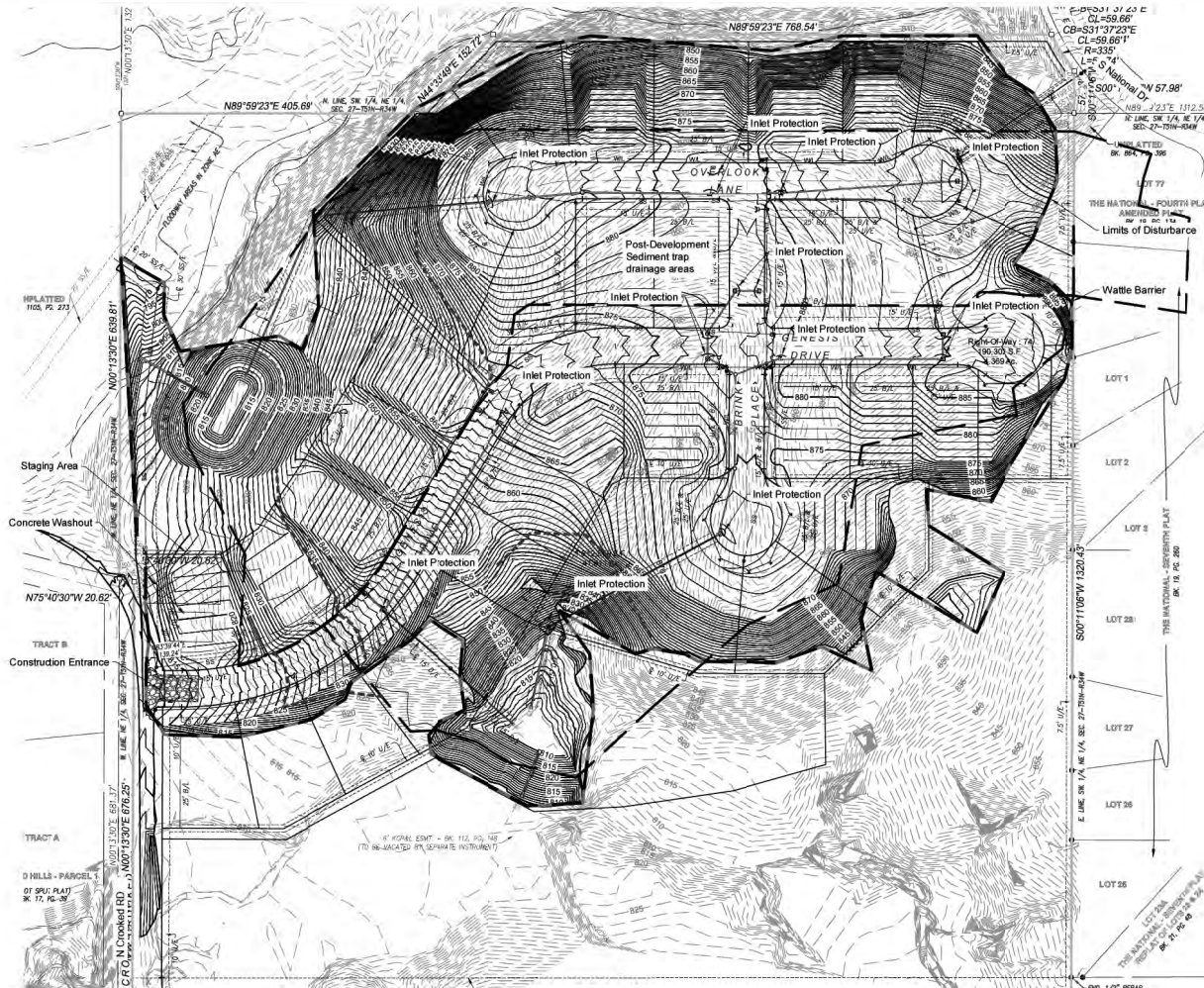
2-Year Calculations																																NOT AS-BUILT			
LineNo.	InletID	DrainageArea	InletTime	I Inlet	RunoffCoeff	IncrQ	QCaptured	QBypass	JunctType	ThroatH	StructLength	InletDepth	GutterDepth	GutterSpread	DnStmLineNo.	LineSize	LineLength	FlowRate	InvertDn	InvertUp	LineSlope	n-valuePipe	CapacityFull (HGL at Crown)	HGLDn	HGLUp	HGLJunct	DepthDn	DepthUp	VelAve	Hw	J-LossCoeff				
		(ac)	(min)	(in/hr)	(C)	(cfs)	(cfs)			(in)		(ft)	(ft)	(ft)		(in)	(ft)	(cfs)																	
1	1B	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	1	24	111.523	6.58	810.02	811.14	1.00	0.012	24.55	811.58	812.05	812.05	1.56	0.91**	3.62	0.91	0.60	2			
2	1C	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	2	24	85.725	6.70	812.05	824.07	14.50	0.012	93.30	812.49	824.99	824.99	0.42	0.91**	9.82	0.15	0.15	2			
3	1D	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	3	24	50.000	6.77	832.57	845.07	25.00	0.012	122.51	832.80	845.99	845.99	0.32	0.92**	12.85	0.15	0.15	2			
4	1E	1.72	5.0	0.41	0.51	4.74	4.74	0.00	Curb	12.0	4.00	0.95	0.46	19.29	3	24	132.567	6.96	850.07	861.34	8.50	0.012	71.44	850.49	862.38	862.38	0.42	0.94**	9.62	0.94	1.19	2			
5	1F	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	4	18	92.125	3.56	861.74	864.50	3.00	0.012	16.70	862.28	865.22	865.22	0.54	0.72**	5.27	0.72	0.25	2			
6	1G	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	5	18	129.764	3.66	864.90	867.50	2.00	0.012	16.09	866.39	868.23	868.23	0.49	0.73**	5.83	0.73	0.62	2			
7	1H	0.18	5.0	0.41	0.51	0.50	0.52	0.00	Curb	12.0	3.00	0.61	0.11	2.06	6	18	67.371	1.64	867.90	869.42	2.26	0.012	17.09	868.23	869.90	869.90	0.33	0.48**	4.57	0.48	0.57	2			
8	1I	0.25	5.0	0.41	0.51	0.69	0.67	0.02	Curb	12.0	3.00	0.63	0.13	2.70	7	18	222.651	1.47	870.42	877.10	3.00	0.012	19.71	870.73	877.55	877.55	0.28	0.45**	4.89	0.45	1.50	2			
9	1J	0.31	5.0	0.41	0.51	0.95	0.80	0.06	Curb	12.0	5.00	0.64	0.14	3.20	8	18	33.961	0.86	877.50	879.88	7.01	0.012	30.12	877.67	880.22	880.22	0.17	0.34**	5.14	0.34	1.00	2			
10	5B	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	10	24	239.612	6.33	813.98	819.97	2.50	0.012	38.74	815.53	820.96	820.96	1.55	0.88**	3.55	0.89	0.90	2			
11	5C	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	11	24	78.495	6.46	820.97	834.31	17.00	0.012	101.02	821.31	835.21	835.21	0.34	0.90**	11.36	0.90	0.15	2			
12	5D	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	12	24	80.000	6.60	840.31	860.31	25.00	0.012	122.51	840.63	861.22	861.22	0.32	0.91**	12.75	0.91	0.15	2			
13	5E	0.48	5.0	0.41	0.51	1.32	1.32	0.00	Curb	12.0	4.00	0.74	0.24	8.24	12	24	81.708	6.74	867.31	869.35	2.50	0.012	38.72	867.88	870.27	870.27	0.57	0.92**	7.01	0.92	0.90	2			
14	5F	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	13	24	129.661	5.91	869.75	870.72	0.75	0.012	21.22	870.47	871.58	871.58	0.72	0.86**	5.18	0.86	0.15	2			
15	5G	0.27	5.0	0.41	0.51	0.74	0.74	0.00	Curb	12.0	4.00	0.68	0.18	5.61	14	24	174.773	6.25	870.92	872.23	0.75	0.012	21.21	871.68	873.11	873.11	0.74	0.88**	5.27	0.88	1.49	2			
16	5H	0.31	5.0	0.41	0.51	0.86	0.78	0.07	Curb	12.0	5.00	0.63	0.13	2.99	15	18	96.112	3.96	872.73	873.47	0.75	0.012	9.53	873.39	874.23	874.23	0.66	0.76**	4.83	0.76	0.50	2			
17	5I	1.26	5.0	0.41	0.51	3.48	3.48	0.00	Curb	12.0	5.00	0.89	0.39	15.68	16	18	242.744	3.48	873.67	875.49	0.75	0.012	9.85	874.29	876.20	876.20	0.62	0.71**	4.65	0.71	1.00	2			
18	6A	0.71	5.0	0.41	0.51	1.96	1.96	0.00	Curb	12.0	4.00	0.79	0.29	10.69	15	18	35.283	1.96	872.63	873.98	0.90	0.012	11.33	873.11	873.51	873.51	0.48	0.53**	3.75	0.53	1.00	2			
19	2A	0.02	5.0	0.41	0.51	0.06	0.06	0.00	Curb	12.0	3.00	0.55	0.05	0.85	6	18	43.742	2.51	867.90	868.45	1.26	0.012	12.76	868.35	869.05	869.05	0.45	0.60**	4.71	0.60	1.34	2			
20	2B	0.04	5.0	0.41	0.51	0.11	0.11	0.00	Curb	12.0	3.00	0.56	0.06	1.13	19	18	34.505	2.50	868.85	869.28	1.25	0.012	12.70	869.39	869.88	869.88	0.45	0.60**	4.90	0.60	0.82	2			
21	2C	0.16	5.0	0.41	0.51	0.44	0.44	0.00	Curb	12.0	5.00	0.65	0.15	3.95	20	18	69.759	2.48	869.68	870.55	1.25	0.012	12.70	870.13	871.15	871.15	0.45	0.60**	4.68	0.60	1.31	2			
22	2D	0.76	5.0	0.41	0.51	2.10	2.17	0.00	Curb	12.0	5.00	0.80	0.30	11.45	21	18	35.007	2.10	870.95	871.39	1.26	0.012	12.75	871.31	871.94	871.94	0.41	0.55**	4.47	0.55	1.00	2			
23	3B	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	22	24	52.736	6.73	810.02	811.07	1.99	0.012	16.05	811.37	812.07	812.07	1.35	1.00**	4.66	1.00	0.15	2			
24	3C	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	23	24	82.129	6.80	814.07	828.49	20.00	0.012	38.74	814.44	827.50	827.50	0.37	1.01**	12.89	1.01	0.15	2			
25	3D	0.50	5.0	0.41	0.51	1.38	1.18	0.56	Curb	12.0	3.00	0.66	0.16	4.22	24	18	121.514	6.94	828.49	832.14	3.00	0.012	19.72	829.10	833.16	833.16	0.61	1.02**	7.81	1.02	1.48	2			
26	3E	0.50	5.0	0.41	0.51	1.38	1.02	0.36	Curb	12.0	3.00	0.64	0.14	3.64	25	18	303.521	4.49	832.54	857.58	8.25	0.012	32.68	833.15	858.39	858.39	0.62	0.81**	5.56	0.81	1.50	2			
27	3F	1.15	5.0	0.41	0.51	3.17	1.65	1.53	Curb	12.0	3.00	0.69	0.19	5.87	26	18	35.012	3.17	859.58	860.28	2.00	0.012	16.09	860.03	860.95	860.95	0.45	0.68**	5.58	0.68	1.00	2			
28	4A	0.63	5.0	0.41	0.51	1.74	1.67	1.59	Curb	12.0	4.00	0.69	0.19	5.95	25	18	35.020	1.74	834.14	834.84	2.00	0.012	16.08	834.47	835.34	835.34	0.33	0.50**	4.68	0.50	1.00	2			

Notes: J-Line contains hyd. jump. z=Zero Junction Loss

10-Year Calculations

10-Year Calculations																																	
LineNo.	InletID	DrainageArea	InletTime	I Inlet	RunoffCoeff	IncrQ	QCaptured	QBypass	JunctType	ThroatHt	StructLength	InletDepth	GutterDepth	GutterSpread	DnStmLine No.	LineSize	LineLength	FlowRate	InvertDn	InvertUp	LineSlope	n-valuePipe	CapacityFull (HGL at Crown)	HGLDn	HGLUp	HGLJunct	DepthDn	DepthUp	VelAve	Hw	J-LossCoeff		
		(ac)	(min)	(in/hr)	(C)	(cfs)	(cfs)	(cfs)		(in)	(ft)	(ft)	(ft)			(in)	(ft)	(cfs)	(ft)	(ft)	(%)		(cfs)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft/s)	(ft)			
1	1B	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	1	24	111.523	9.93	810.02	811.14	1.00	0.012	24.55	811.58	812.27	812.27	1.56	1.13**	4.61	1.13	0.80	2
2	1C	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	2	24	85.725	15.04	811.64	824.07	14.50	0.012	93.30	812.05	825.20	825.20	0.63	1.13**	6.72	1.13	0.15	2
3	1D	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	3	24	50.000	10.14	832.57	845.07	25.00	0.012	122.51	832.95	846.21	846.21	0.39	1.14**	14.52	1.14	0.15	2
4	1E	1.72	5.0	0.41	0.51	6.45	6.45	0.00	Curb	12.0	4.00	1.05	0.55	23.68	4	24	132.567	10.35	850.07	861.34	8.50	0.012	71.44	850.58	862.49	862.49	0.51	1.15**	10.85	1.15	1.19	2	
5	1F	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	5	18	92.125	4.26	861.74	864.50	3.00	0.012	16.70	862.49	865.39	865.39	0.75	0.88	5.40	0.88	0.25	2
6	1G	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	5	18	129.764	5.37	854.07	867.50	2.00	0.012	16.06	858.50	868.39	868.39	0.60	0.99**	5.65	0.99	0.65	2
7	1H	0.00	5.0	0.41	0.51	0.68	0.72	0.03	Curb	12.0	3.00	0.63	0.13	2.91	6	18	67.371	2.38	867.90	868.42	2.28	0.012	17.09	868.39	870.00	870.00	0.49	0.58**	4.28	0.58	0.72	2	
8	1I	0.25	5.0	0.41	0.51	0.54	0.88	0.08	Curb	12.0	3.00	0.54	0.14	3.42	7	18	222.651	2.03	867.90	872.10	3.00	0.012	19.71	870.75	877.64	877.64	0.33	0.54**	5.38	0.54	1.50	2	
9	1J	0.00	5.0	0.00	0.51	0.00	0.00	0.16	Curb	12.0	3.00	0.65	0.15	3.95	8	18	33.991	1.16	877.90	880.28	2.00	0.012	37.77	880.28	882.00	882.00	0.44	0.50**	5.60	0.40	1.02	2	
10	1K	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	24	236.612	9.34	811.58	816.97	2.50	0.012	38.74	815.35	821.96	821.96	1.54	1.09**	4.46	1.09	0.90	2	
11	5C	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	4.00	0.00	0.00	0.00	Outfall	10	24	78.495	9.48	820.97	834.31	17.00	0.012	101.02	821.38	835.41	835.41	0.41	1.10**	12.76	1.10	0.15	2
12	5D	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	4.00	0.00	0.00	0.00	Outfall	10	24	400.031	9.62	860.31	860.31	25.00	0.012	140.09	861.42	862.00	862.00	0.39	1.11**	14.29	1.11	0.15	2
13	13E	0.00	5.0	0.41	0.51	1.80	1.80	0.00	Curb	12.0	4.00	0.77	0.27	10.11	12	24	81.709	9.77	857.31	866.35	2.50	0.012	35.72	856.00	870.47	870.47	0.69	1.12**	7.88	1.12	0.90	2	
14	5F	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	4.00	0.00	0.00	0.00	Outfall	13	24	126.661	8.47	860.95	870.72	0.75	0.012	21.22	871.03	871.76	871.76	0.68	1.04**	5.76	1.04	0.15	2
15	9G	0.27	5.0	0.41	0.51	1.01	1.01	0.00	Curb	12.0	4.00	0.71	0.21	8.95	14	24	174.773	8.81	870.92	872.23	0.75	0.012	21.21	871.42	873.29	873.29	0.90	1.06**	5.83	1.06	1.40	2	
16	16	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.72	0.15	9.72	15	24	99.112	9.54	872.31	873.47	0.75	0.012	21.83	873.47	874.38	874.38	0.61	0.91**	5.92	0.91	0.50	2	
17	17	1.26	5.0	0.41	0.51	4.73	4.73	0.00	Curb	12.0	5.00	0.98	0.46	19.24	16	18	242.744	4.73	873.67	875.49	0.75	0.012	0.85	874.83	876.32	876.32	0.73	0.83**	5.10	0.83	1.00	2	
18	6A	0.01	5.0	0.41	0.51	2.66	2.66	0.00	Curb	12.0	4.00	0.83	0.33	13.12	15	18	35.283	2.66	872.63	872.98	0.99	0.012	11.33	873.47	873.90	873.90	0.66	0.62**	5.72	0.62	1.00	2	
19	20	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.74	0.46	3.95	16	18	174.746	3.95	866.45	866.45	1.75	0.012	11.33	866.45	866.45	866.45	0.71	0.84**	5.14	0.71	1.44	2	
20	20B	0.04	5.0	0.41	0.51	0.06	0.00	0.00	Curb	12.0	3.00	0.57	0.27	1.27	19	18	34.506	3.04	869.85	869.28	1.25	0.012	12.70	869.39	869.99	869.99	0.54	0.71**	5.16	0.71	0.88	2	
21	2C	0.00	5.0	0.41	0.51	0.80	0.80	0.00	Curb	12.0	5.00	0.87	0.17	4.88	20	18	69.750	3.40	869.68	870.55	1.25	0.012	12.70	871.21	871.25	871.25	0.63	0.70**	5.17	0.70	1.31	2	
22	2D	0.76	5.0	0.41	0.51	2.85	3.04	0.00	Curb	12.0	5.00	0.88	0.38	14.32	21	18	35.007	2.85	870.95	871.38	1.28	0.012	12.75	871.43	872.03	872.03	0.48	0.64**	5.88	0.64	1.00	2	
23	28	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	23	18	52.736	9.32	870.02	871.07	1.99	0.009	81.37	871.28	872.26	872.26	1.34	1.19**	6.01	1.19	0.15	2
24	3C	0.00	5.0	0.00	0.51	0.00	0.00	0.00	MH	12.0	5.00	0.00	0.00	0.00	Outfall	23	18	82.129	9.59	814.07	826.49	20.00	0.012	50.87	819.51	827.69	827.69	0.44	1.19**	14.22	1.19	0.15	2
25	3D	0.50	5.0	0.41	0.51	1.88	1.46	1.06	Curb	12.0	3.00	0.88	0.18	5.20	24	18	121.514	9.73	828.49	832.34	3.00	0.012	19.72	829.23	833.34	833.34	0.74	1.20**	6.76	1.20	1.48	2	
26	3E	0.38	5.0	0.41	0.51	1.23	0.64	0.00	Curb	12.0	3.00	0.65	0.42	6.29	25	18	233.11	6.13	833.54	837.68	8.25	0.068	4.09	835.84	836.54	836.54	0.80	0.96	5.75	0.96	0.60	2	
27	3F	1.31	5.0	0.41	0.51	1.92	2.39	0.00	Curb	12.0	3.00	0.65	0.21	6.81	26	18	9.012	3.31	839.58	850.29	2.00	0.012	16.06	836.11	861.09	861.09	0.53	0.80**	6.01	0.80	1.00	2	
28	4A	0.53	5.0	0.41	0.51	2.36	2.01	2.75	Curb	12.0	4.00	0.71	0.21	7.13	28	18	36.020	2.36	834.14	834.24	3.00	0.012	16.06	834.13	835.42	835.42	0.39	0.58**	5.12	0.58	1.00	2	

Map 19 - 2024-10-10
Map 19 - 2024-10-10
Map 19 - 2024-10-10



EROSION CONTROL LEGEND

- Stabilized Construction Entrance
- Staging Area
- Concrete Washout
- Limits of Disturbance
- Wattle Barrier
- Intermediate Wattle Barrier
- Inlet Protection
- Diversion Berm

Grading Legend

- Existing Major Contour
- Existing Minor Contour
- Proposed Major Contour
- Proposed Minor Contour

"NOT AS-BUILT"

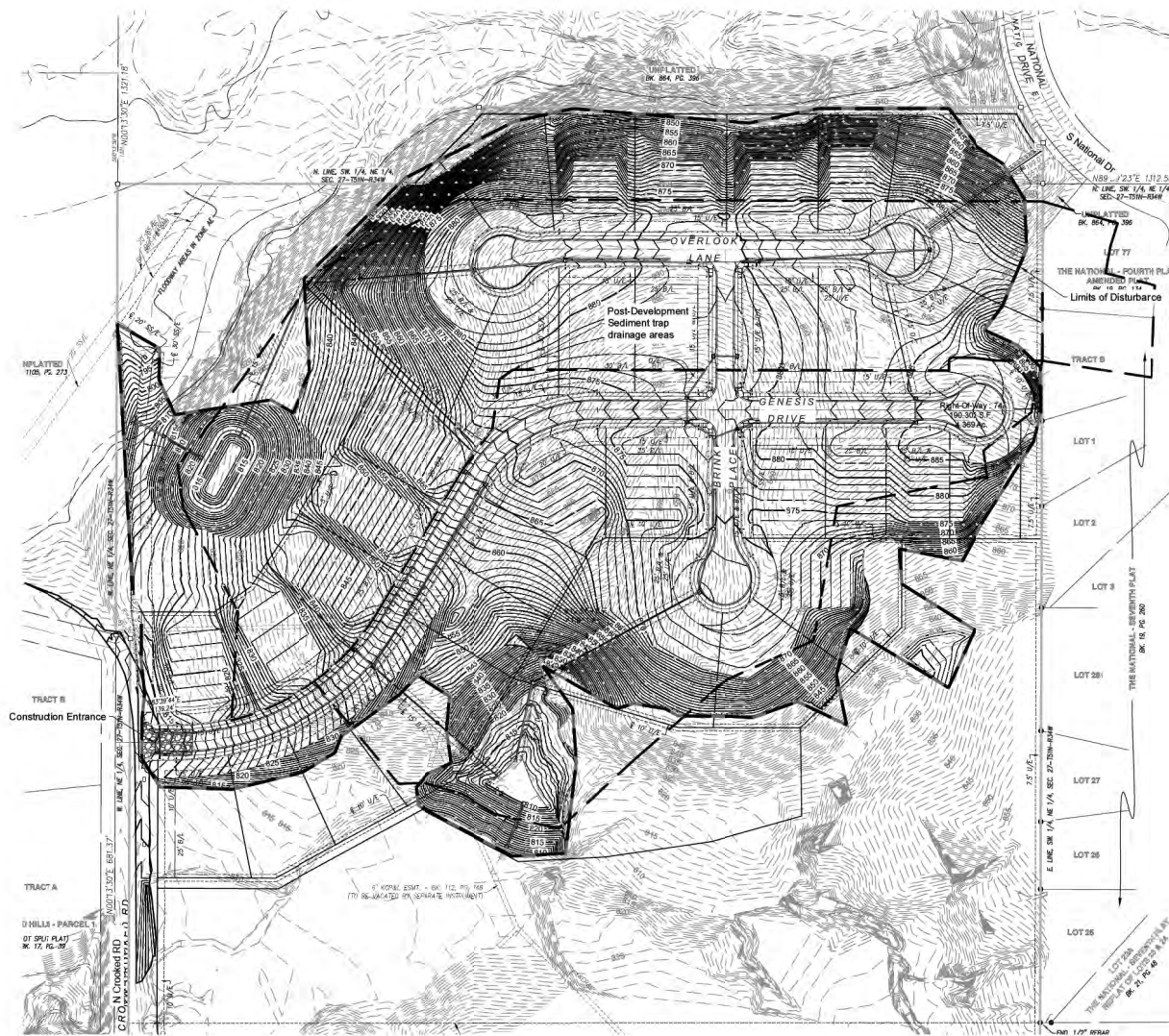
Sheet
C21

Street And Storm Plans
21-0107
Plate 38
City Of Parkville, Platte County, Missouri

Erosion Control II

Renaissance Infrastructure Consulting
1815 PAGE STREET, SUITE 200
JACKSONVILLE, MISSOURI 64401
TEL: 816.800.0950
WWW.RENINFRASTRUCTURE.COM

STATE OF MISSOURI
JACOBSON
REGISTERED PROFESSIONAL ENGINEER
NO. 0000000000



EROSION CONTROL LEGEND

- Stabilized Construction Entrance
- Staging Area
- Concrete Washout
- Limits of Seed/Sod
- Limits of Disturbance
- Wattle Barrier
- Intermediate Wattle Barrier
- Inlet Protection
- Diversion Berm

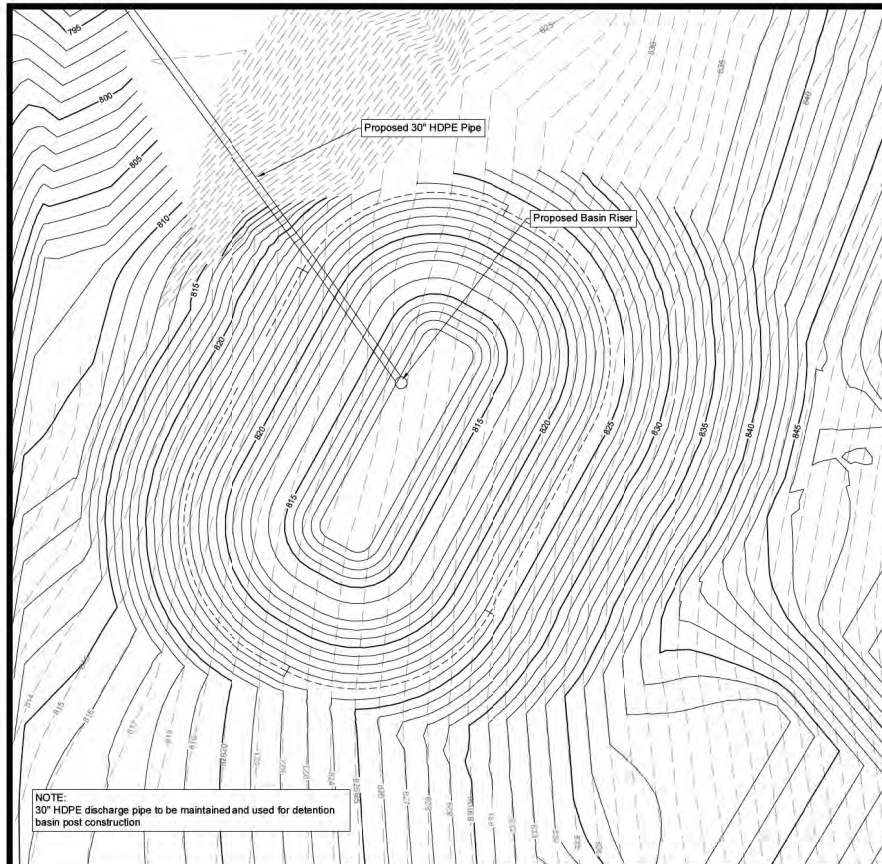
Grading Legend

- Existing Major Contour
- Existing Minor Contour
- Proposed Major Contour
- Proposed Minor Contour

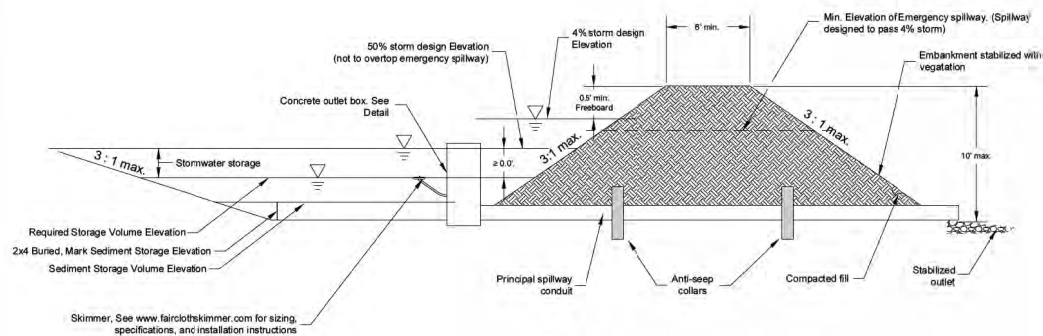


"NOT AS-BUILT"

Sheet C22	Street And Storm Plans 21-0107 Plate 38 City Of Parkville, Platte County, Missouri												
Erosion Control III													
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DATE</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/01/2024</td> <td>MD</td> <td>10/01/2024</td> <td>MD</td> <td>10/01/2024</td> </tr> </tbody> </table>		NO.	DATE	BY	DATE	BY	DATE	1	10/01/2024	MD	10/01/2024	MD	10/01/2024
NO.	DATE	BY	DATE	BY	DATE								
1	10/01/2024	MD	10/01/2024	MD	10/01/2024								
Renaissance Infrastructure Consulting 1815 PACIFIC STREET, SUITE 200 KANSAS CITY, MISSOURI 64108 WWW.RECONSULT.COM E-2010030630													



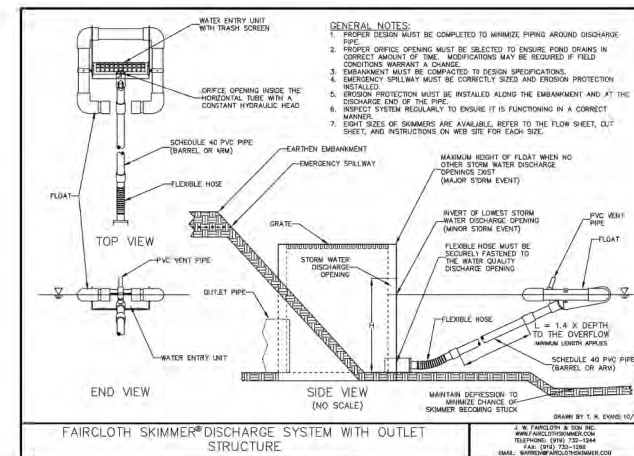
NOTE:
30" HOPE discharge pipe to be maintained and used for detention basin post construction



TEMPORARY SEDIMENT BASIN - CROSS SECTION

"NOT AS-BUILT"

NW Sediment Basin Summary			
Item Description	Quantity	Units	Notes
Site Data			
Drainage Area to Basin	9.94	acres	
50% (2 yr.) Design Flow	22.19	cfs	
4% (25 yr.) Design Flow	57.88	cfs	
Pond Data			
Required Storage Volume	35,784	cf	3600 cfs/c. Required
Provided Storage Volume	82,318	cf	Storage Volume at Top of Riser
Required Surface Area	9,940	sf	1000 sf/c. Required
Provided Surface Area	16,235	sf	@ Riser Elevation
Bottom Elevation of Pond	817.00	ft	
Sediment Cleanout Elevation	819.00	ft	
Top of Riser Elevation	821.00	ft	Top of Dry Storage Volume @ Req. Storage Vol
2 YR Water Surface Elevation	817.00	ft	
25 YR Water Surface Elevation	820.50	ft	
Emergency Spillway Elevation	822.50	ft	Min. at or above 2-YR Elev
Top of Dam Elevation	824.00	ft	
Top of Dam Elevation Settled	823.05	ft	0.5 ft. Min. above Spillway Design Depth
Principal Spillway Data			
Riser Pipe Diameter	30	in	
Barrel Pipe Diameter	30	in	
Concrete Base Size for Riser Pipe	0.06	cy	
Skimmer Data			
Skimmer Size	2	ft	



Sheet
C24

Street And Storm Plans
21-0107
Plate 38
City Of Parkville, Platte County, Missouri

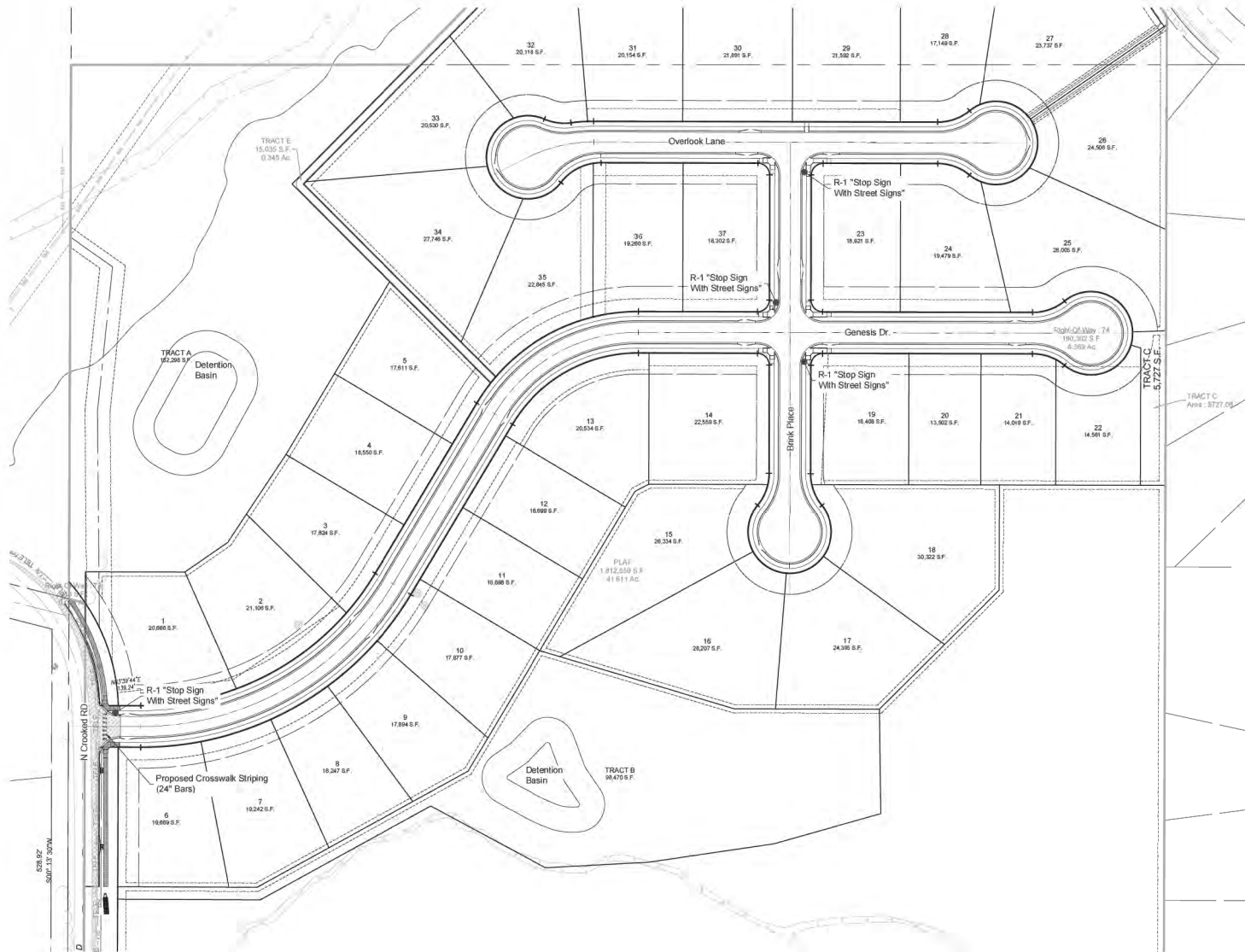
NW Sediment Basin
Details

NO.	BY	DATE	REVISION
1	BOB DARR	10/20/2010	Original As-Built Submittal

Renaissance
Infrastructure
Consulting
913.317.9200
WWW.RENINFRA.COM
1112 ARBIE AVENUE
KANSAS CITY, MISSOURI 64103
E-201003263



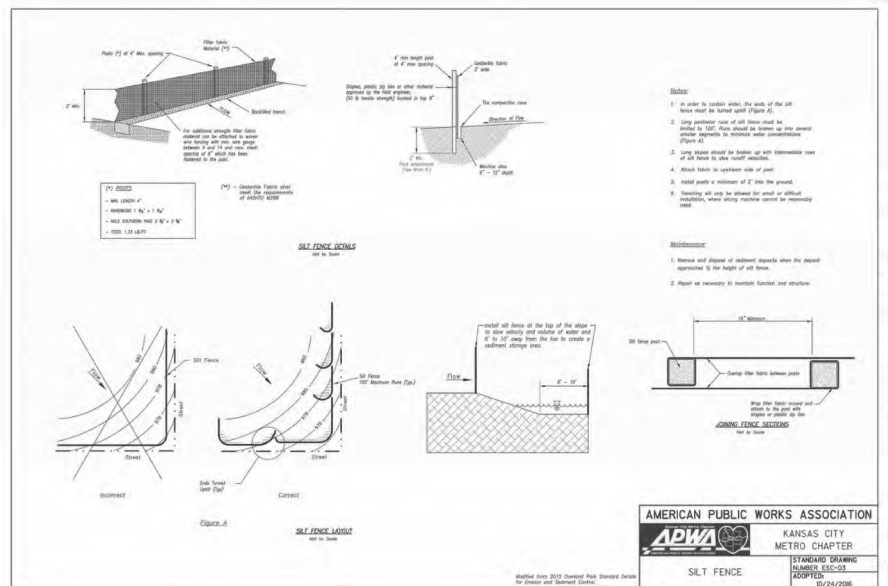
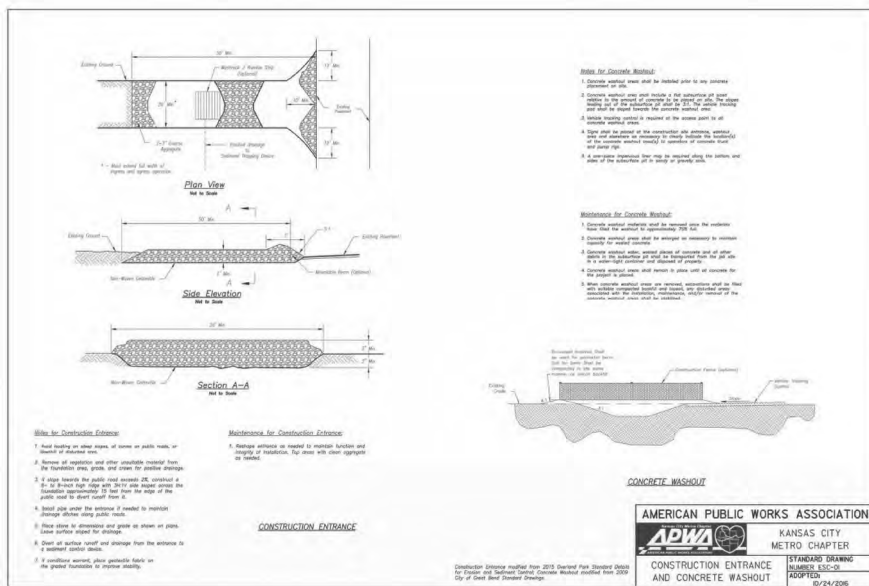
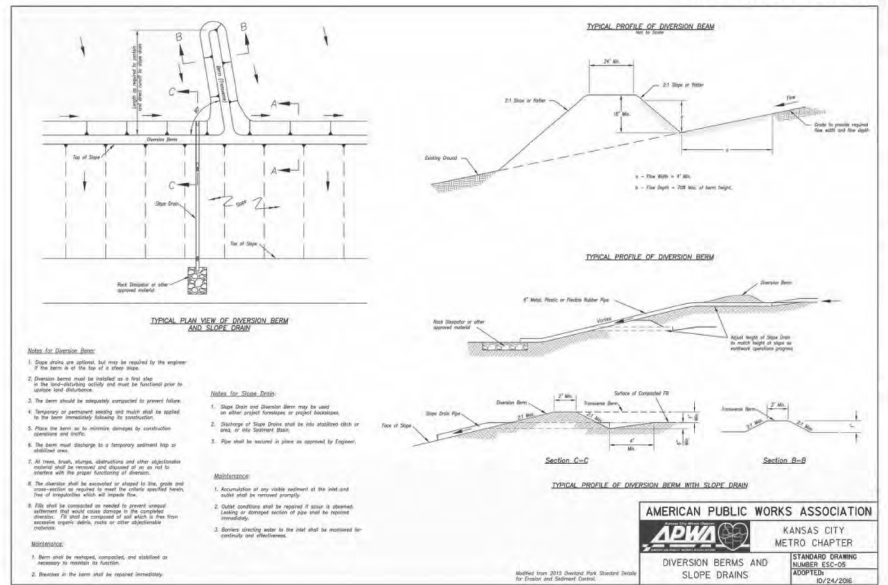
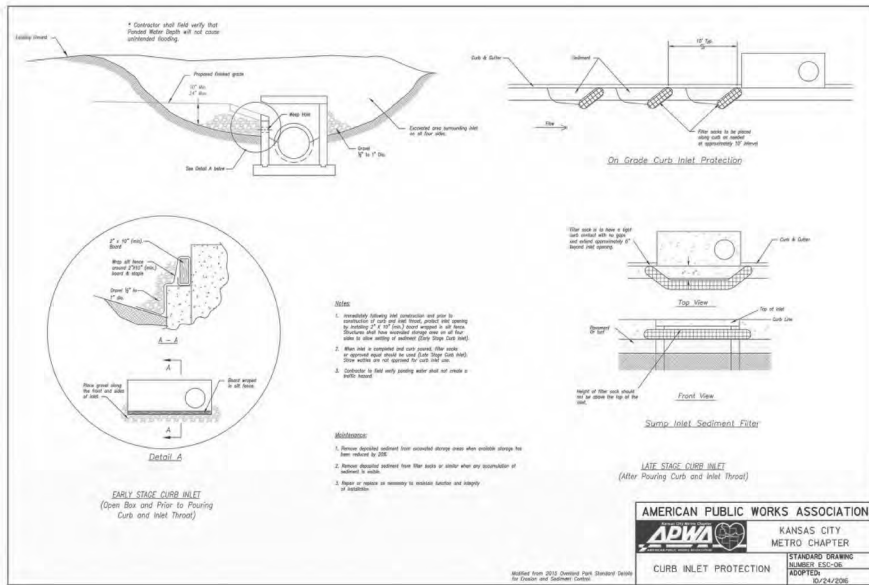
Nov 18, 2024 11:00am
2024 Design/CD/PLAT 1410712.dwg/Sheet CD-445-001A 150% 150% of sheet signage plan-00.dwg



"NOT AS-BUILT"



Sheet C25	
Street And Storm Plans	
21-0107 Platte 38 City Of Parkville, Platte County, Missouri	
Street Signage Plan	
Original As-Built Submittal REVISIONS	
Y	1800
DATE	10/23/2024
BY	SD
NO	1
Renaissance Infrastructure Consulting 816.800.0900 1815 Pacific Street, Suite 200 Kansas City, Missouri 64108 www.ri-consult.com E-2010030930 Professional Engineer	

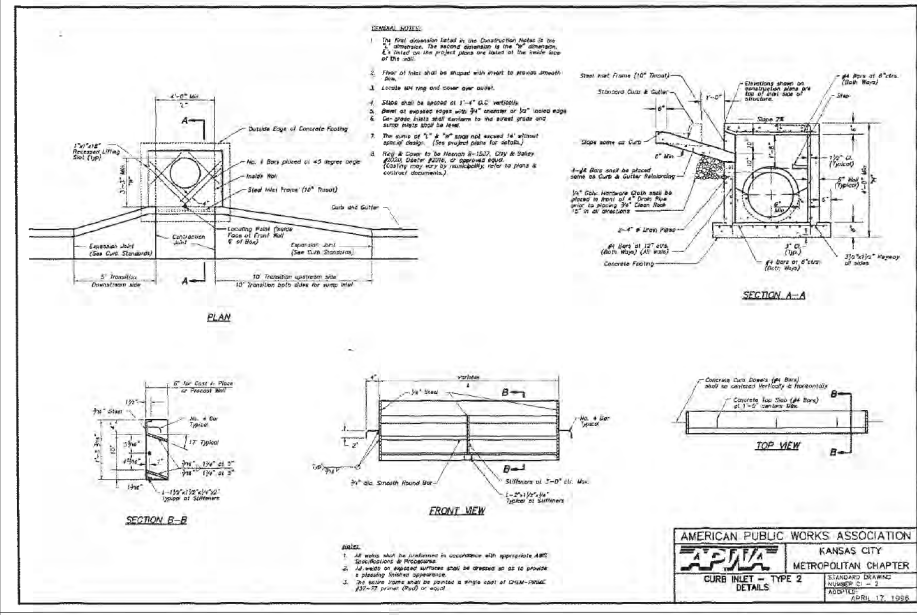
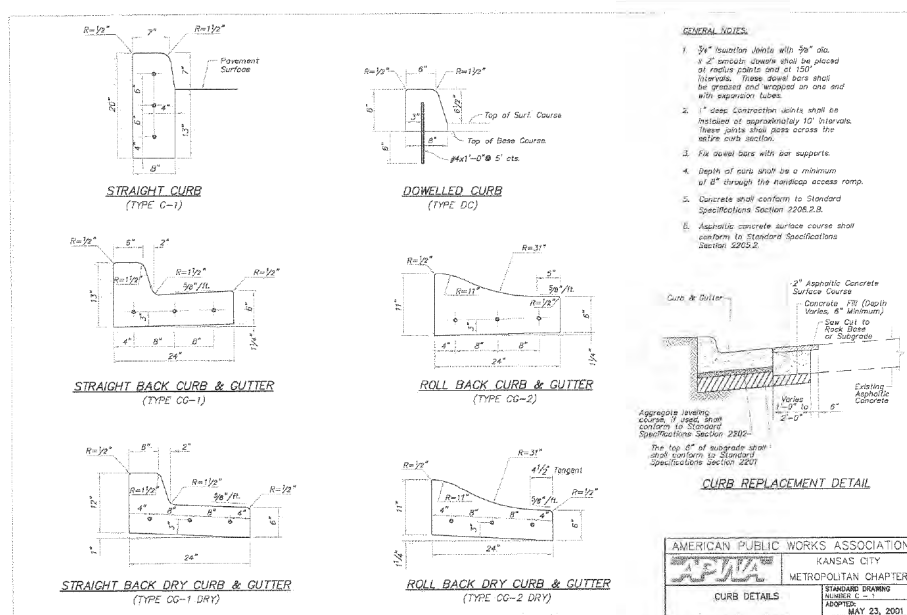
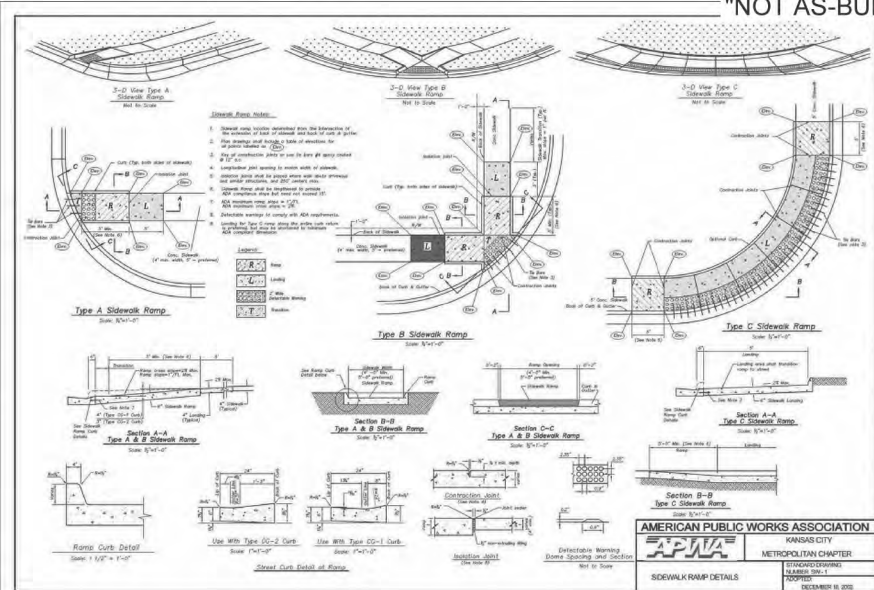
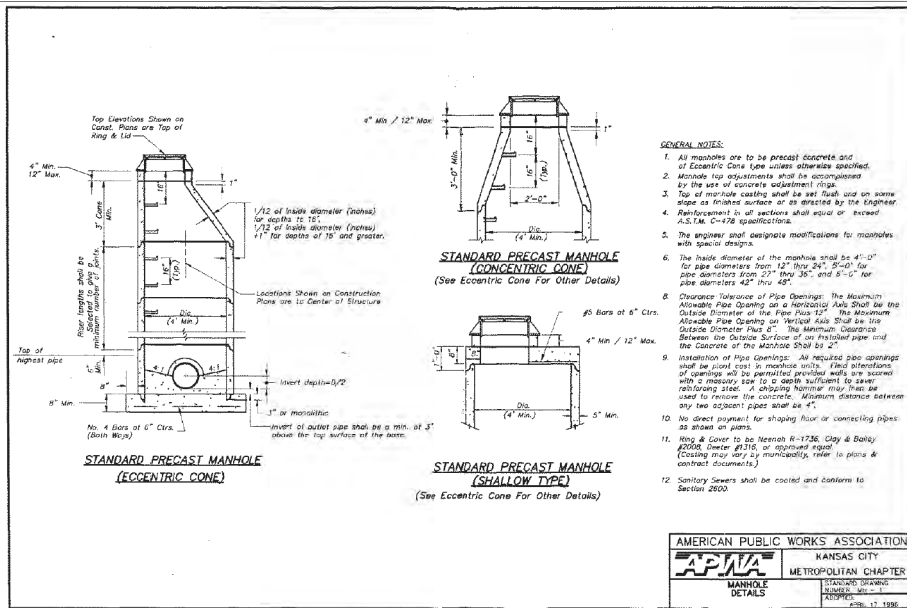


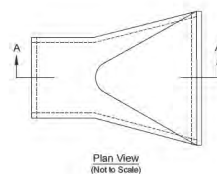
"NOT AS-BUILT"

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C27

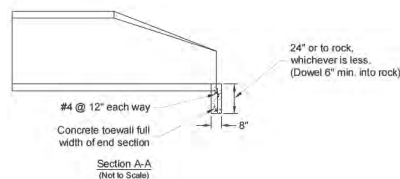
Street And Storm Plans
21-0107
Plate 38
City Of Parkville, Platte County, Missouri

Standard Details 2



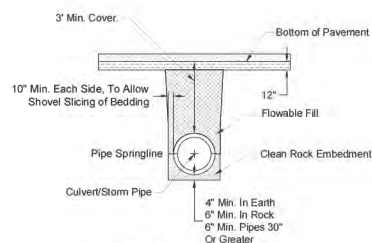


Plan View
(Not to Scale)

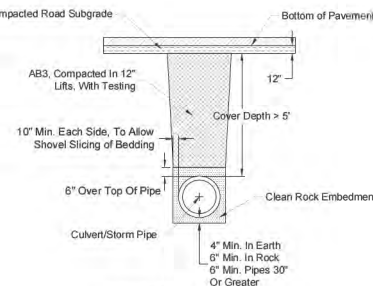


End Section Notes

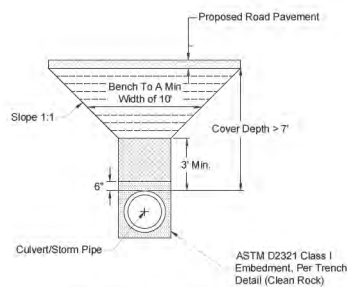
1. Use KCMMB4K Concrete throughout.
2. Reinforcing steel shall be new billet, minimum Grade 40 as per ASTM A615, and shall be bent cold.
3. All dimensions relative to reinforcing steel are to centerline of bars. 2" clearance shall be provided throughout unless noted otherwise. Tolerance of +/- 1/8" shall be permitted.
4. All lap splices not shown shall be a minimum of 40 bar diameters in length.
5. All dowels shall be accurately placed and securely tied in place prior to placement of bottom slab concrete. Sticking of dowels into fresh or partially hardened concrete will not be acceptable.
6. All reinforcing steel shall be supported on fabricated steel bar supports at 3'-0" maximum spacing.
7. The last three joints of RCP, shall be mechanically restrained where discharging into unimproved systems.
8. The restrained joint hardware shall be hot dip zinc coated in accordance with ASTM A-123.
9. The handrail shall be required on end sections 42" high or larger.
10. Do not scale these drawings for dimensions or clearances. Any questions regarding dimensions shall be brought to the attention of the City Engineer prior to construction.



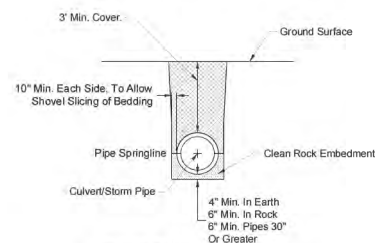
Trench Detail-Culvert/Storm
Sewer Pipe Inside Road R.O.W.
CASE 1



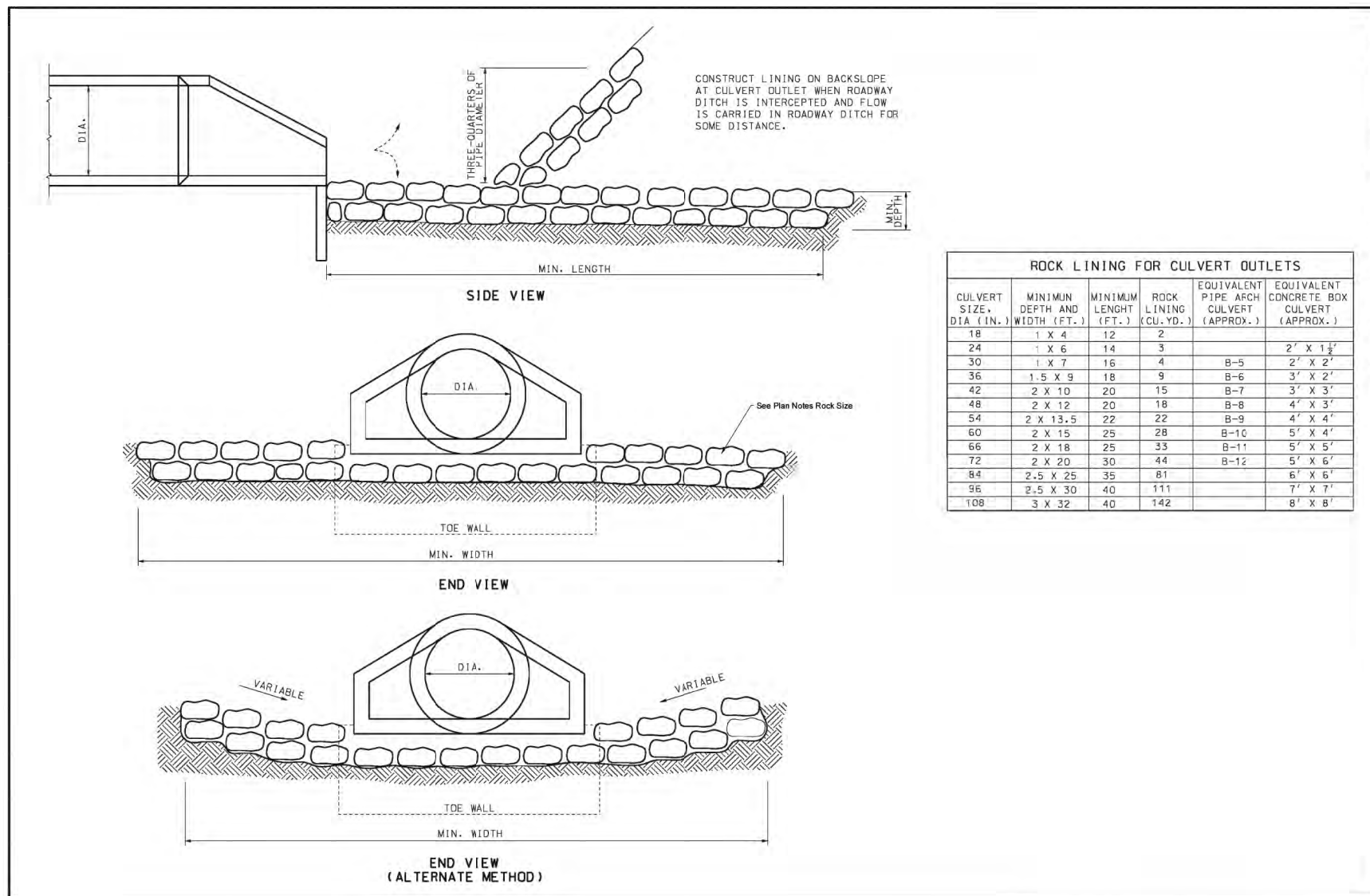
Trench Detail Culvert/Storm
Sewer Pipe Inside Road R.O.W.
Alternate For Deep Pipes
CASE 2



Backfill Detail For Culverts/Storm
Sewer Pipes Inside Road R.O.W.
Alternate For Very Deep Pipes
CASE 3



Trench Detail-Culvert/Storm
Sewer Pipe Outside Road R.O.W.
CASE 4



ROCK LINING FOR CULVERT OUTLETS					
CULVERT SIZE, DIA. (IN.)	MINIMUM DEPTH AND WIDTH (FT.)	MINIMUM LENGTH (FT.)	ROCK LINING (CU. YD.)	EQUIVALENT PIPE ARCH CULVERT (APPROX.)	EQUIVALENT CONCRETE BOX (APPROX.)
18	1 X 4	12	2		
24	1 X 6	14	3		2' X 1 1/2'
30	1 X 7	16	4	B-5	3' X 2'
36	1 5 X 9	18	9	B-6	3' X 2'
42	2 X 10	20	15	B-7	3' X 3'
48	2 X 12	20	18	B-8	4' X 3'
54	2 X 13.5	22	22	B-9	4' X 4'
60	2 X 15	25	28	B-10	5' X 4'
66	2 X 18	25	33	B-11	5' X 5'
72	2 X 20	30	44	B-12	5' X 6'
84	2.5 X 25	35	81		6' X 6'
96	2.5 X 30	40	111		7' X 7'
108	3 X 32	40	142		8' X 8'

4 YEAR: IS CURRENT ON THIS SUBJECT IS THE OPEN ELECTRONICALLY CALLED AND OPEN

ITEM 6.A.1.

For 1/7/2025

Board of Aldermen Meeting

**CITY OF PARKVILLE
Policy Report**

Date: January 2, 2025

Prepared By:

Karla Shewell, Deputy City Clerk/Finance
Specialist

Reviewed By:

Bryan Kidney, Deputy City Administrator/Finance
Director

ISSUE:

Accounts Payable

BACKGROUND:

The Accounts Payable and Payroll reports attached here represent the transactions for the period December 17, 2024, through January 7, 2025:

- Accounts Payable
- Payroll - including taxes paid and benefits paid

The reports are broken down into the following categories:

- Regular Accounts Payable - paid via check
- Direct Accounts Payable - paid via bank draft
- Payroll, Taxes & Benefits - paid via direct deposit & bank draft

STRATEGIC GOAL(S):

- Operational Excellence
- Communications Best Practices

BUDGET IMPACT:

Accounts Payable (Regular)	\$807,873.93
Payroll (1 period)	\$97,254.81
Payroll Taxes Paid	\$9,803.66
Benefits Paid	\$43,723.96
Total	\$958,656.36

ALTERNATIVES:

N/A: Informational Purposes

FINANCE COMMITTEE RECOMMENDATION:

The item was not presented to the Finance Committee, but is being taken directly to the Board of Aldermen for consideration RSMo. 79.300.

STAFF RECOMMENDATION:

Staff recommends the release of funds as summarized in the attached statements.

POLICY:

In accordance with RSMo. 79.300, all disbursements must be approved by the Mayor and City's Treasurer and attested by the City Clerk.

SUGGESTED MOTION:

As this item is a staff update, no motion is necessary.

ATTACHMENTS:

1. AP & Payroll Registers

1/03/2025 9:46 AM
PACKET: 08479 Regular Payments-01.07.25
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

PAGE: 1

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
00002	A & M Printing I-A72958	Mainstreet Bridge44B&Wprts-PST	R	1/07/2025		106.92CR	047030	106.92
03231	Accountable Mudjacking, LLC I-0012	WShelterHsPadRise-PST	R	1/07/2025		1,250.00CR	047031	1,250.00
02018	Ace ImageWear I-1437046	Shop Towels - Streets	R	1/07/2025		66.34CR	047032	66.34
00934	Allen's Water Service I-2401	Nov2024 Water service-Streets	R	1/07/2025		500.00CR	047033	500.00
03096	Alyssa Roberts I-10022931280	2024 Fall Tuition Reimb-Admin	R	1/07/2025		2,193.98CR	047034	2,193.98
01258	Arbor Masters Tree & Landscape I-167121	Tree Removal Platte Co - CD	R	1/07/2025		2,349.12CR	047035	2,349.12
02729	Bliss Associates, LLC I-6002747-010	AppraisalDonatedCommonlands-Ad	R	1/07/2025		2,250.00CR	047036	2,250.00
03099	Blue Cardinal Chemical I-15546	Soil Sterilant Pema-Gran - PST	R	1/07/2025		317.70CR	047037	317.70
02531	City Wide Facility Solutions I-32001055877	Nov2024 JanitorialServ - Admin	R	1/07/2025		1,060.00CR	047038	1,060.00
03119	CK Power C-SVC003740 I-SVI132187 I-SVI132434	Labor & Mileage credit - Admin McAfeePS VoltageErrorCode-Sewr WA13McAfeePSFuelPmpRpl-Sewer	R R R	1/07/2025 1/07/2025 1/07/2025		231.50 330.30CR 1,449.73CR	047039 047039 047039	 1,548.53
00156	Dave's Foreign Car Repair LLC I-0152321 I-0152342 I-0152389	V606 Oil Change F350 SD8970 BrakeRpr-PST V605 Oil Change - PD	R R R	1/07/2025 1/07/2025 1/07/2025		55.00CR 397.62CR 55.00CR	047040 047040 047040	 507.62
00222	The Deister Company, Inc. I-1697	BoomtrkXmasDecoHanging-Streets	R	1/07/2025		500.00CR	047041	500.00
01454	Embassy Landscape Group Inc I-156721	Dec2024 Grounds Mnt - Admin	R	1/07/2025		1,126.33CR	047042	1,126.33

1/03/2025 9:46 AM
 PACKET: 08479 Regular Payments-01.07.25
 VENDOR SET: 01
 BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
 ***** CHECK LISTING *****

PAGE: 2

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
02935	Equipment Share.com, Inc I-4655376-000	Parts for backhoe - Streets	R	1/07/2025		13.69CR	047043	13.69
03197	ETC Institute I-33050	MPDraftFinlSurvyRptInv4-PST	R	1/07/2025		2,000.00CR	047044	2,000.00
03174	Fisher Patterson Sayler & Smith, LLP I-110636	NLMgmtvsPkvProfFees113024-Admn	R	1/07/2025		11,630.15CR	047045	11,630.15
01181	Four Star Electric I-31863 I-31867	Fuses - PST WA14 PinecrestPSTermBox-Sewer	R R	1/07/2025 1/07/2025		120.00CR 12,211.00CR	047046 047046	 12,331.00
00051	Galls, Inc. I-029882660 I-029987383 I-030016810 I-030027509 I-030059023 I-030059039	Uniform Tie PO Blakemore-PD Blakemore uniforms - PD Uniforms Blakemore-PD NameTagBlakemore-PD Blakemore emblem-PD Blakemore shirt - PD	R R R R R R	1/07/2025 1/07/2025 1/07/2025 1/07/2025 1/07/2025 1/07/2025		14.95CR 549.27CR 474.20CR 10.39CR 6.99CR 92.20CR	047047 047047 047047 047047 047047 047047	 1,148.00
02448	Hi-G Excavating LLC I-2063	PLP Mowing Brush hog-PST	R	1/07/2025		1,900.00CR	047048	1,900.00
03230	Hutchinson Salt Company, Inc I-191016	Acct 1480/Salt107.69Tn-Streets	R	1/07/2025		6,253.55CR	047049	6,253.55
03229	LeadsOnline Parent, LLC I-415955	Investigative SW Program-PD	R	1/07/2025		3,016.00CR	047050	3,016.00
02967	Linde Gas & Equipment INC I-46717070	CylinderLeaseAcetylene-Streets	R	1/07/2025		225.75CR	047051	225.75
01097	Lippert Mechanical Service I-SI2125699	Mnt ContrtHVAC 12/01-02/28-Adm	R	1/07/2025		720.00CR	047052	720.00
01353	Mid-States Propane, Inc. I-70708	3300 gals Propane - PST	R	1/07/2025		537.00CR	047053	537.00
01690	Missouri Door Co. I-56584	Repairs, lockset&Weathrstp-Adm	R	1/07/2025		1,816.00CR	047054	1,816.00

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
02420	National Fire Supression I-NAT048952	FireAlarmMalfunction/Rpr-Admin	R	1/07/2025		370.00CR	047055	370.00
02440	Overland Park Awards I-37634	PaintParkvl 2024 Plaque-Admin	R	1/07/2025		22.50CR	047056	22.50
02657	Park University I-Baseball	Donation TeamVol Baseball-PNS	R	1/07/2025		250.00CR	047057	250.00
01168	Parkville Area Chamber & EDC I-3740	AnnualCityContribution-Admin	R	1/07/2025		40,000.00CR	047058	40,000.00
01701	Platte County Citizen I-47471	Apr2025 CandidateFilingNot-Adm	R	1/07/2025		55.00CR	047059	55.00
00107	Platte Rental & Supply I-113358-1	Chainsaw air filters - PNS	R	1/07/2025		21.07CR	047060	21.07
00904	Police Legal Sciences Inc I-12965	2025 OnlinePDTrng-PD	R	1/07/2025		1,610.00CR	047061	1,610.00
01138	R.L. Buford & Associates, LLC I-24518	TrnDpt&SpFtn Survey-PST	R	1/07/2025		2,800.00CR	047062	2,800.00
00114	Rampart Security, Inc. I-90186	Jan-MarShopSecMonitg-Streets	R	1/07/2025		44.00CR	047063	44.00
01982	Rejis Commission I-544716	Dec2024 Service - PD	R	1/07/2025		268.20CR	047064	268.20
00378	Rockridge Quarry I-311275	Recycle Rock 3tn - Streets	R	1/07/2025		51.00CR	047065	51.00
03214	Simply Living LLC I-1654	Building Repair-Mnt - Admin	R	1/07/2025		550.00CR	047066	550.00
03029	Southern Platte Fire Protection District I-24-131	Dec2024 Tornado Siren Agrmt-PW	R	1/07/2025		150.00CR	047067	150.00
03165	SWT Design, Inc I-23472	MP Needs/Op Assessmentt - PST	R	1/07/2025		8,820.00CR	047068	8,820.00

1/03/2025 9:46 AM
PACKET: 08479 Regular Payments-01.07.25
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

PAGE: 4

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
00154	T-Ray Specialties Inc.							
	I-44251	City Hall - Ice Melt - Admin	R	1/07/2025		49.89CR	047069	
	I-44255	Trash bags - Streets	R	1/07/2025		449.88CR	047069	
	I-44270	Urinal Screens - PST	R	1/07/2025		43.74CR	047069	543.51
01573	Urban Tree Specialists							
	I-27140	AdamsPkTreePruning-PST	R	1/07/2025		850.00CR	047070	
	I-27177	WA65 TreeRemoval 6thSt-Streets	R	1/07/2025		1,600.00CR	047070	
	I-27213	Sullivan Sanctuary - PNS	R	1/07/2025		3,300.00CR	047070	5,750.00

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	41	0.00	116,672.96	116,672.96
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	41	0.00	116,672.96	116,672.96

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
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** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT

10	1/2025	64,111.47CR
30	1/2025	13,991.03CR
40	1/2025	9,704.21CR
41	1/2025	19,142.98CR
42	1/2025	6,152.20CR
60	1/2025	3,571.07CR
=====		
ALL		116,672.96CR

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
02657	Park University I-Track/XC	Donation team vol Track/XC-PNS	R	1/07/2025		250.00CR	046902	250.00

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	1	0.00	250.00	250.00
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	1	0.00	250.00	250.00

TOTAL ERRORS: 0
TOTAL WARNINGS: 0

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
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** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT
60	1/2025	250.00CR
ALL		250.00CR

12/31/2024 2:27 PM
PACKET: 08478 Regular Payments-YEPilotPmts
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

PAGE: 1

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
03073	City of Parkville I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		17,349.08CR	047016	17,349.08
03074	M & M Replacement Tax I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		20,585.59CR	047017	20,585.59
03068	Clay, Platte, Ray Mental Health Board of Trustees I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		2,578.92CR	047018	2,578.92
01789	Metropolitan Community Colleges I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		5,163.55CR	047019	5,163.55
03069	Mid Continent Public Library I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		9,011.92CR	047020	9,011.92
01350	Park Hill School District Education Foundation I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		154,263.29CR	047021	154,263.29
03065	Platte County I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		285.91CR	047022	285.91
03067	Platte County Board of Services for the Disabled I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		3,359.45CR	047023	3,359.45
03066	Platte County Health Department I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		2,064.28CR	047024	2,064.28
03071	Platte County Road #1 I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		9,463.65CR	047025	9,463.65
03070	Senior Citizen Levy I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		1,292.32CR	047026	1,292.32
03075	Southern Platte County Ambulance I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		5,946.95CR	047027	5,946.95
03029	Southern Platte Fire Protection District I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		48,404.74CR	047028	48,404.74
03063	State Blind Pension Fund I-DEC2024	2024 CreeksideSurplusPilot Pmt	R	12/31/2024		1,715.47CR	047029	1,715.47

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
* * T O T A L S * *								
			NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED		
		REGULAR CHECKS:	14	0.00	281,485.12	281,485.12		
		HANDWRITTEN CHECKS:	0	0.00	0.00	0.00		
		PRE-WRITE CHECKS:	0	0.00	0.00	0.00		
		DRAFTS:	0	0.00	0.00	0.00		
		VOID CHECKS:	0	0.00	0.00	0.00		
		NON CHECKS:	0	0.00	0.00	0.00		
		CORRECTIONS:	0	0.00	0.00	0.00		
		REGISTER TOTALS:	14	0.00	281,485.12	281,485.12		
TOTAL ERRORS: 0 TOTAL WARNINGS: 0								

12/31/2024 2:27 PM
PACKET: 08478 Regular Payments-YEPilotPmts
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
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** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT

94	12/2024	281,485.12CR
=====		
ALL		281,485.12CR

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
02534	Stewart Title Company I-121824	PlatSubdvnLot17,18&Trct0-Admn	R	12/18/2024		1,000.00CR	045742	1,000.00

* * T O T A L S * *

	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	1	0.00	1,000.00	1,000.00
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	1	0.00	1,000.00	1,000.00

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

**** CHECK LISTING ****

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
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** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT
22	12/2024	1,000.00CR
ALL		1,000.00CR

12/30/2024 9:28 AM
PACKET: 08470 Regular Payments-R Stone
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
01358	Randall Stone, Jr. I-03302024	Randall Stone, Jr.		R 12/30/2024		12.05CR	046900	12.05

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	1	0.00	12.05	12.05
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	1	0.00	12.05	12.05

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

12/30/2024 9:28 AM
PACKET: 08470 Regular Payments-R Stone
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
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** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT

10	12/2024	12.05CR
=====		
ALL		12.05CR

12/31/2024 8:50 AM
PACKET: 08476 Regular Payments-RiverNDev
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

PAGE: 1

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
01198	River North Development LLC I-123024	2024 TIF Agrmt Disbursement	R	12/31/2024		408,453.80CR	046901	408,453.80

* * T O T A L S * *	NO#	DISCOUNTS	CHECK AMT	TOTAL APPLIED
REGULAR CHECKS:	1	0.00	408,453.80	408,453.80
HANDWRITTEN CHECKS:	0	0.00	0.00	0.00
PRE-WRITE CHECKS:	0	0.00	0.00	0.00
DRAFTS:	0	0.00	0.00	0.00
VOID CHECKS:	0	0.00	0.00	0.00
NON CHECKS:	0	0.00	0.00	0.00
CORRECTIONS:	0	0.00	0.00	0.00
REGISTER TOTALS:	1	0.00	408,453.80	408,453.80

TOTAL ERRORS: 0 TOTAL WARNINGS: 0

12/31/2024 8:50 AM
PACKET: 08476 Regular Payments-RiverNDev
VENDOR SET: 01
BANK : AP Pooled Cash Regular AP

A / P CHECK REGISTER
**** CHECK LISTING ****

PAGE: 2

VENDOR	NAME / I.D.	DESC	CHECK TYPE	CHECK DATE	DISCOUNT	AMOUNT	CHECK NO#	CHECK AMOUNT
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** POSTING PERIOD RECAP **

FUND	PERIOD	AMOUNT
91	12/2024	408,453.80CR
=====		
ALL		408,453.80CR

DEPT: ALL

PAYROLL NO#: 01

PAY PERIOD BEGINNING: 12/07/2024

PAY PERIOD ENDING: 12/20/2024

*** G R A N D T O T A L S ***

-----EARNINGS-----			----BENF/REIMB-----		-----DEDUCTIONS-----				-----TAXES-----			
DESC	HRS	AMOUNT	DESC	AMOUNT	CD	ABBV	EMPLOYEE	EMPLOYER	DESC	TAXABLE	EMPLOYEE	EMPLOYER
SSAL	0.00	3,115.46	LIFE	173.62	ACI	ACI	282.40		FED W/H	128,539.07	13,990.37	
SLRY	920.00	50,701.24			ADD	ADD	318.86	362.28	ST WH MO	128,539.07	4,530.00	
REG	2,283.50	67,649.90			ADE	ADE		11.00	FICA	126,998.05	7,873.89	7873.89
BAIL	2.00	121.35			AMN	ADMN		28.26	MEDI	133,088.07	1,929.77	1929.77
OVT	100.80	4,989.48			DCA	DCA	319.58					
VAC	141.04	4,434.18			DNC	DNC	143.92	204.08				
SICK	140.80	4,687.36			DNE	DNE		327.00				
FTO	48.00	80.00			DNF	DNF	439.68	306.12				
UNP	40.00	0.00			DNS	DNS	21.72	76.53				
CT	2.30	65.16			EMP	EMP	25.00					
CE	29.40	0.00			FLX	FLEX	562.40					
CELL	0.00	225.00			HSA	HSA	1427.33					
AUTO	0.00	1,733.32			IDE	IDE	33.25					
					IDF	IDF	26.25					
					KC2	KC2	450.96					
					LTD	LTD	99.85	109.94				
					M1C	M1C	98.53	500.00				
					M1E	M1EO	113.16	1485.00				
					M1F	M1F	575.94	2250.00				
					M1S	M1S	136.45	500.00				
					M2C	M2C	56.23	500.00				
					M2E	M2EO		742.68				
					M2F	M2F	375.72	2250.00				
					M3C	M3C	147.99	1500.00				
					M3E	M3EO		1711.01				
					M3F	M3F	114.27	750.00				
					M4C	M4C		492.93				
					M4F	M4F	25.59	750.00				
					M5C	M5C		957.66				
					M5E	M5E		852.36				
					M5F	M5F	6.68	1500.00				
					M5S	M5S	18.44	1000.00				
					R4A	457FL	3825.00					
					R4M	457M	724.00	349.21				
					RLE	RLE		15527.01				
					RPD	RPD		8680.89				
					RR%	RR%	815.04					
					RRA	RRA	735.00					
					VC	VSC	44.35					
					VSE	VSE	57.60					
					VSF	VSF	167.90					
					VSS	VSS	34.52					
TOTALS:	3,707.84	137,802.45		173.62			12223.61	43723.96			28,324.03	9803.66

DEPT: ALL

PAYROLL NO#: 01

PAY PERIOD BEGINNING: 12/07/2024

PAY PERIOD ENDING: 12/20/2024

*** G R A N D T O T A L S ***

-----DEPARTMENT RECAP-----

DEPT NO#	GROSS	REGULAR	OVERTIME	LEAVE	OTHER	BENEFITS	DEDUCTIONS	TAXES	NET
10-01	38,859.55	9,208.55	55.25	1,078.08	28,445.20	72.47	5,850.39	7,611.53	25,325.16
10-05	42,139.84	25,866.94	4,741.84	2,837.86	8,619.07	74.13	2,802.71	9,372.96	29,890.04
10-10	3,216.63	2,456.05	119.79	585.64	55.00	0.15	154.37	516.66	2,545.45
10-15	9,382.81	4,406.86	0.00	215.54	4,756.40	4.01	401.67	1,973.88	7,003.25
10-18	14,829.98	8,956.72	0.00	1,555.56	4,309.32	8.38	1,369.72	3,208.19	10,243.69
10-20	14,589.56	9,985.10	72.60	1,932.58	2,592.72	6.56	894.67	2,772.96	10,915.37
10-25	14,225.36	9,152.80	0.00	981.44	4,083.20	7.92	750.08	2,761.82	10,705.54
10-35	732.34	732.34	0.00	0.00	0.00	0.00	0.00	106.03	626.31
TOTALS	137,976.07	70,765.36	4,989.48	9,186.70	52,860.91	173.62	12,223.61	28,324.03	97,254.81

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REGULAR INPUT: 57

MANUAL INPUT: 0

CHECK STUB COUNT: 0

DIRECT DEPOSIT STUB COUNT: 57

ITEM 6.C.1.

For 1/7/2025

Board of Aldermen Meeting

**CITY OF PARKVILLE
Policy Report**

Date: January 2, 2025

Prepared By:

Reviewed By:

ISSUE:

Development Updates

BACKGROUND:

STRATEGIC GOAL(S):

BUDGET IMPACT:

The **Fund Name** Fund includes \$**budgeted amount** for **project name** in the line item ____-____-____-____ on page ____ of the ____ Budget.

ALTERNATIVES:

FINANCE COMMITTEE RECOMMENDATION:

STAFF RECOMMENDATION:

POLICY:

SUGGESTED MOTION:

I move to

...and authorize the _____ Director authority to approve change orders not to exceed 10% of the total value of the contract.

ATTACHMENTS:

1. Development Tracking List

City of Parkville - Development Tracking Spreadsheet

Residential Developments										
Project Name	Address	Parcel No.	Detail	Date Submitted	Approved	Status	Change in Status from Last Month	Construction Start Date	Completion Date	Staff Contact
Platte 38	West of The National 7th Plat	20-8.0-27-100-002-006.000	27 duplex lots and 9 detached home lots	11/1/2021	Yes	Under construction	No change	1/4/2022	2024	Stephen Lachky
Sanctuary At Riss Lake	MO-9 Hwy and Lakeview Dr	20-7.0-26-400-006-001.000	19 duplex lots and 4 tracts of open space	12/28/2021	Yes	Under construction	No change	1/18/2022	2024	Stephen Lachky
Village On The Green East	MO-45 Hwy and Lake Crest Ln	20-7.0-26-200-002-003.001	23 cluster townhomes and 7 1-3 story townhomes	8/6/2021	Yes	Approved	No change	-	2026	Brad Stanton
Village On The Green West	MO-45 Hwy and Lake Crest Ln	20-8.0-27-100-002-002.002	23 cluster townhomes and 7 1-3 story townhomes	8/6/2021	Yes	Approved	No change	-	2026	Brad Stanton
Woods At Creekside 4th Plat	West of Woods At Creekside 3rd Plat	20-4.0-18-000-000-010.003	28 detached home lots	6/10/2022	Yes	Approved	No change	-	2024	Stephen Lachky
Woods At Creekside 5th Plat	West of Woods At Creekside 3rd Plat	20-4.0-18-000-000-010.003	39 detached home lots and 2 tracts of open space	6/10/2022	Yes	Approved	No change	-	2024	Stephen Lachky
River Hills Estates Replat	10118 River Hills Dr	20-8.0-27-400-014-027.000	Replatting 7 detached home lots and 1 tract of open space	6/28/2022	Yes	Approved	No change	-	2023	Brad Stanton
Taliesin	Bell Rd and NW 57th St	20-7.0-26-300-001-047.002	10 detached home lots and 2 tracts of open space	4/4/2023	Yes	Prelim Plat approved	No change	-	2025	Brad Stanton
The Hills At The National	NW Crooked Rd and N National Dr	20-5.0-22-300-001-015.000	74 detached home lots and 4 tracts of open space	4/4/2023	No	On Hold	No change	-	-	Brad Stanton
Creekside West Apartments	NW corner of Hwy 45 and Homer Pkwy	20-4.0-18-000-000-010.001	4 four-story apartment buildings (200 units)	6/9/2023	No	Approved	No change	-	2025	Brad Stanton
The Cliffs At Parkville	West of The National 7th Plat	20-8.0-27-100-002-006.000	33 duplex lots and 3 triplex lots	7/19/2023	No	Application withdrawn	No change	-	2025	Brad Stanton
Thousand Oaks 25th Plat	South of Thousand Oaks Phase 13B	20-9.0-29-000-000-010.001	73 detached home lots and 3 tracts of open space	8/8/2024	Yes	Approved	BOA approval	-	2026	Brad Stanton
Thousand Oaks 26th Plat	West of Thousand Oaks 25th Plat	20-9.0-30-000-000-012.000	51 detached home lots and 3 tracts of open space	9/6/2024	Yes	Prelim Plat approved	P&Z approval	-	2027	Brad Stanton

Commercial and Industrial Developments										
Project Name	Address	Parcel No.	Detail	Date Submitted	Approved	Status	Change in Status from Last Month	Construction Start Date	Completion Date	Staff Contact
Attic Storage	Vertical Ventures III, Lot 3	20-4.0-19-000-000-019.000	New two-story self-straoege facility	1/7/2022	Yes	Completed	No change	8/17/2022	-	Brad Stanton
Dairy Queen	8803 NW MO-45 Hwy	20-7.0-26-100-002-003.000	New 2,400 sq. ft. drive-thru restaurant	1/5/2022	Yes	Completed	No change	4/18/2022	10/6/2022	Brad Stanton
Whataburger	9110 NW 45 Hwy	20-6.0-23-400-003-005.000	New 3,100 sq. ft. drive-thru restaurant	4/8/2022	Yes	Completed	No change	5/1/2023	1/8/2024	Brad Stanton
Taylor Animal Hospital	6300 MO-9 Hwy	20-7.0-26-100-002-002.000	1,840 sq. ft. addition to existing building	4/7/2022	Yes	Completed	No change	9/28/2022	-	Brad Stanton
Contractor's Garages	Vertical Ventures III, Lot 5	20-4.0-19-000-000-023.000	22,160 sq. ft. contractor's self-storage units	8/5/2022	Yes	Completed	No change	-	-	Brad Stanton
Recreation - Indoor (Limited)	2 2nd Street	20-7.0-35-100-027-001.003	Using existing baseball batting cages as a business	7/7/2022	Yes	Approved	No change	N/A	N/A	Brad Stanton
Lodges At The National, Lot 8	10875 Allen Way	20-5.0-22-200-005-002.000	Rezoning property from "R-2-P" to "B-1" district	7/15/2022	No	Withdrawn	No change	N/A	N/A	Stephen Lachky
Parkville Presbyterian Church	819 Main St	20-7.0-35-100-009-006.000	Using interior space for finanical planning office	9/7/2022	Yes	Approved	No change	N/A	N/A	Brad Stanton
Restaurant and Law Offices	12 E 1st St	20-7.0-35-100-035-001.000	Rehab & repurposing 1st floor + 2nd floor expansion	10/7/2022	Yes	Completed	No change	6/12/2023	Fall 2024	Brad Stanton
Friends of Parkville Animal Shelter	1356 N MO-9 Hwy	20-7.0-26-400-002-006.000	Rezoning subject property from "R-4" to "B-4-P"	10/12/2022	Yes	Approved	No change	-	-	Brad Stanton
Creekisde Costa Oil Shop	7024 Elizabeth St.	20-4.0-19-000-000-008.001	835 sq. ft. vehicle service/repair - limited shop	1/27/2023	Yes	Completed	No change	-	-	Brad Stanton
Cingular Wireless AT&T Tower	8403 Observatory Rd	20-7.0-36-000-000-001.000	155 ft. tall monopole telecommunications tower	1/27/2023	Yes	Completed	No change	-	-	Brad Stanton
Park Hill Elementary School No. 8	SW corner of Brush Creek Pkwy	20-4.0-19-000-000-031.000	Two-and-a-half story, 74,410 sq. ft. elementary school	6/9/2023	Yes	Under Construction	No change	2/29/2024	7/1/2025	Brad Stanton
8 East Street	8 East St.	20-7.0-35-400-004-001.000	Interior + exterior remodeling of two-story building	7/5/2023	Yes	Completed	No change	Fall 2023	Early 2025	Stephen Lachky
Chase Bank	9000 NW 45 Hwy	20-6.0-23-400-005-002.000	3,333 sq. ft. office/bank building w/ ATM drive-thru	11/2/2023	Yes	Completed	No change	Spring 2024	Fall 2024	Brad Stanton
Exploring Minds Academy	15485 Old Town Dr	20-4.0-19-000-000-008.017	New two-story, 20,000 sq. ft. daycare center	4/3/2024	Yes	Approved	No change	TBD	TBD	Brad Stanton
Codes Marijuana Dispensary	16209 NW MO-45 Hwy	20-4.0-19-000-000-025.000	New one-story, 3,200 sq. ft. marijuana dispensary	4/3/2024	Yes	Approved	No change	TBD	TBD	Brad Stanton
Parkville Business Park	NW Corner of I-435 and Hwy 152	20-3.0-07-000-000-003.001	Platting + dev plan for 3 lots for office/warehouse uses	5/10/2024	Yes	Approved	No change	TBD	TBD	Brad Stanton
Creekside Grocery Store	NW Corner of Rustic Ln and Elizabeth St	20-4.0-19-000-000-008.001	25,395 sq. ft. grocery store + 10,615 sq. ft. event space	6/5/2024	Yes	Approved	No change	TBD	TBD	Brad Stanton
Creekside Restaurant	NE Corner of Rustic Ln and Elizabeth St	20-4.0-19-000-000-008.010	New one-sotry, 5,070 sq. ft. restaurant building	6/5/2024	Yes	Under Construction	No change	TBD	TBD	Brad Stanton
Creekside Industrial Complex	15854 NW MO-45 HWY	20-4.0-18-000-000-011.000	Rezoning + prelim dev plan for 5 lots for industrial uses	10/4/2024	No	1st Reading Approved	Dec. 3 BOA 1st reading	TBD	TBD	Brad Stanton

Parkville Parks and Recreation 2025 Events				
Event Name	Organization	Date	Type	Location
Time Travelers Marathon	Bodies Race Company	1/4/2025	Race	ELP
Couple Shuffle 5K	Bodies Race Company	2/16/2025	Race	ELP
Sporting KC Rec League	Sporting KC	3/10/2025	League	Friends Field
Soccer Shots Spring Season	Soccer Shots	4/2/2025	League	Friends Field
Path to Change 5K/Youth with Vision	Beacon Mental Health	4/12/2025	Race	ELP
Community Heros Storytime	MCPL	4/23/2025	Program	ELP
Parkville Brewfest	MSPA	4/26/2025	Festival	ELP
Parkville Farmers Market	Farmers Market Association	4/26/2025	Market	Downtown
Women on the Move 5K	AWLF (Womens Lawyers)	5/3/2025	Race	ELP
Northland Mothers Day 5K	Equal Start	5/10/2025	Race	ELP
Midwest Walk-Run-N-Roll	SRNA	5/17/2025	Race	ELP
Memorial Day Carnival	CID	5/23/2025	Festival	Downtown
DBN Fest	Lucas Mertz	5/31/2025	Concert	McKeon Stage
Jazz Festival	Banneker Foundation	6/7/2025	Concert	ELP
Rolling on the River Bike Ride	Parkville and Platte County	6/7/2025	Race	ELP
Hometown Half Marathon	Bodies Race Company	6/14/2025	Race	ELP
4th of July Parade	MSPA	7/4/2025	Parade	Downtown
Ronald MacDonald House 5K	RMHC	8/17/2025	Race	ELP
Parkville Days	MSPA	8/22/2025	Festival	Downtown
Pumpkin Carving	Parkville Parks and Rec	10/23/2025	Event	ELP
Strong Like Lisa 5K	Strong Like Lisa	10/25/2025	Race	ELP
Ghost Stories and Haunted Trail	Parkville Parks and Rec	10/25/2025	Event	Nature Sanctuary
Turkey Trot 5K	Turkey Trot	11/27/2025	Race	ELP
Christmas on the River	MSPA	12/5/2025	Festival	Downtown
Candy Cane Course 5K	Bodies Race Company	12/13/2025	Race	ELP