

1. GENERAL AGENDA

Mayor Dean Katerndahl opened the work session at 5:02 p.m. on August 20, 2024, at City Hall, 8880 Clark Avenue, Parkville, Missouri. In attendance were aldermen Tina Welch, Philip Wassmer, Brian T. Whitley, Bob Bennett, Douglas Wylie, Stephen Melton, Michael Lee and Allyson R. Berberich. Community Land and Recreation Board members in attendance were Adam Zink, Nate Askren, Jessica Holz, Mary Jane Kuehn, Michelle Flamm, and Dana Laiben. Planning and Zoning Commission members in attendance were Michael Wright, Barbara Wassmer, Gareld Butler, Andrew Barchers and Tim Cahill.

The following staff was also present:

Alexa Barton, City Administrator
Bryan Kidney, Deputy City Administrator/Finance Director
Jeffery Rhodes, Assistant City Administrator
Kevin Chrisman, Police Chief
Stephen Lachky, Community Development Director
Brittanie Propes, Parks & Recreation Director
Chris Ashley, Parks & Recreation Project Manager
John Mautino, City Attorney

A. Farmers Market Design Documents Review

Austin Massoth, BBN Architects, provided an overview of the architecture and Scott Bingham, BBN Architects, provided an overview of the lighting included in the base bid, the landscaping and design. Bingham said that the bollards that would be located slightly north of the former location; the parking lot would be sloped to drain water to an outlet to White Alloe Creek; the landscaping to the south would improve the parking lot; and electricity would be protected from flooding.

Discussion focused on electrical outlets in the columns, removable stops for other types of use or events, the only curbs that would be placed on the west side at the island and avoiding tripping hazards. It was stated that the bid alternates would include items related to the east parking lot, not including the second island that would be part of the base bid; and the second alternate would be items on the west side of East Street.

Bingham said that they anticipated that construction documents would be bid in mid-September and crews would break ground in November.

B. Proposed Landscape Design Standards to be incorporated into Parkville Municipal Code Chapter 407

Chris Cline, Confluence, said the site and landscape design standards were added to the architectural design standards project and the goal was to ensure the recommended changes were attainable.

Cline noted that the Community Land and Recreation Board had requested 70 percent of the landscaping be native, which was discussed with the Planning and Zoning Commission. He said that if the recommended threshold was a requirement at every site, it could be hard to find or not readily available. Other communities recommended the threshold be set at 60

percent due to availability and because not many other communities had the requirement. He added that several suppliers also recommended 60 percent because natives were hard to find. They also recommended allowing cultivars of natives, which were shorter varieties of the same plants with the same benefits.

Chris Shires, Confluence, provided an overview of additional recommendations.

Discussion focused on the 60 percent natives' threshold, adding some definitions to the recommended text amendments and defining the difference between 60 and 70 percent natives.

C. Proposed changes to City's sewer billing

Deputy City Administrator/Finance Director Bryan Kidney said that the City was working with the Platte County Regional Sewer District (PCRSB) to discuss efficiencies between sewer operations and billing. The operations and maintenance of the City's system was outsourced to PCRSB on January 1, at which time they talked about moving over sewer billing services in the future. The Parkville Municipal Code needed to be updated to provide clear directions to PCRSB about billing services.

City Administrator Alexa Barton stated that staff and PCRSB had discussed the next steps if both parties determined they were satisfied with the sewer operations. Because PCRSB did not process grinder pump fees, staff met with the Riss Lake homeowners' association (HoA) and determined that the City would handle the August and September billing for grinder pumps and they would begin in October. Barton added that staff was working on a communications plan to notify customers of the change, along with a flyer to explain the County's sewer bills.

Discussion focused on concerns from the HoA about the quick turnaround for the grinder pump payments, ensuring customer service was at the same level as the service provided by Parkville and the charge for new account holders.

Dan Koch, PCRSB Executive Director, said that communications could be done through the sewer bills and customers could create an online account.

D. Code of Ethics amendments to remove reference to employees

City Administrator Alexa Barton said that the ethics ordinance was discussed in 2023 and the Board gave direction that changes only be made to remove references to employees. The ethics ordinance had to be renewed every two years and changes were due by September 15. Because employees were subject to personnel actions, the proposed amendments would remove references to employees.

2. ADJOURN

The work session ended at 7:07 p.m.

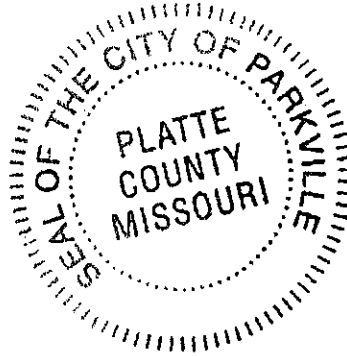
MINUTES OF THE BOARD OF ALDERMEN WORK SESSION OF AUGUST 20, 2024

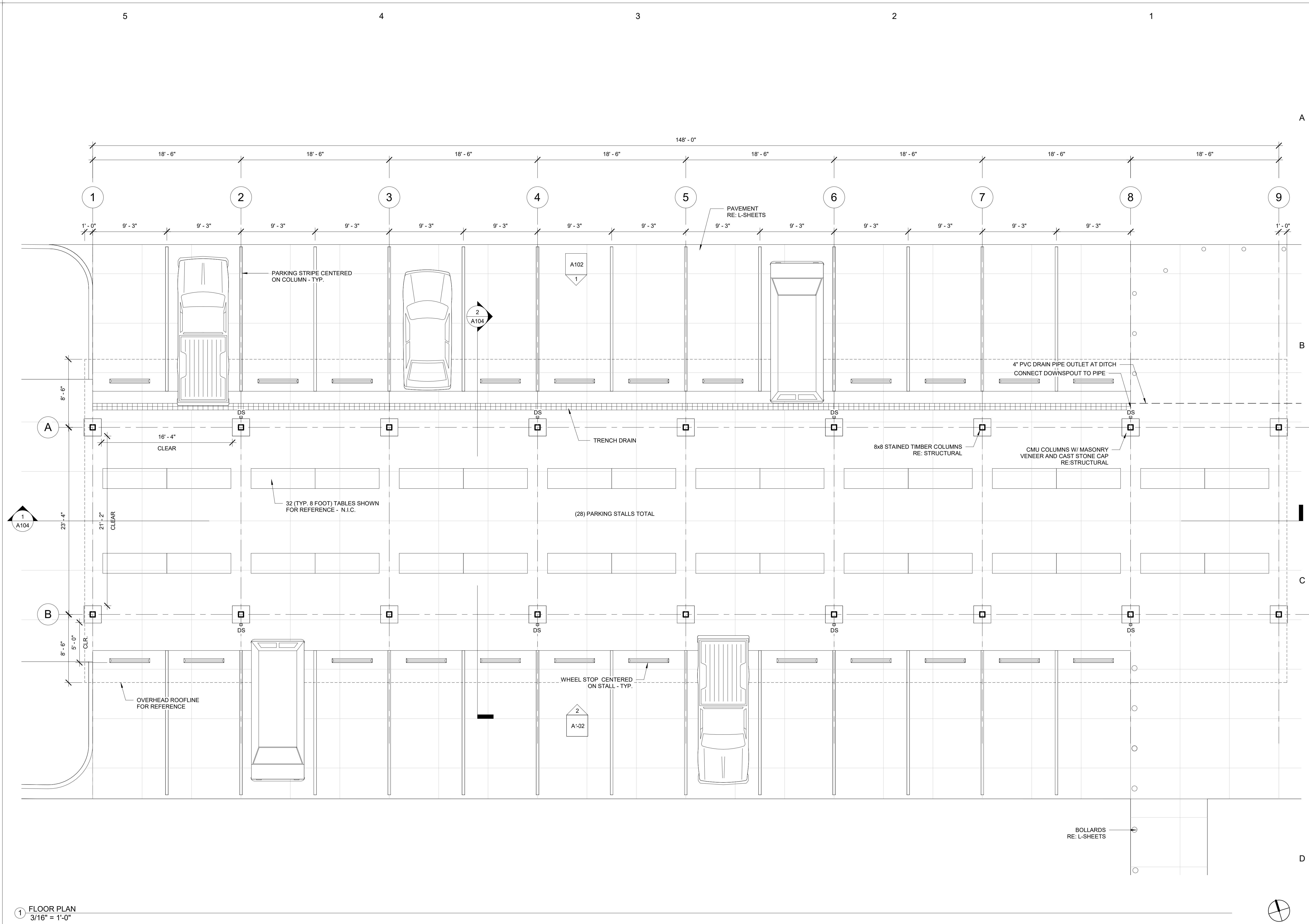
Page 3 of 3

The work session minutes for August 20, 2024, having been read and considered by the Board of Aldermen, and having been found to be correct as written, were approved on this the third day of September 2024.

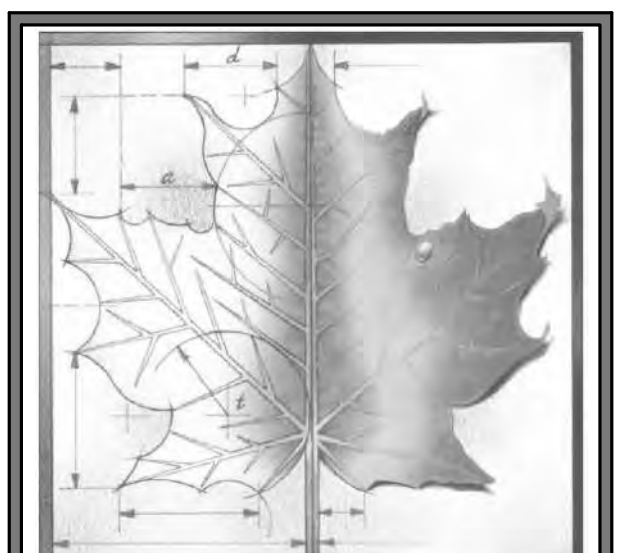
Submitted by:

Melissa McChesney
City Clerk Melissa McChesney





1 FLOOR PLAN
3/16" = 1'-0"



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Project Number:

Date: **AUGUST 20, 2024**

Project Name: **Farmers Market Parkville**

Project Address: **S. EAST ST. & McAFEE ST. PARKVILLE, MO 64152**

Sheet Title: **FLOOR PLAN**

Sheet: **A101**

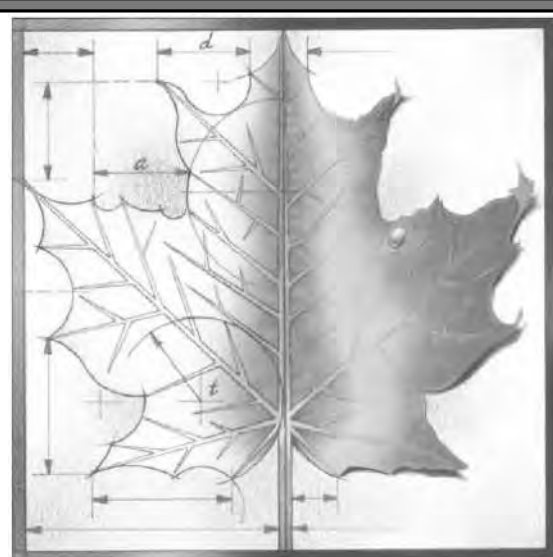
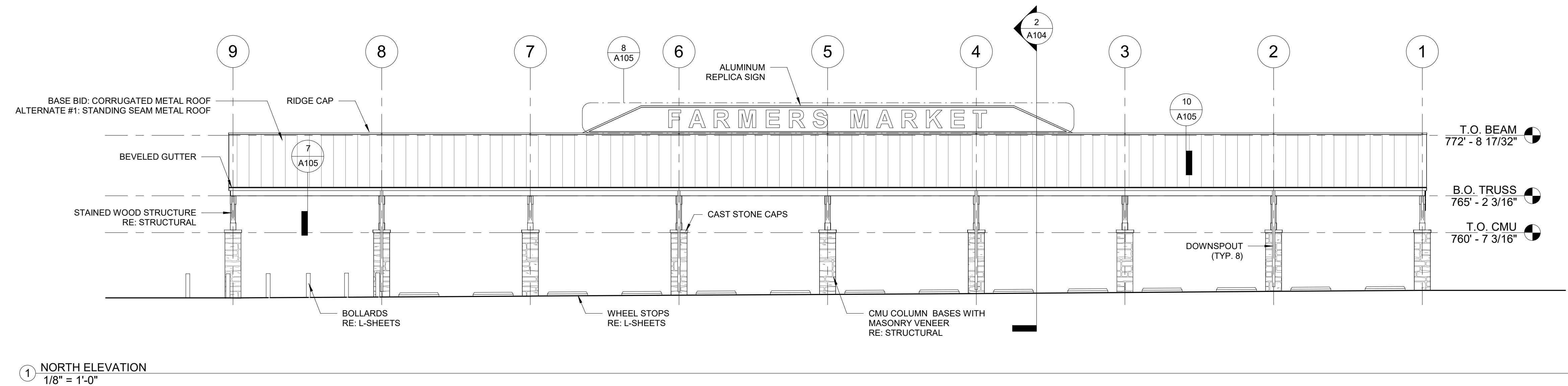
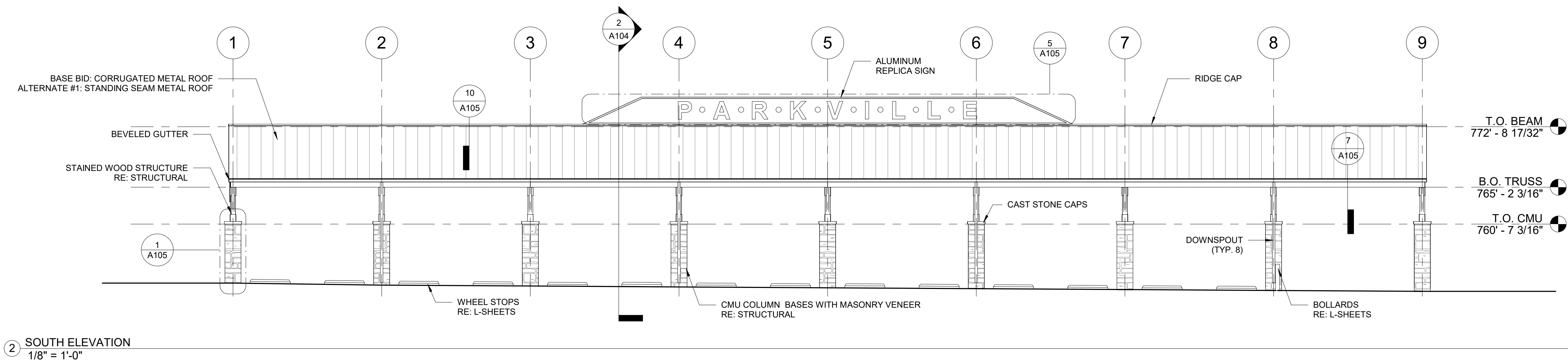
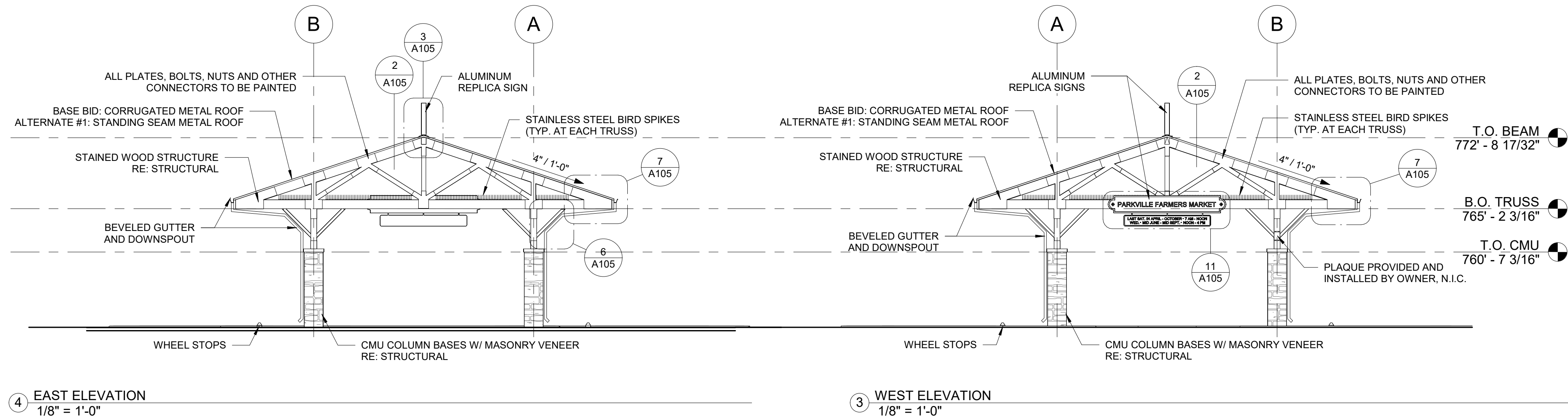
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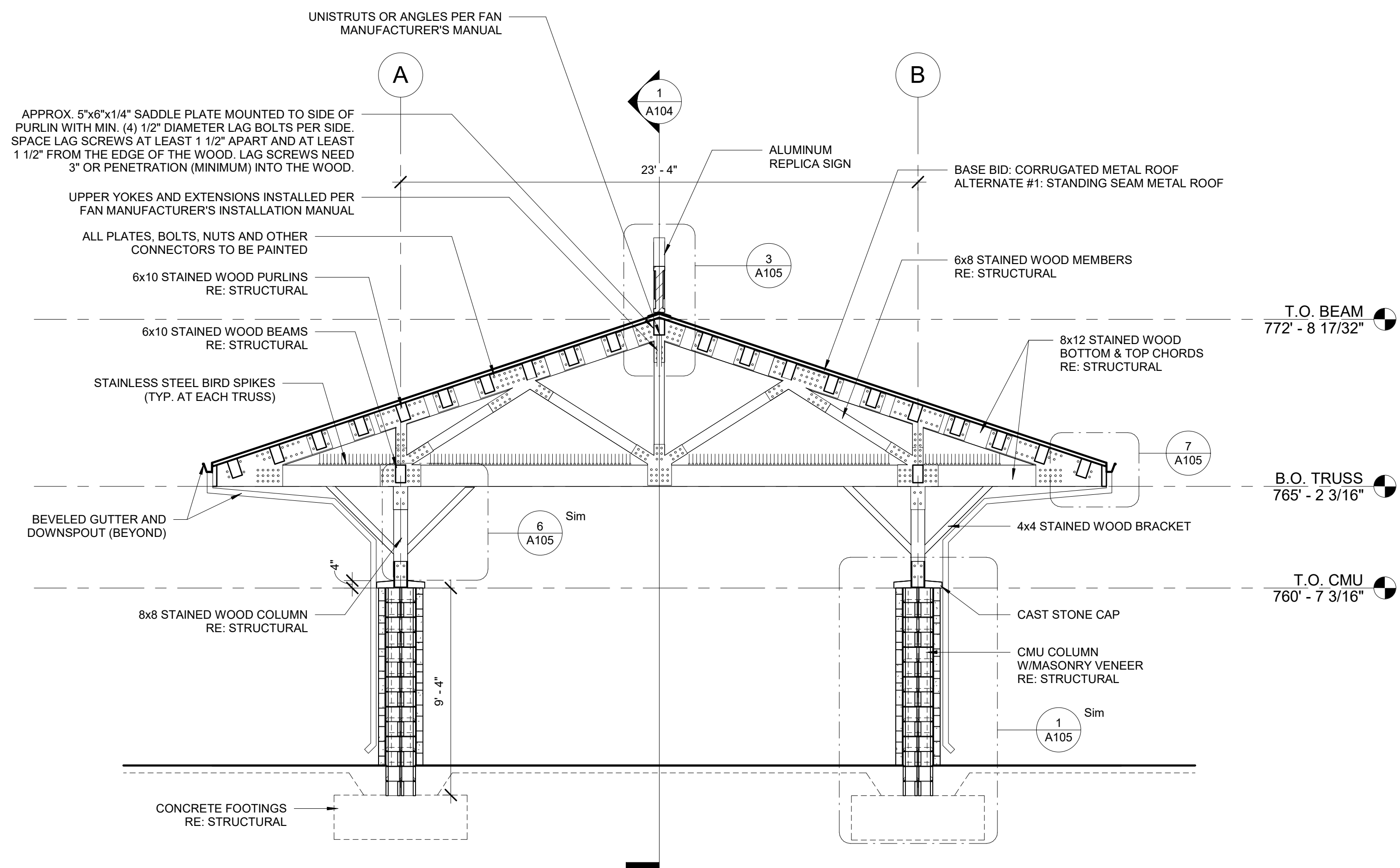
**S. EAST ST. & MCAFEE ST.
PARKVILLE, MO 64152**

Sheet Title:

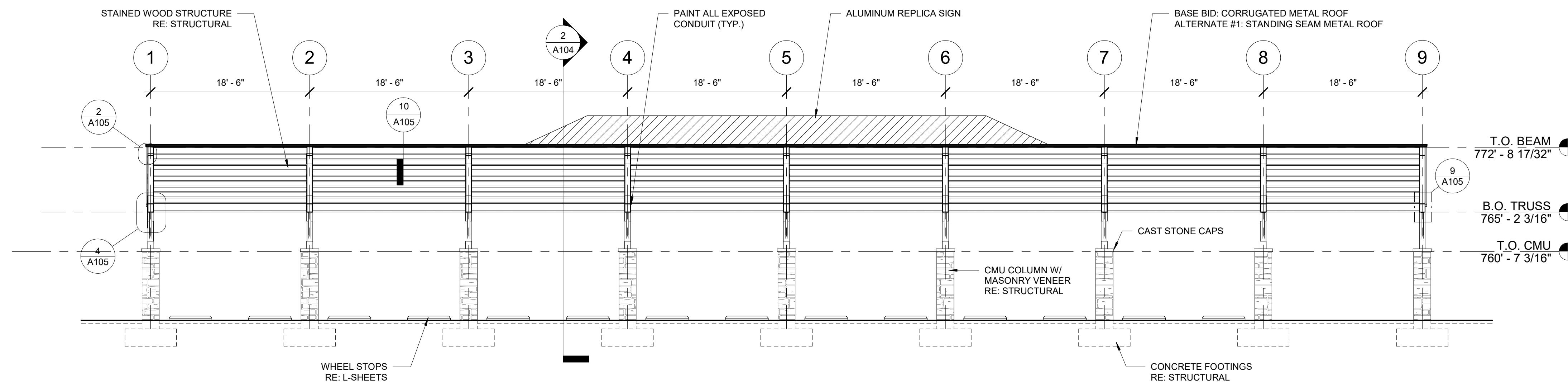
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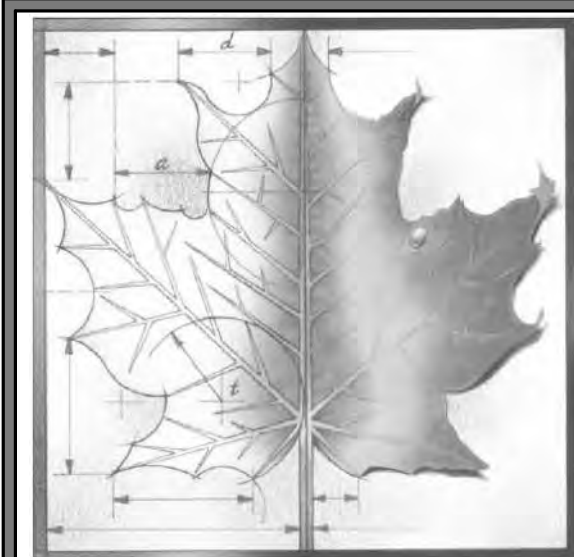
A102



SECTION 2
1/4" = 1'-0"



SECTION 1
1/8" = 1'-0"



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PARKVILLE, MO 64152**

Sheet Title:

SECTIONS

Sheet:

A104

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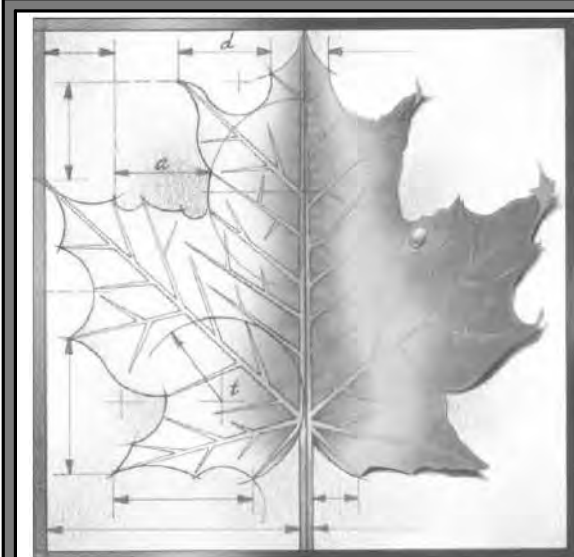
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② PERSPECTIVE VIEW FROM EAST
FOR REFERENCE ONLY



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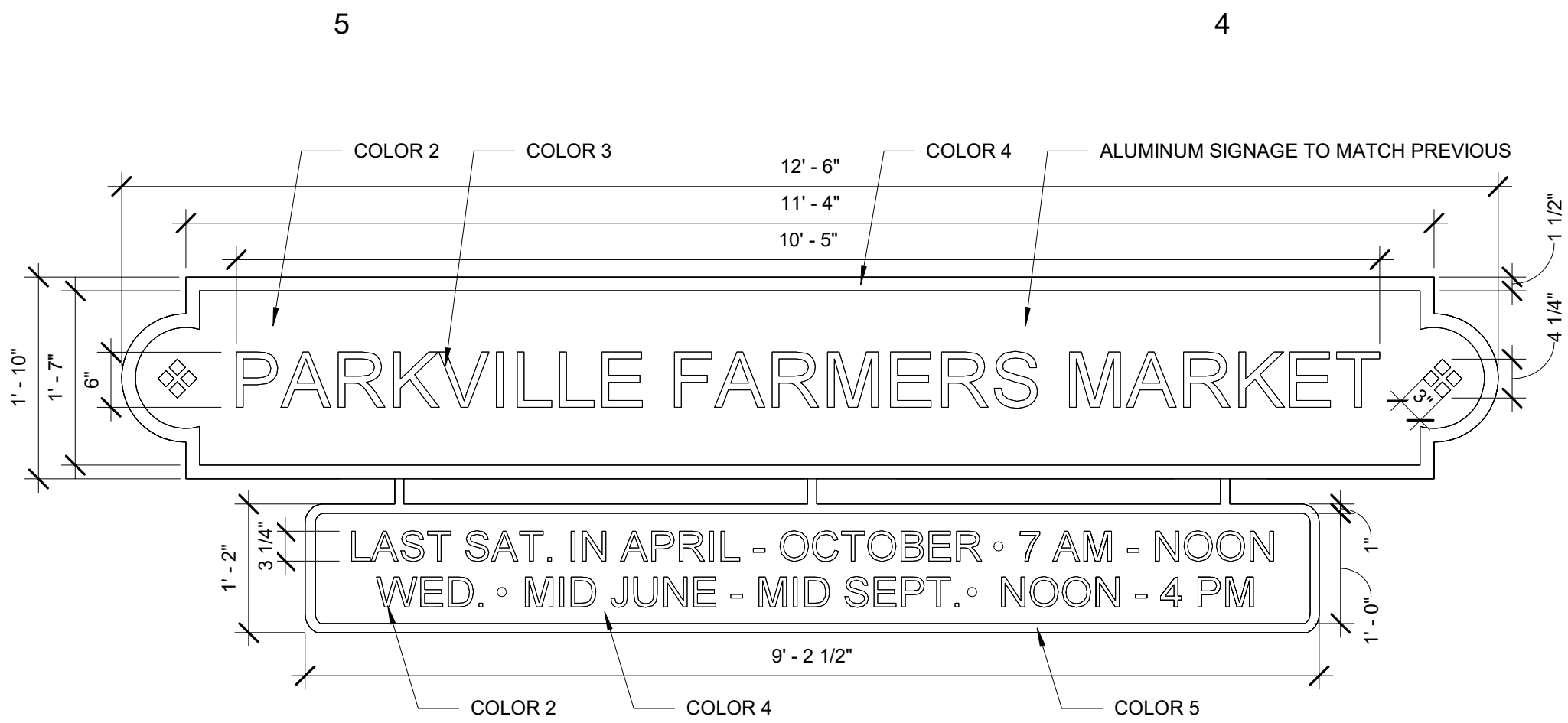
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PARKVILLE, MO 64152

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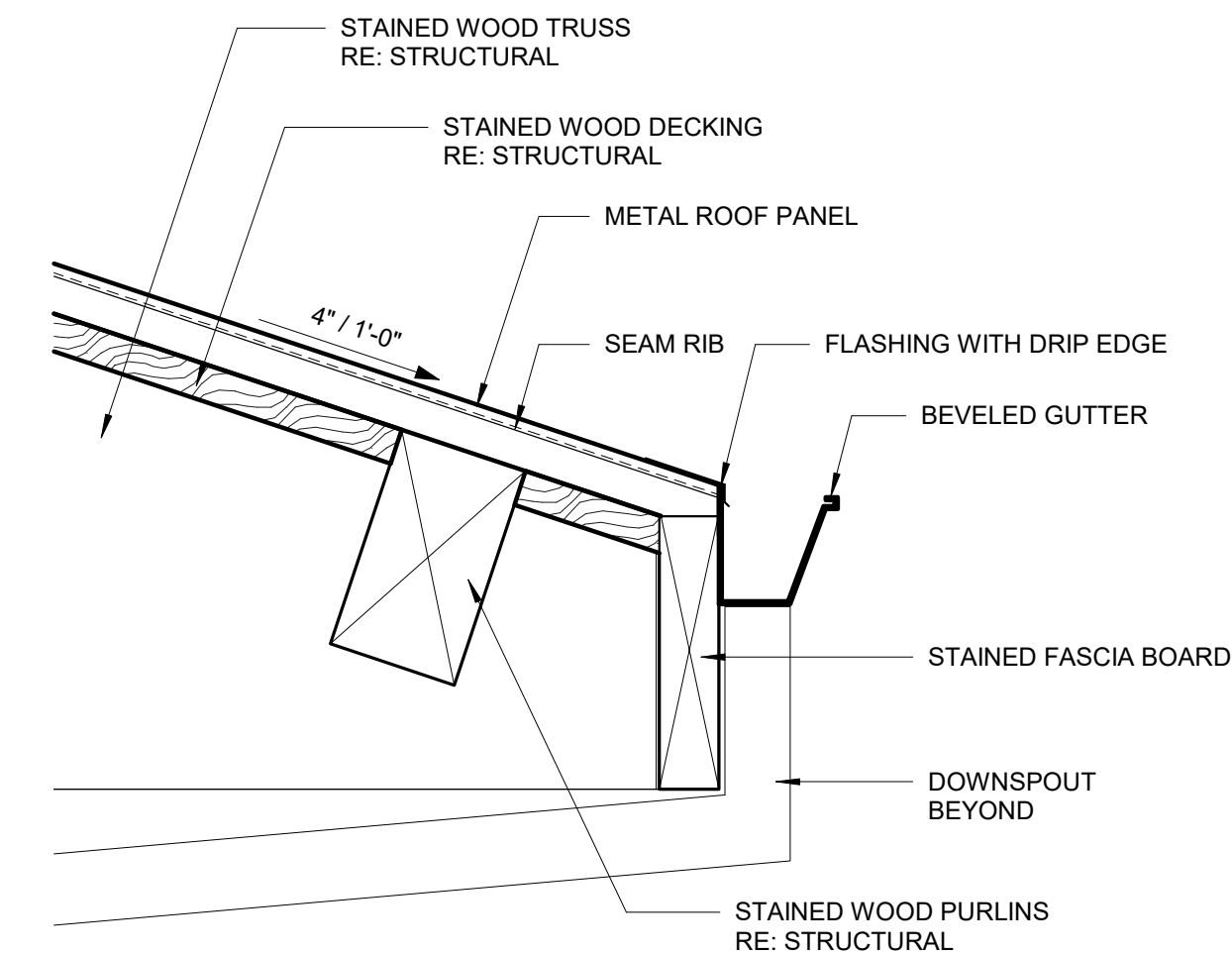
PERSPECTIVES

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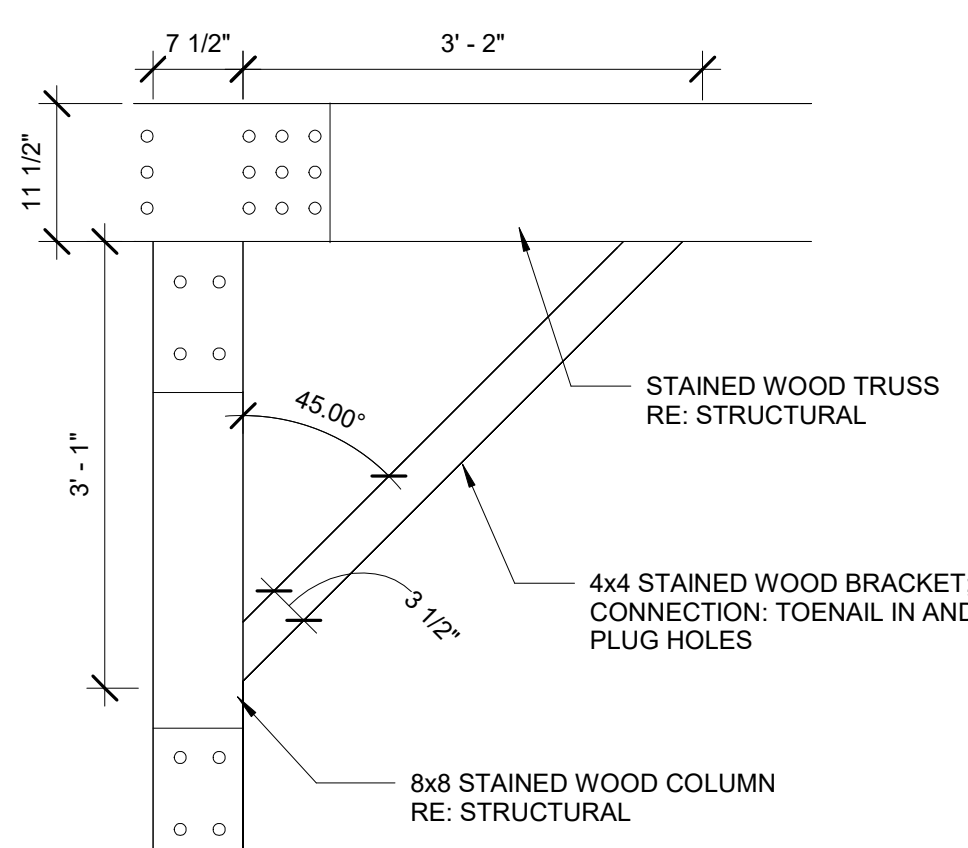
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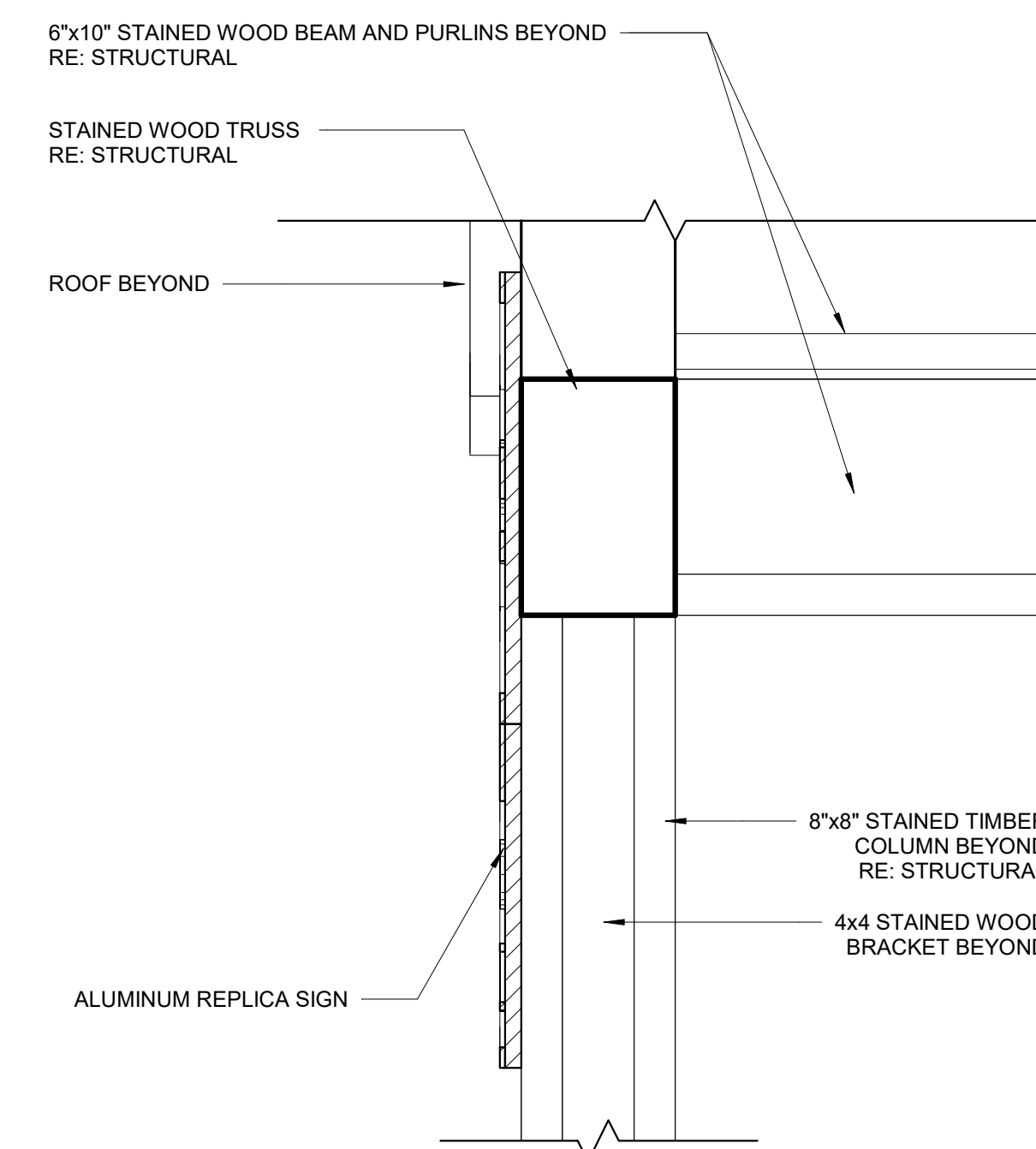
11 SMALL SIGN DETAIL
3/4" = 1'-0"



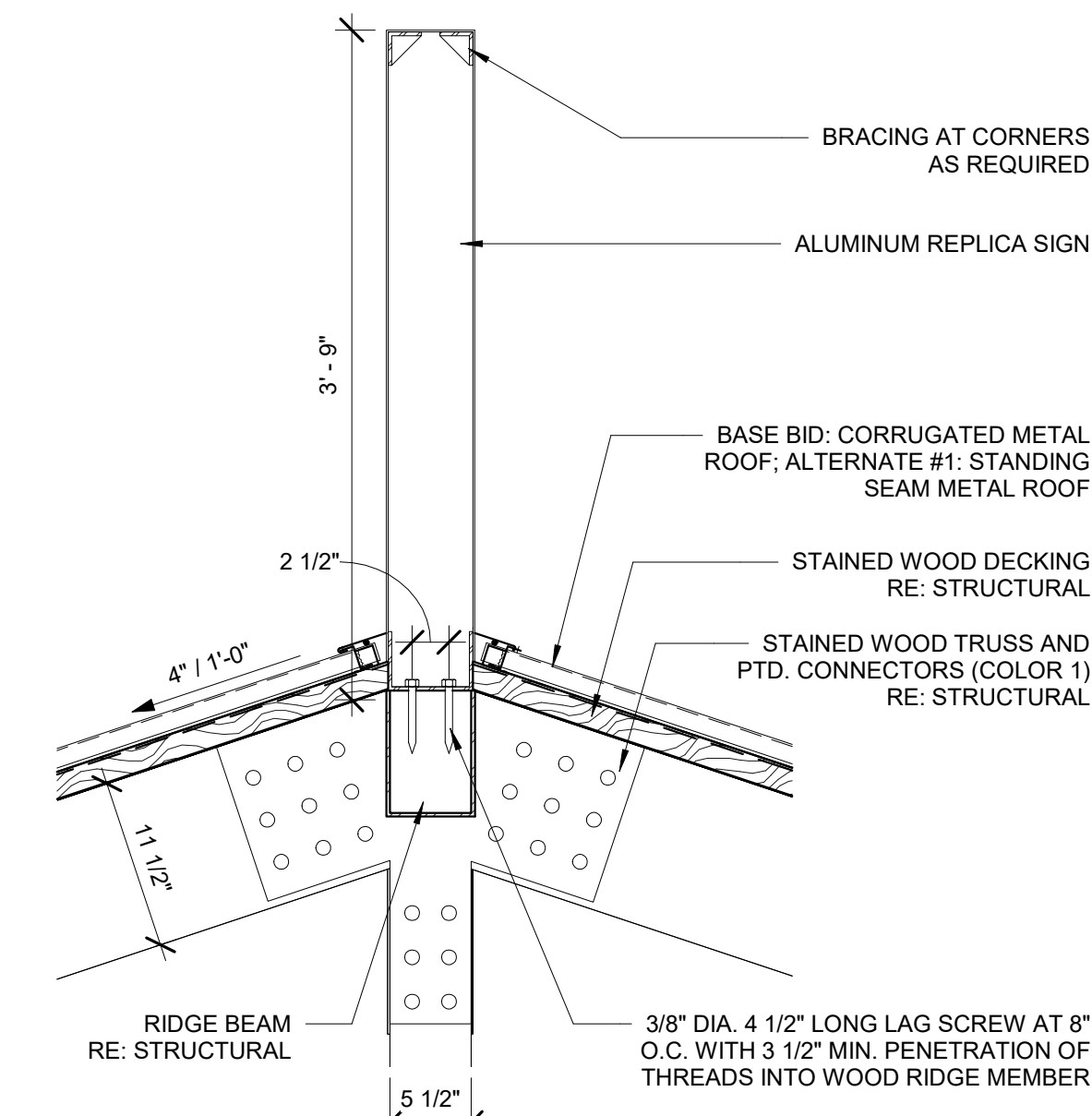
7 EAVE DETAIL
1 1/2" = 1'-0"



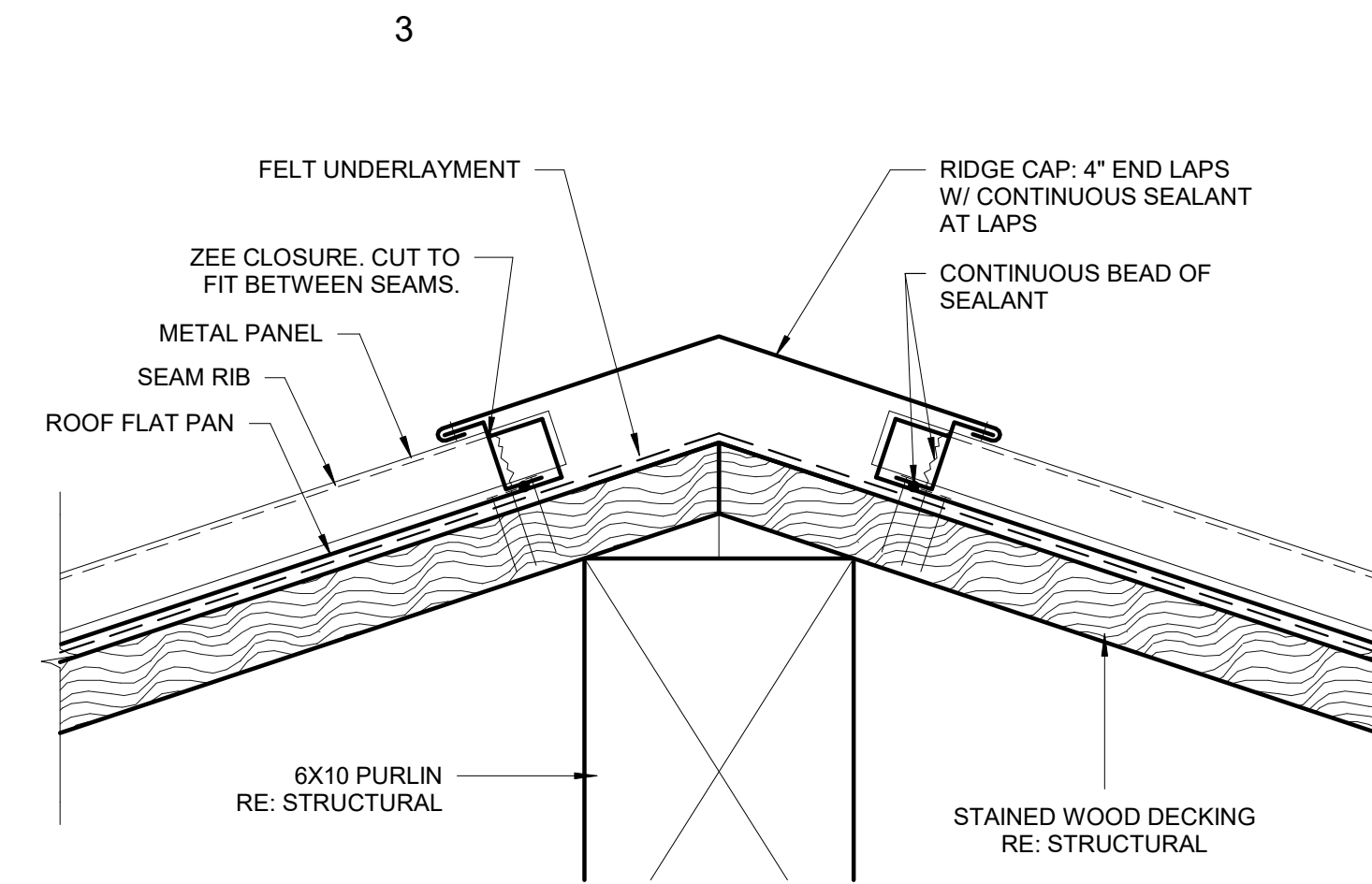
6 BRACKET DETAIL
3/4" = 1'-0"



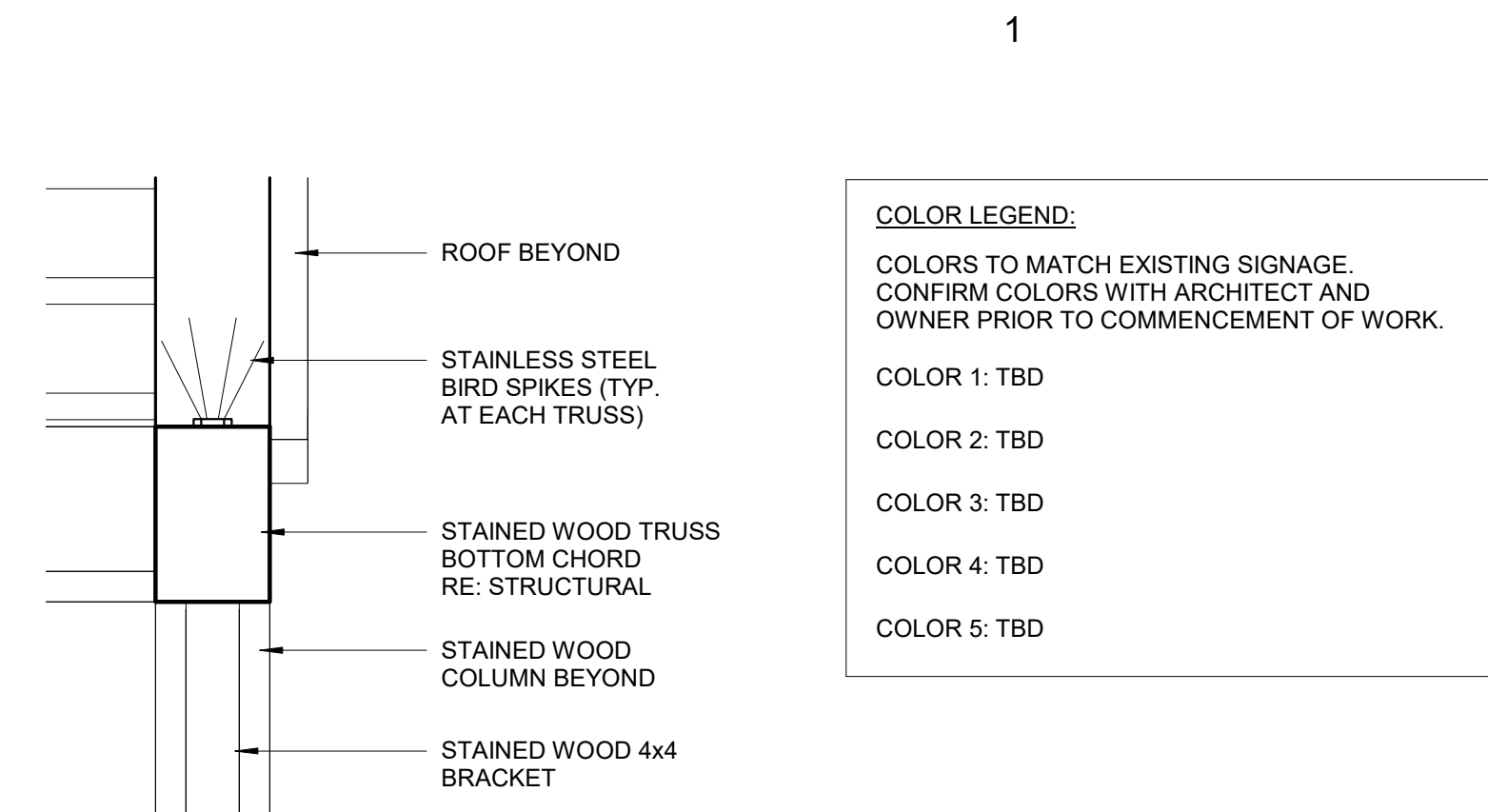
4 SMALL AL. SIGN CONNECTION DETAIL
1 1/2" = 1'-0"



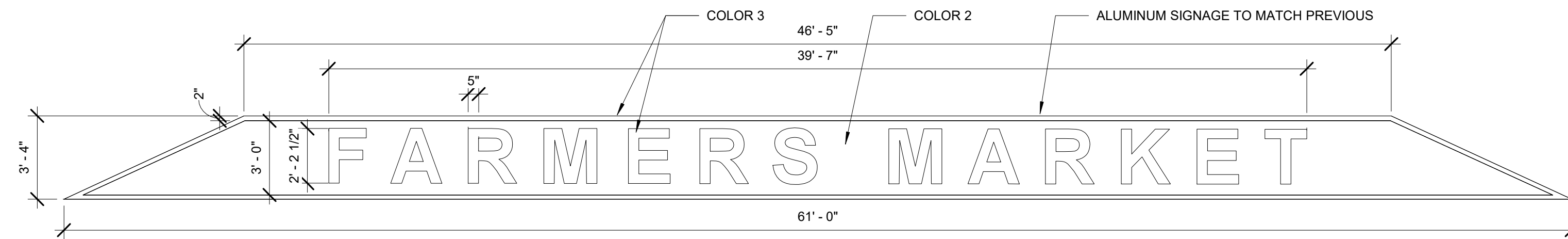
3 LARGE AL. SIGN CONNECTION DETAIL
1" = 1'-0"



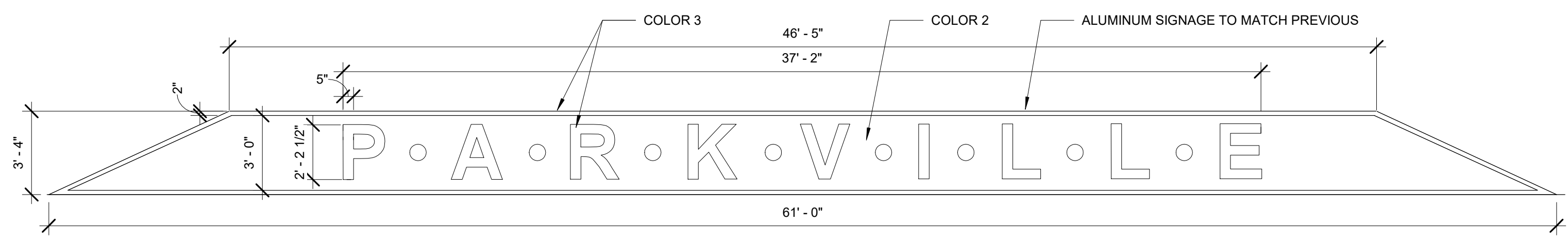
10 RIDGE DETAIL
3" = 1'-0"



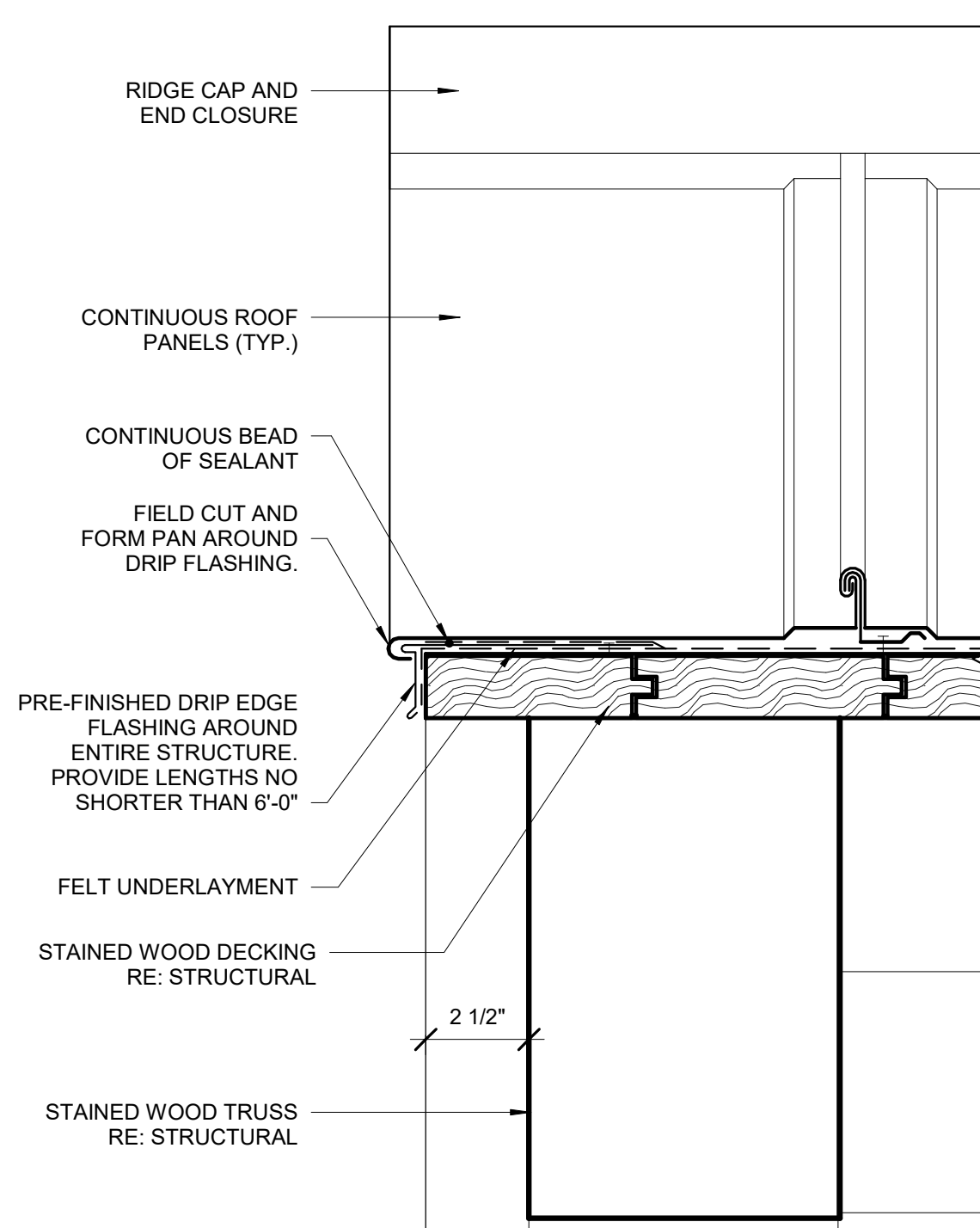
9 BIRD SPIKES
1" = 1'-0"



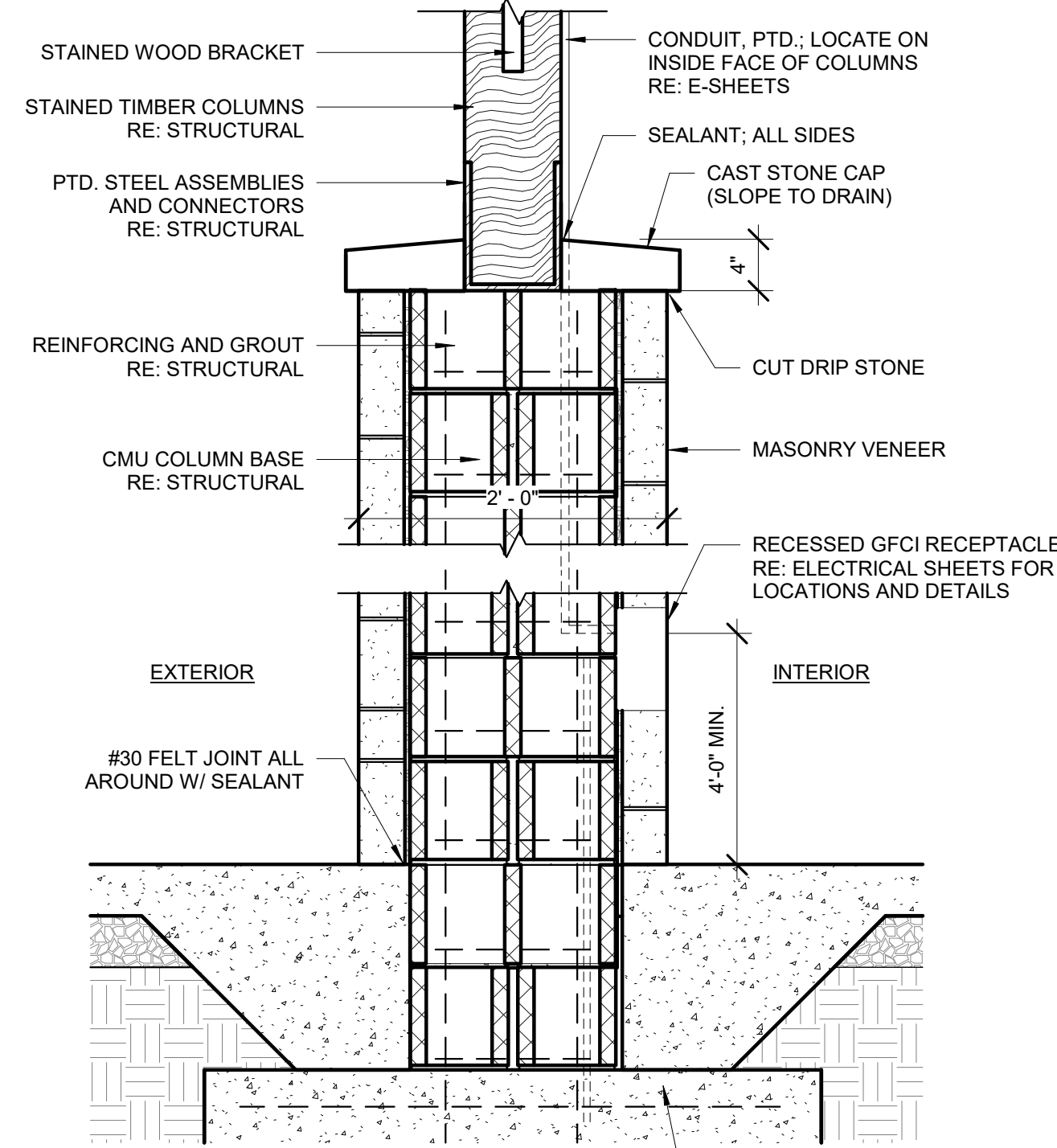
8 LARGE SIGN DETAIL 2
1/4" = 1'-0"



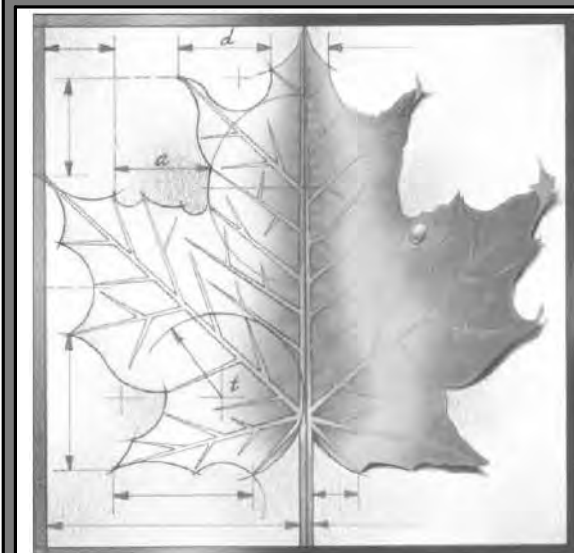
5 LARGE SIGN DETAIL
1/4" = 1'-0"



2 GABLE DETAIL
3" = 1'-0"



1 COLUMN BASE DETAIL
1" = 1'-0"



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Date: **AUGUST 20, 2024**

Project Name:

**Farmers Market
Parkville**

Project Address:

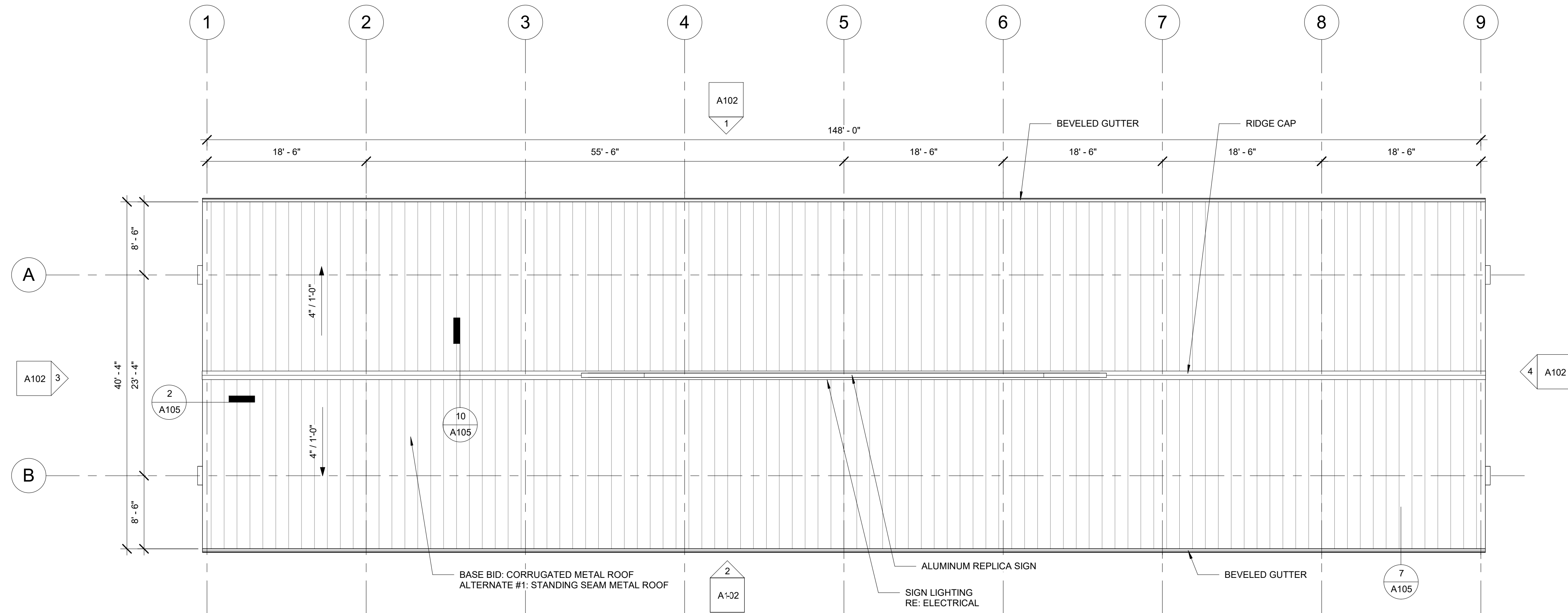
**S. EAST ST. & McAFEE ST.
PARKVILLE, MO 64152**

Sheet Title:

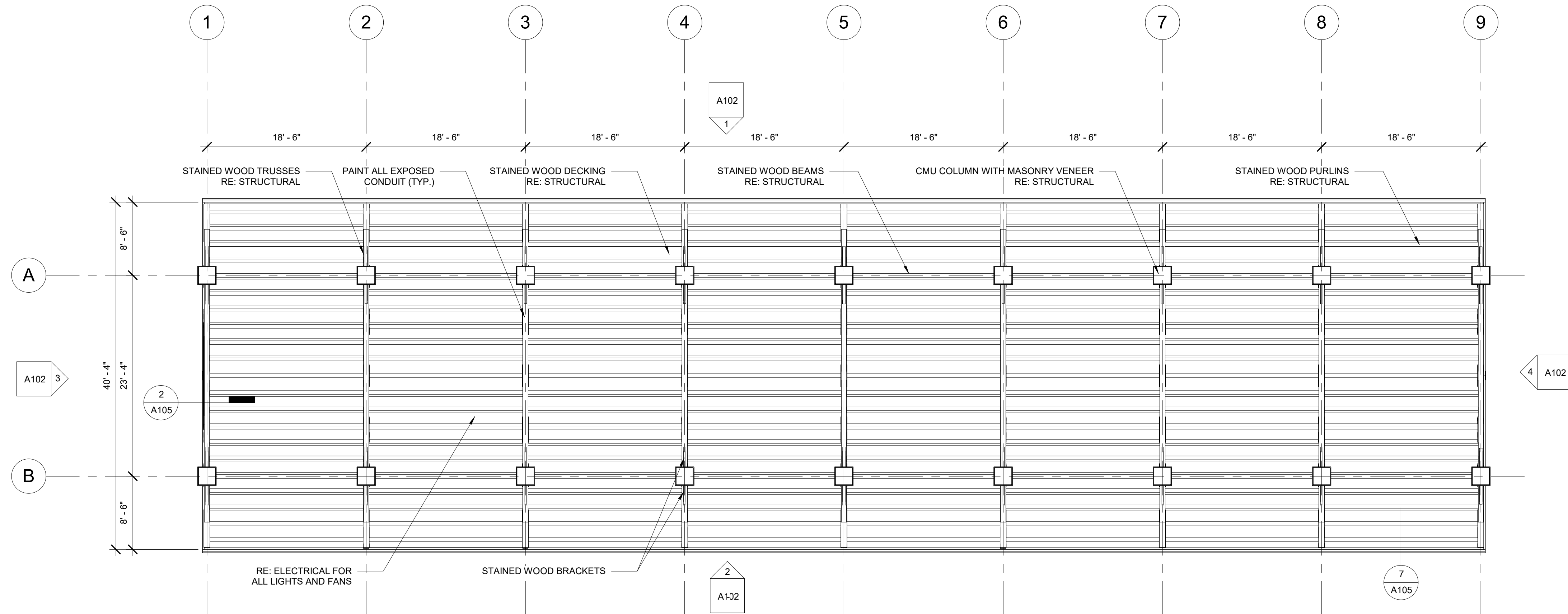
DETAILS

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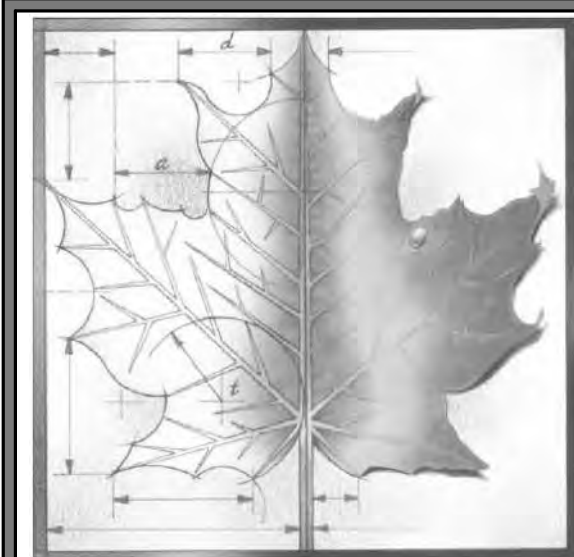
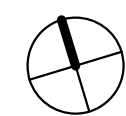
A105



1 ROOF PLAN
1/8" = 1'-0"



2 REFLECTED CEILING PLAN
1/8" = 1'-0"



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**Farmers Market
Parkville**

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**S. EAST ST. & McAFEE ST.
PARKVILLE, MO 64152**

Sheet Title:

**REFLECTED
CEILING PLAN &
ROOF PLAN**

Sheet:

A103

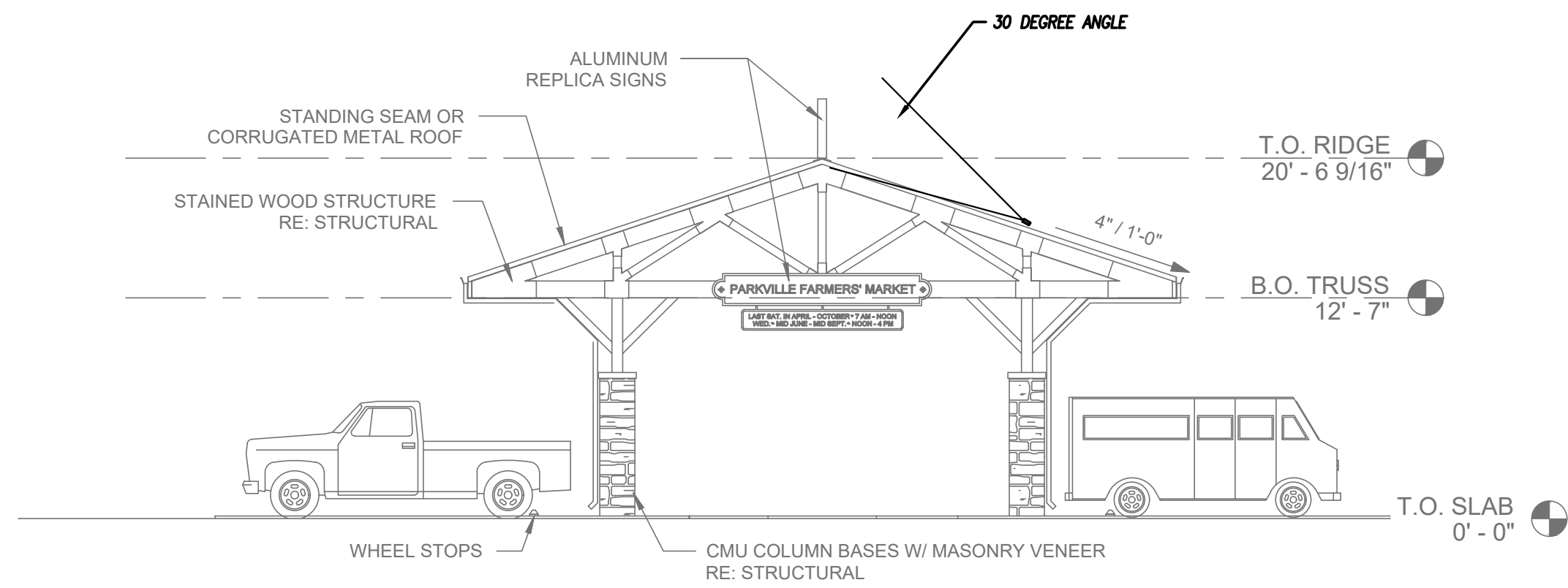
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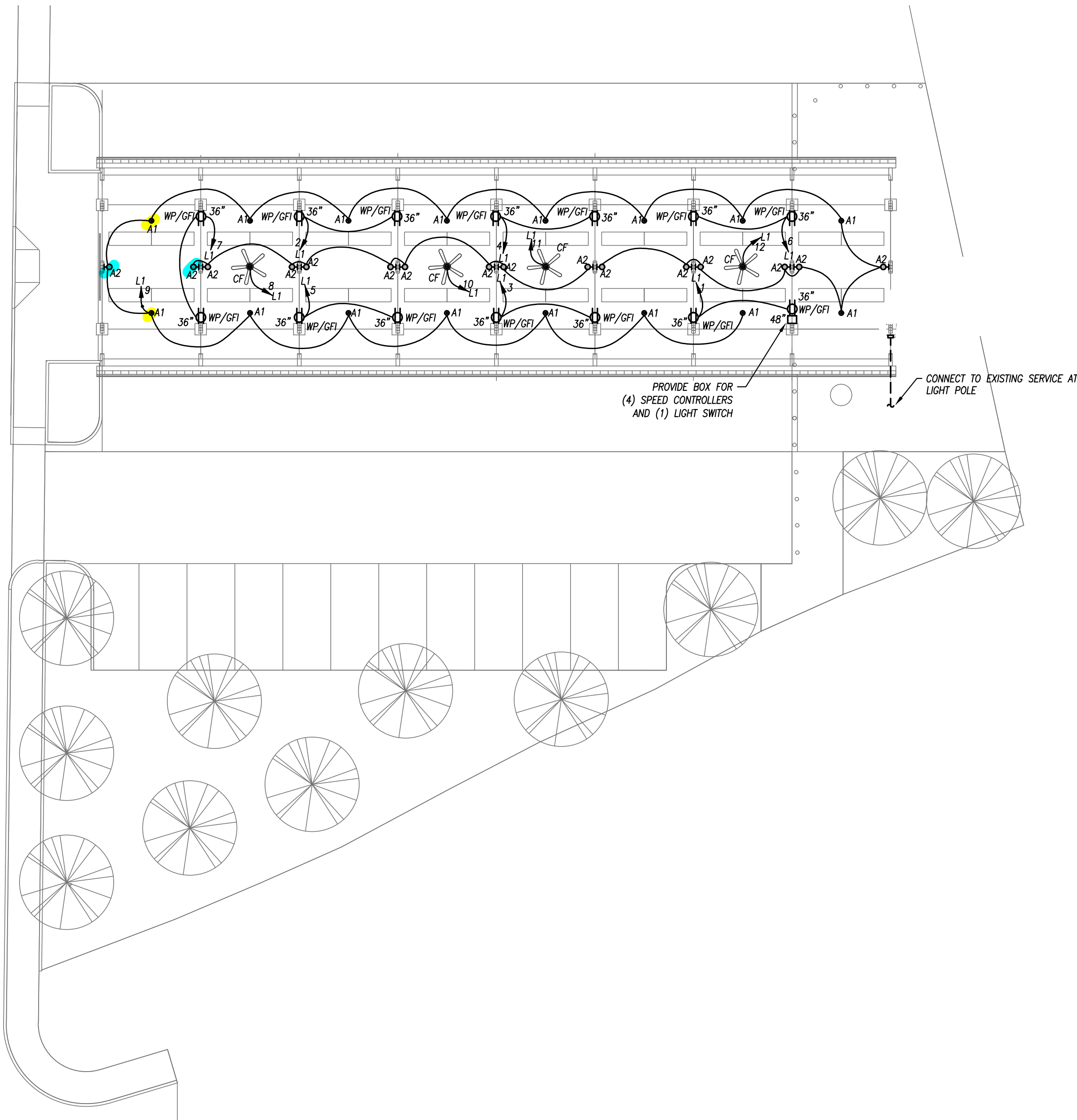
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WEST ELEVATION
1/8" = 1' - 0"



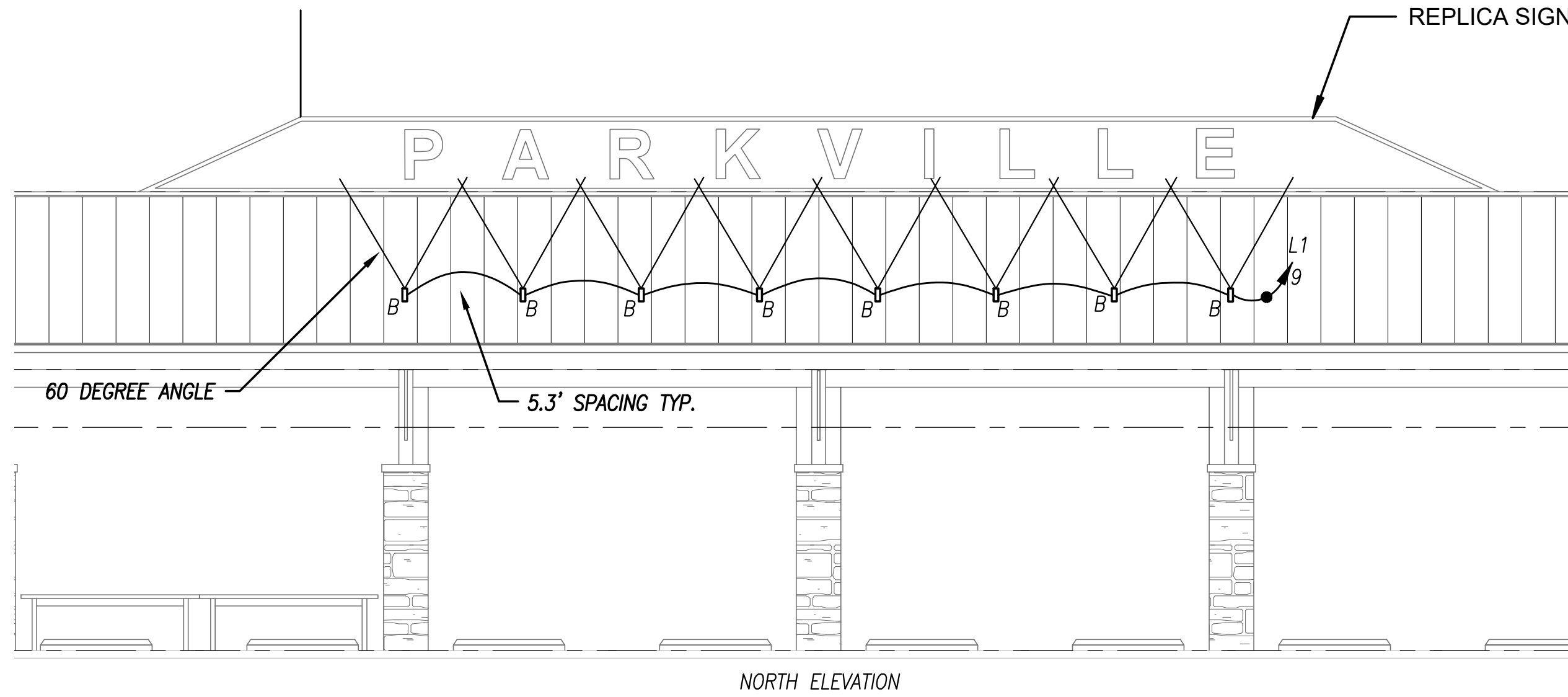
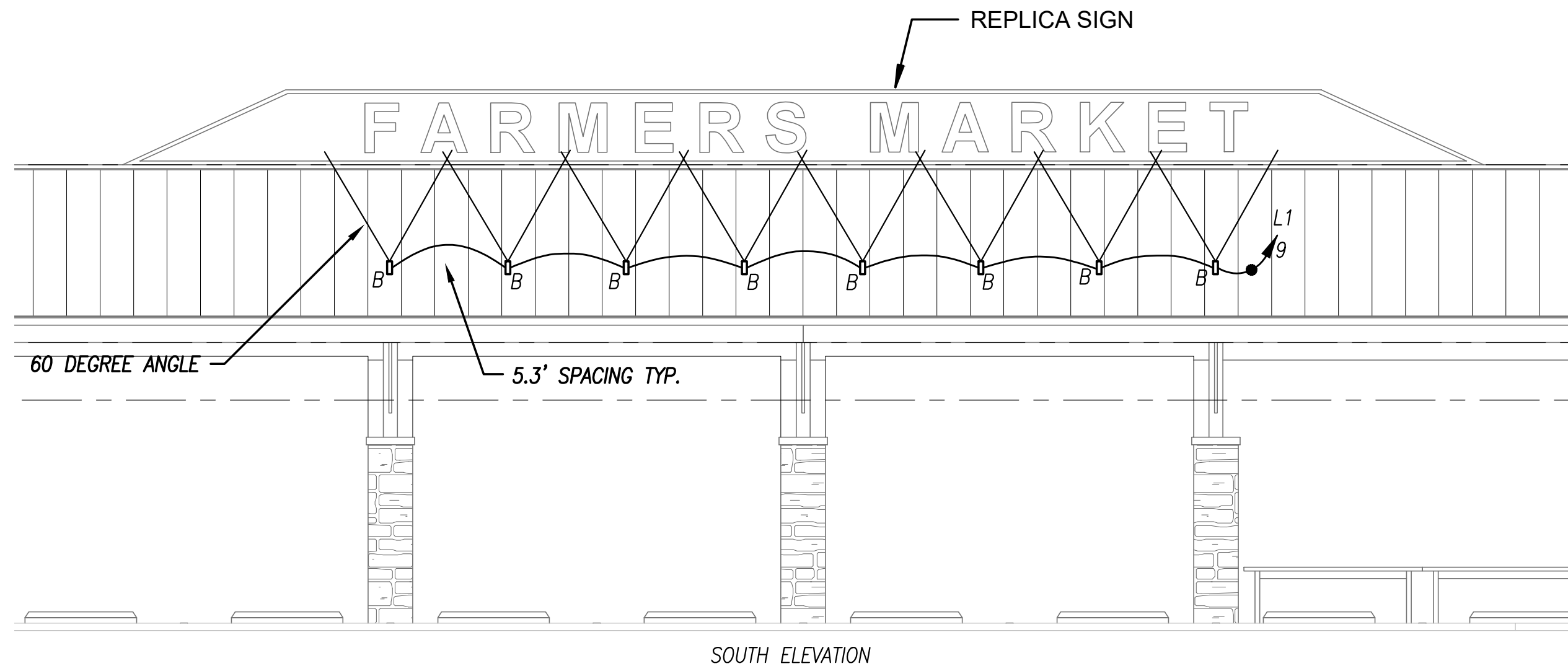
ELECTRICAL SITE PLAN
1/16" = 1' - 0"

GENERAL SITE PLAN NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. REFER TO CIVIL PLANS FOR CONTINUATION OF SERVICES BEYOND 5'-0" FROM BUILDING UNLESS OTHERWISE SHOWN.
3. REFER TO RESPECTIVE FLOOR PLANS FOR CONTINUATION OF SERVICES INSIDE BUILDING AND/OR EXACT LOCATIONS OF EQUIPMENT.
4. CONTACT UTILITY LOCATING SERVICE TO LOCATE EXACT LOCATION OF ALL EXISTING UTILITIES BELOW GRADE.

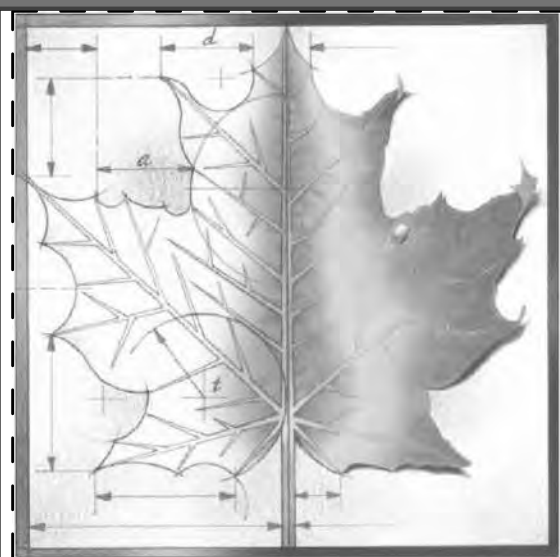
SITE PLAN KEYED NOTES

① XXXXXXXX



SOUTH AND NORTH ELEVATIONS
1/8" = 1' - 0"

**PRELIMINARY
NOT FOR CONSTRUCTION**



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CONSULTANT INFO
PLACE LOGO HERE.

REVISIONS:

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Project Number:

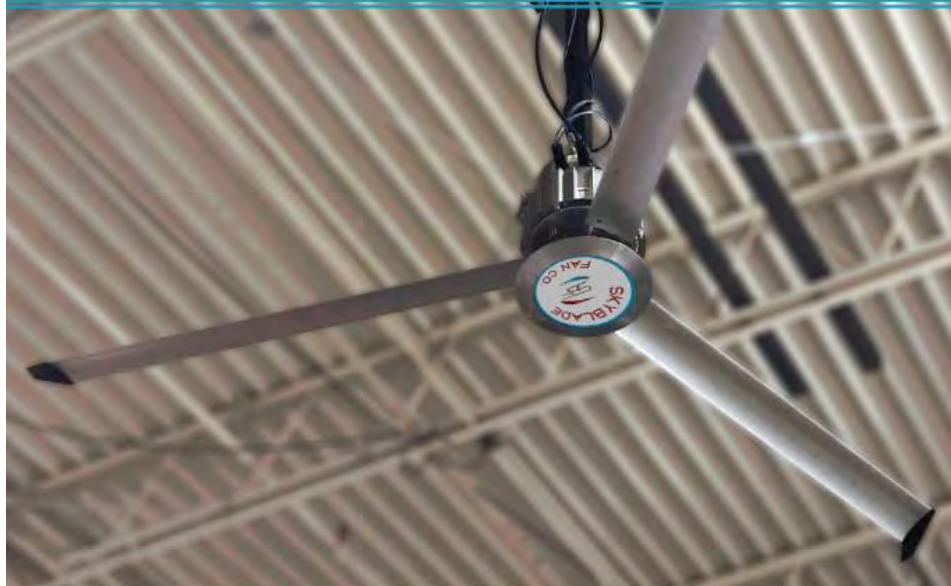
Date:

Project Name:

Project Address:

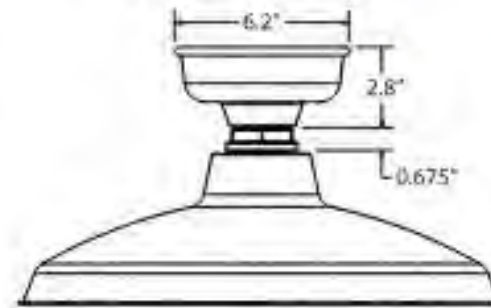
Sheet Title:

Sheet:



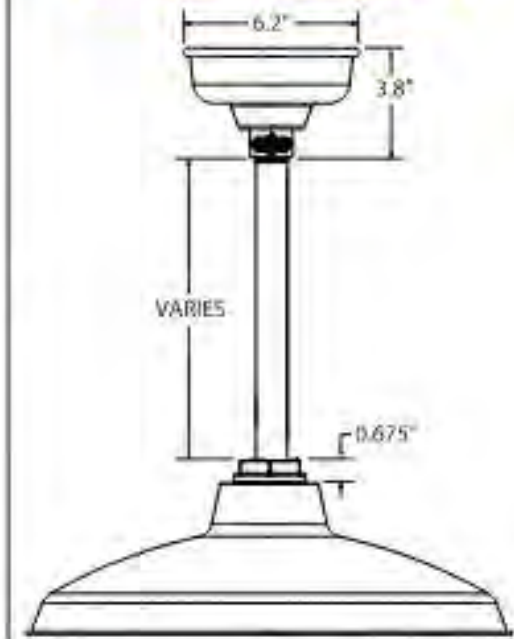
MINI PROP SERIES
Premier Direct Drive HVLS Fans

FLUSH MOUNT (F)



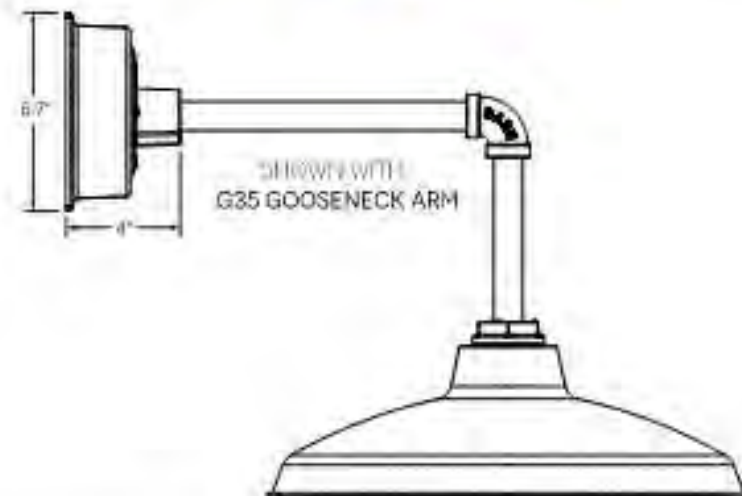
Canopy shown required if LED T1 & T6 Light Source selected in Section J.

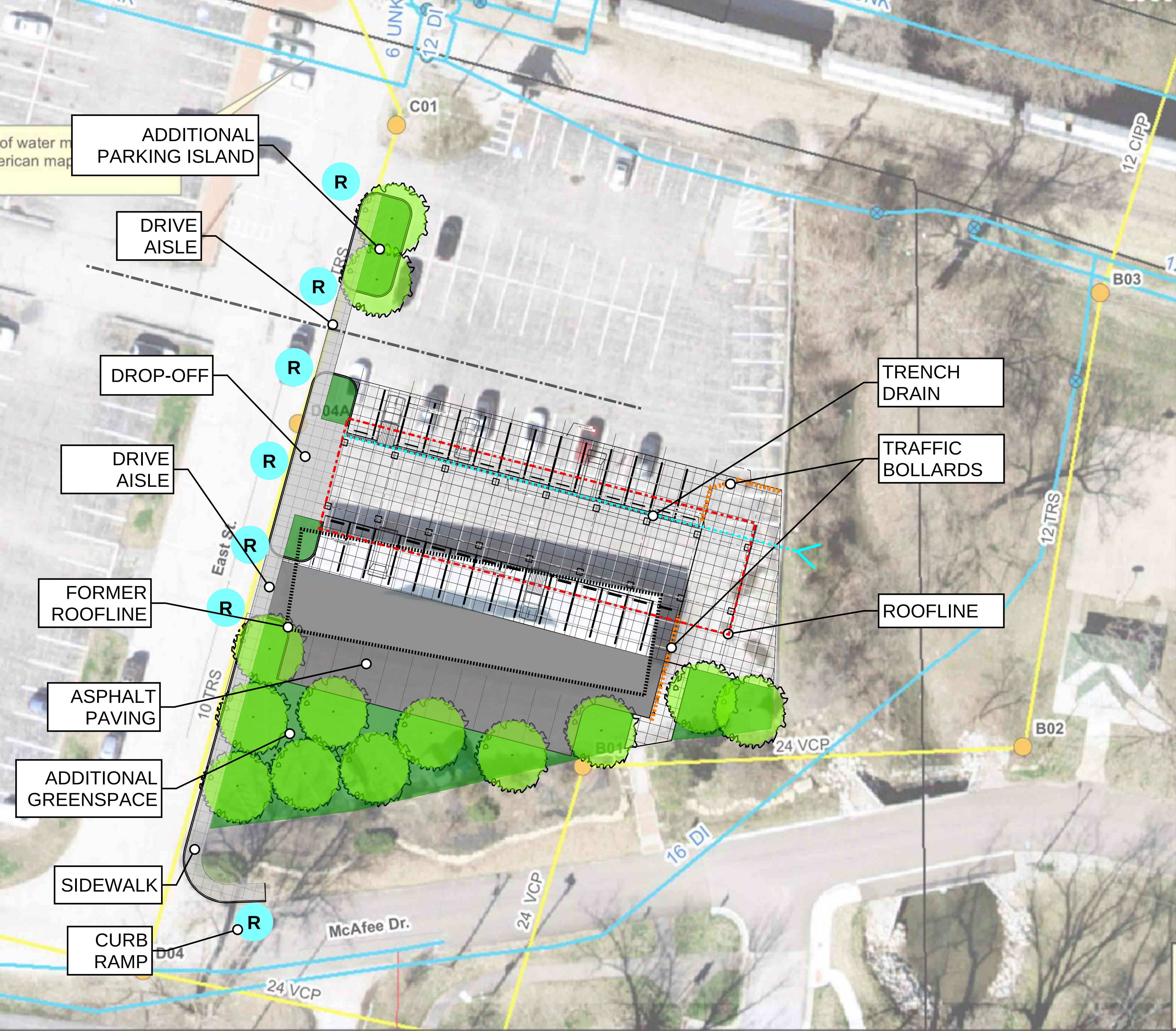
STEM MOUNT PENDANT (S)



Canopy shown required if LED T1 & T6 Light Source selected in Section J.

GOOSENECK (G)





ADDITIONAL
PARKING ISLAND

DRIVE
AISLE

DROP-OFF

DRIVE
AISLE

FORMER
ROOFLINE

ASPHALT
PAVING

ADDITIONAL
GREENSPACE

SIDEWALK

CURB
RAMP

TRENCH
DRAIN

TRAFFIC
BOLLARDS

ROOFLINE

of water m
merican map

C01

12 CIPP

B03

12 TRS

B02

24 VCP

16 DI

24 VCP

McAfee Dr.

24 VCP

D04

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**95% PROGRESS SET
NOT FOR
CONSTRUCTION**

REVISIONS:

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Project Number:

Date: **JULY 24, 2024**

Project Name:

**Farmers Market
Parkville**

Project Address:

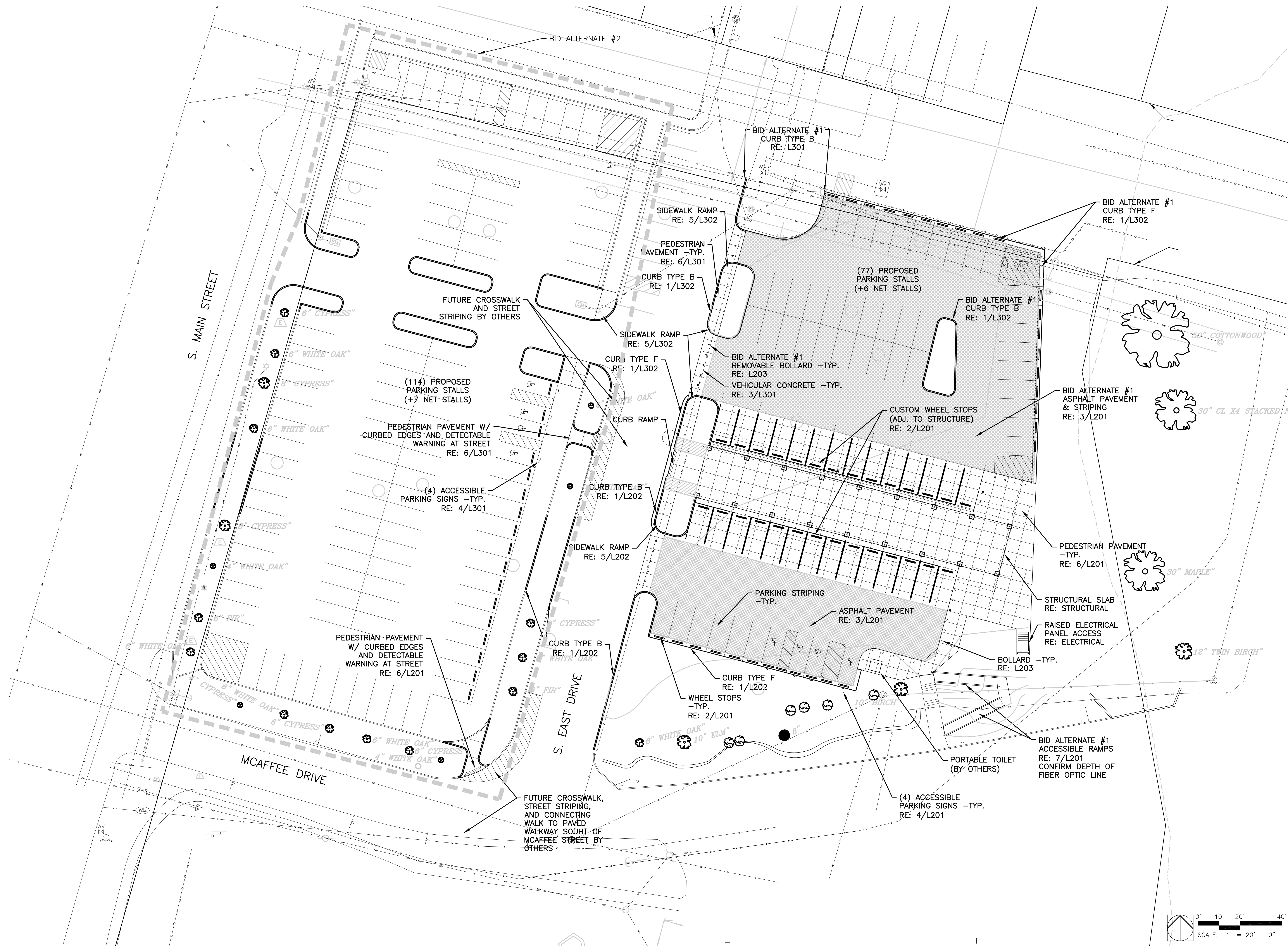
**S. EAST ST. & McAFEE ST.
PARKVILLE, MO 64152**

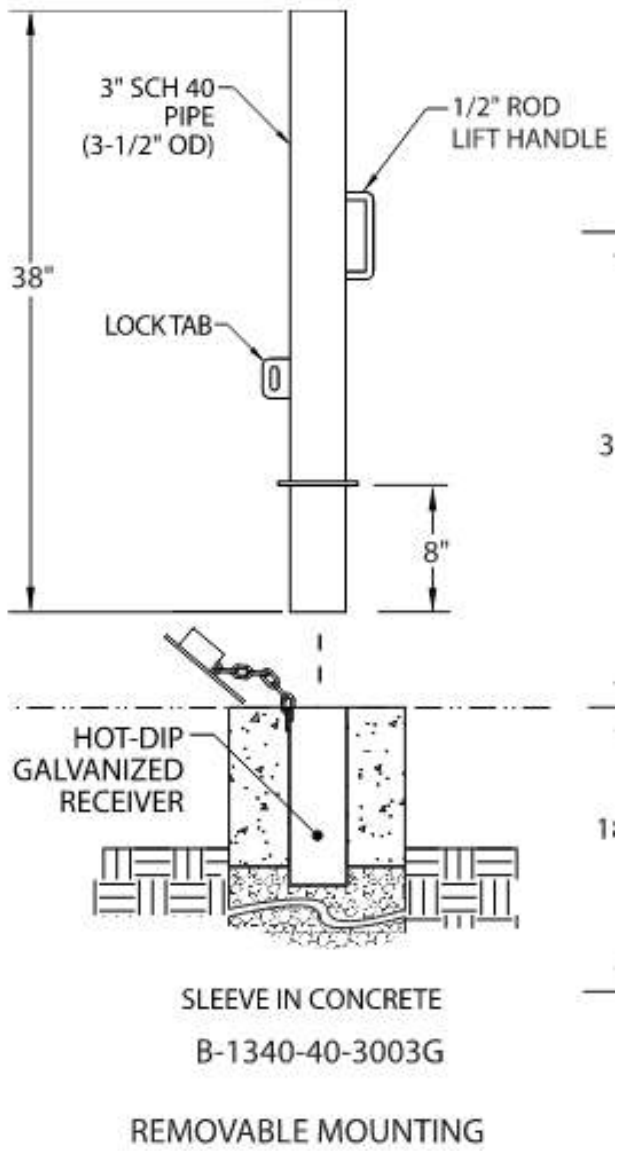
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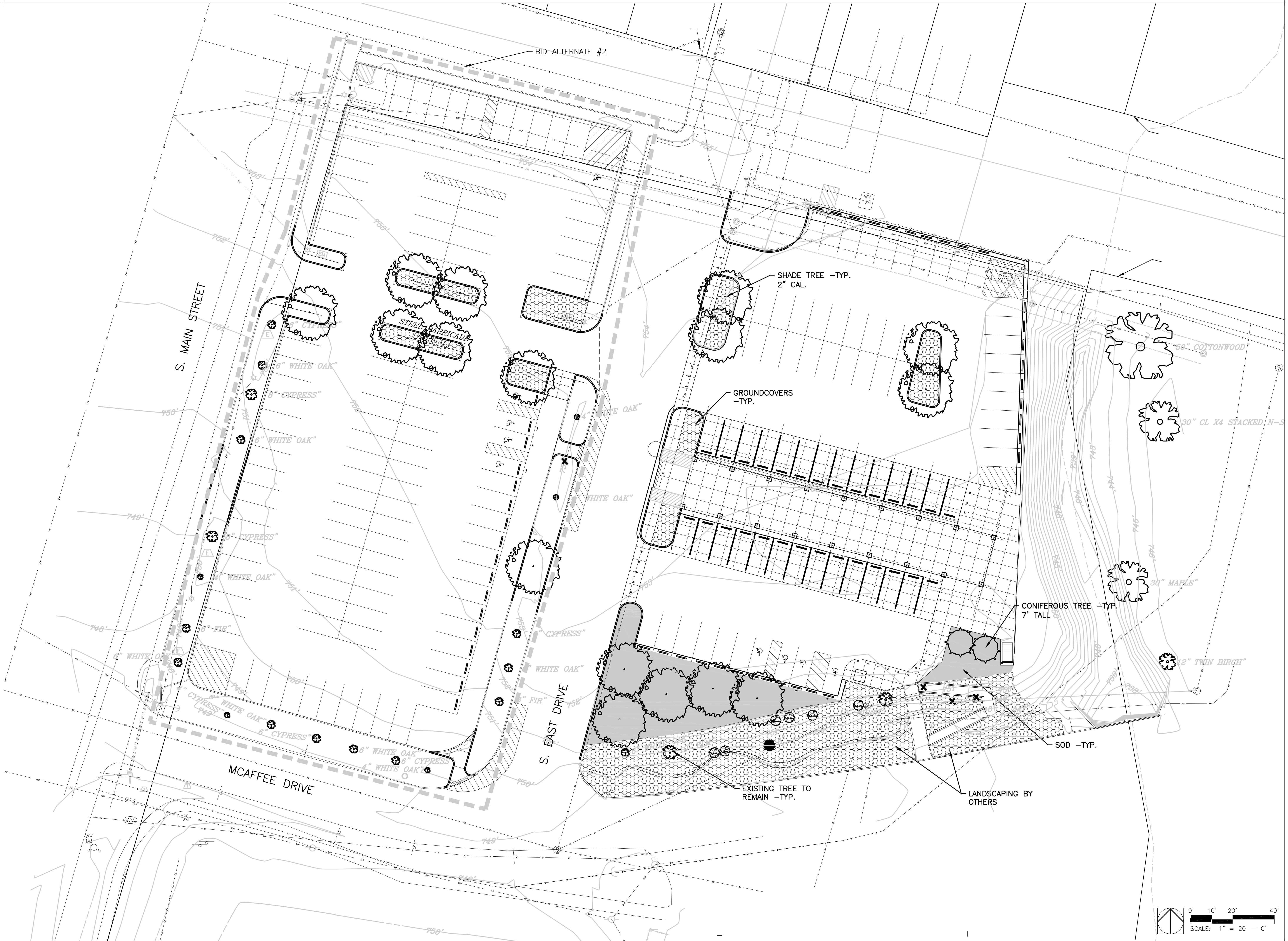
SITE PLAN

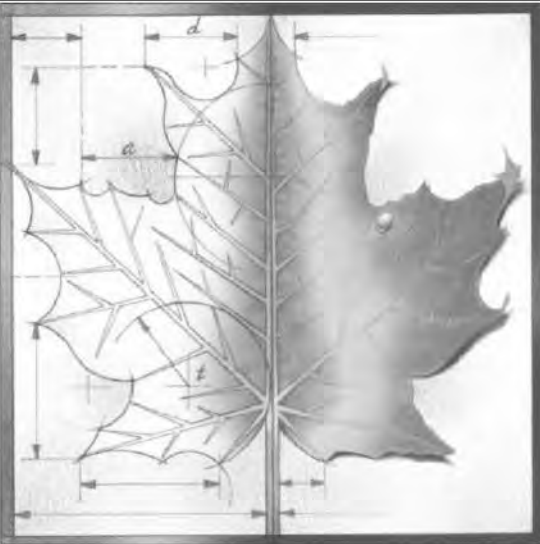
Sheet:

L101









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Date: JULY 24, 2024	
Project Name: Farmers Market Parkville	
Project Address: S. EAST ST. & MCAFFEE ST. PARKVILLE, MO 64152	
Sheet Title: PLANTING PLAN	
Sheet: L201	



CONFLUENCE

Board of Aldermen
Work Session

SITE & LANDSCAPE DESIGN STANDARDS

Parkville, Missouri

August 20, 2024

CONFLUENCE



Chapter 407. Site and Landscape Design Standards

Proposed Updates

Chapter 407. Site and Landscape Design Standards

- Section 407.010 Intent and Applicability
 - Section 407.020 Site and Landscape Design Standards
 - Section 407.030 Screens, Fencing, and Site Walls
 - Section 407.040 Outdoor Lighting
 - Section 407.050 Stormwater Management
- ❑ Rewrite of Section 407.020 Site and Landscape Design Standards
 - Definitions
 - Open Space Landscaping Required
 - Off-Street Parking, Driveways and Loading Areas
 - Plant Location Standards
 - Minimum Plant Sizes
 - Plant Species (*updated language*)
 - Plant Substitutions
 - Credits for Existing Vegetation
 - Maintenance and Replacement
 - ❑ Addition to Section 407.030 Screens, Fencing, and Site Walls
 - New language for walls and retaining walls
 - ❑ Addition to Section 407.040 Outdoor Lighting
 - New language on visual character

Chapter 407. Site and Landscape Design Standards

Proposed Updates

- ❑ Chapter 407. Site and Landscape Design Standards
 - Section 407.010 Intent and Applicability
 - A. Intent
 - B. Applicability
 - Section 407.020 Site and Landscape Design Standards
 - A. Definitions
 - B. Open Space and Landscaping Required
 - 1. Site Design Standards
 - 2. Open Space Required
 - 3. Open Space Landscaping Required
 - 4. Building Foundation Plantings
 - 5. Streetscape Landscaping
 - C. Off-Street Parking, Driveways, and Loading Areas
 - 1. Parking Lot Design
 - 2. Landscaping Required
 - 3. Parking Lot Screening
 - D. Plant Locations
 - E. Minimum Plan Sizes
 - F. Plant Species
 - G. Plant Substitutions
 - H. Credits for Existing Vegetation
 - I. Design and Performance Criteria
 - J. Maintenance and Replacement

Chapter 407. Site and Landscape Design Standards

Section 407.010. Intent And Applicability.

A. Intent. It is the intent of this Chapter is to:

1. Improve the aesthetic character of development with natural landscape materials, and in particular emphasize distinct areas throughout the community as reflected in the Master Plan or any specific plans.
2. Improve the functional aspects of site design to provide safe and efficient circulation of vehicular, pedestrian, and bicycle users to improve connectivity between adjacent streets, sidewalks and trails with new development and redeveloped sites.
3. Coordinate landscape and design amenities across multiple sites, with special attention to the relationship between lots and streetscapes and improving the character of districts and neighborhoods.
4. Enhance the environmental and ecological function of unbuilt portions of sites, including reduced air or water pollution and reduced heat gain from large expanses of blank walls or paved surfaces.
5. Screen and mitigate the visual, noise or other impacts of high-intensity areas of sites, buildings and land uses.
6. Enhance the functional and aesthetic appeal of site grading solutions to improve each development's relationship with the existing site and surrounding site context, including provisions for the use of retaining walls and site walls.

Chapter 407. Site and Landscape Design Standards

Section 407.010. Intent And Applicability.

B. Applicability.

1. The standards of this Chapter shall apply to all new development except:
 - a. Detached houses and duplexes being built on an individual basis and on a previously platted lot, and which are not part of a larger residential neighborhood or subdivision plan; and
 - b. Improvements or repairs to existing development that do not result in an increase in building footprint by more than ten percent (10%), an increase in impervious surface, or changes in use that do not result in an increase in intensity.
2. In cases where improvements or repairs increase the building footprint by more than ten percent (10%), increase the impervious surface or intensity of use, the intent is to bring the site into full compliance with these standards, except that the Director or Planning Commission may prorate the requirements to the extent of new development on the site where full compliance is not possible or practical.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

A. Definitions. The following terms are defined for this Article:

1. **Deciduous Ornamental Tree.** A deciduous tree (often an ornamental type tree) that reaches a mature height of less than 30 feet.
2. **Deciduous Shade Tree.** Defined as a deciduous tree with one vertical stem or trunk which begins branching at a height of six (6) feet or more and has a distinct crown that reaches a mature height of at least 30 feet.
3. **Evergreen / Coniferous Tree.** Defined as a tree that has needle-shaped or scale like leaves that remain green throughout the year; commonly referred to as pine, fir, and spruce trees. These trees generally reach a mature height of over 25 feet.
4. **Green Mulch.** Defined as a layer of plants that are closer to the ground, such as grasses, sedges, or other groundcovers, that can be used to support taller plants.
5. **Invasive Plant Species.** A plant reproducing outside its native range and outside cultivation that disrupts naturally occurring native plant communities by altering structure, composition, natural processes or habitat quality.
6. **No Mow Grass.** Defined as a type of grass that grows slowly and does not need to be mowed frequently.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

A. Definitions. The following terms are defined for this Article: **(continued)**

7. **Open Space.** Any area not covered by a building, structure, parking lot, loading area, driveway, or other similarly paved area. Open space may include sidewalks, trails, pedestrian plazas and patios, and landscaped parking lot islands.
8. **Ornamental Grasses.** Defined as tall perennial grasses, generally over 24-inches at mature height, that are specifically grown and cultivated for their decorative properties. Most of the commonly used ornamental grasses are non-native, introduced species such as: Feather Reed Grass, Blue Oat Grass, Silvergrass, and Fountain Grass.
9. **Prairie Grass Plantings.** Native grasses and forbs (flowering plants) found within the native prairie environment typical for the area prior to clearance and cultivation of the land by European settlers. For the purposes of this Article, prairie plantings may contain native grasses without forbs to simplify prairie plant installation and maintenance.
10. **Turf Grass.** A continuous plant coverage consisting of a grass species that is mowed or maintained at an established height of 6 inches or less and can include native and non-native vegetation, e.g., Kentucky Blue Grass, Perennial Ryegrass, Tall Fescue, Fine Fescue, Buffalo Grass.
11. **Xeriscaping.** Defined as the practice of landscaping with slow-growing, drought tolerant plants to conserve water and reduce yard trimmings.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

B. Open Space and Landscaping Required.

1. **Site Design Standards.** The site layout plan shall indicate the placement of each building (ground floor plan of the building with door and window placement noted), public streets, private drives and driveways, sidewalks, site walls, mechanical units, and above grade utility infrastructure (utility poles, light poles, utility boxes, meters, etc.). The following items shall be integrated into the design of site plan improvements:
 - a. **Pedestrian Access.** Each project site shall include a minimum 4' width concrete sidewalk connection to provide access from the adjacent public street or private drive through the proposed site (including through parking lots) to the front door of the proposed building and any other required doors. Any sidewalk that is placed adjacent to or within 2 feet of a curb (edge of pavement) of a public street, private drive shall be a minimum of 6' width to address pedestrian safety and comfort.
 - b. **Bicycle Access.** See city code Section 408.030.D for bicycle parking requirements.
 - c. **Above-Grade Site Utilities.** Each project shall properly coordinate the proposed locations of above-grade utilities to consolidate their location(s) on the site to the extent practical. The intent is minimizing locations that can each be adequately buffered with landscape plantings and/or other improvements to enhance the visual appearance of the site.
 - d. **Roof/Site Drainage.** Each project shall properly design and coordinate the proposed locations and alignment of roof and site drainage, including any downspouts or other devices designed to convey stormwater, to avoid creating situations where water runoff flows over and/or pools on pedestrian walkways, trail connections, and high-traffic parking areas and driveways. Methods such as connecting roof drains directly to underground stormwater drainage systems or conveying stormwater at-grade to and through integrated green infrastructure improvements should be used to create a safe environment for pedestrian and vehicle circulation.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

B. Open Space and Landscaping Required.

1. **Site Design Standards.** The site layout plan shall indicate the placement of each building (ground floor plan of the building with door and window placement noted), public streets, private drives and driveways, sidewalks, site walls, mechanical units, and above grade utility infrastructure (utility poles, light poles, utility boxes, meters, etc.). The following items shall be integrated into the design of site plan improvements: **(continued)**
 - e. **Site Sections.** Each project shall provide at least one overall scaled site section drawing (accurately depicted – no vertical exaggeration), the selection of which shall be in consultation with the Director of Planning. The Director may require other site sections to be created to fully illustrate proposed site development conditions and site grading. The site section shall accurately depict public and private streets adjacent to the project site while illustrating the relationship of view sheds and site lines from adjacent properties and streets to the subject site, and shall include buildings, parking and retaining walls to indicate proposed site development conditions. If the site sections and submitted information do not provide adequate information to properly illustrate proposed development conditions, the Director and/or Planning Commission may require additional exhibits or perspective illustrations to accurately portray proposed development conditions and to assist in the City's evaluation of the application.
2. **Open Space Required.** All sites shall provide no less than the minimum amount of landscaping as required for each zoning district. (See Table 404-6.)

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

B. Open Space and Landscaping Required. *(continued)*

2. Open Space Landscaping Required. All landscape plans shall be prepared and stamped by a Landscape Architect licensed to practice in the State of Missouri.

a. Ground Cover. All areas unencumbered by buildings, paving or hard surfacing, shall be landscaped with turf grass, prairie grass plantings, plant beds, green mulch, xeriscaping, shrubs, and trees.

b. Use of Mulch. Except for single-family and duplex dwellings, wood-based mulch shall be used around all plantings and in all plant beds. Large areas of wood mulch that do not contain plantings shall not be permitted except when used around play structures. Inorganic ground cover material, including rock, chip brick, and synthetic turf (unless part of a designated sport field or play surface), is prohibited except along building foundations, around drainage structures, and in other limited applications as may be deemed acceptable by the Director of Planning.

c. Minimum Open Space Landscape Requirements. The following minimum open space plantings shall be required for all sites except for single-family and duplex dwellings. Each single-family and duplex dwellings constructed after the adoption of this ordinance shall be required to plant two (2) trees (ornamental or shade) per lot or unit prior to the issuance of an occupancy permit.

- 1) One (1) deciduous shade tree, two (2) deciduous ornamental trees, and two (2) shrubs shall be planted for every 2,000 square feet of required open space. However, the minimum required landscape for all sites shall be no less than one (1) deciduous shade tree, two (2) deciduous ornamental trees, and two (2) shrubs.
- 2) This landscaping is in addition to landscaping required for street frontage and parking lot landscaping. Open space plant materials shall not count towards the fulfillment of any other landscaping requirement.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

B. Open Space and Landscaping Required. *(continued)*

4. Building Foundation Plantings. Except for single-family and duplex dwellings, low to medium height plant materials (shrubs, ornamental grasses, perennials) shall be planted and maintained along 100% of the street facing building foundation lines where not impeded by building entrances, loading areas and sidewalks. Foundation plant materials shall not count towards the fulfillment of the required open space landscaping.

5. Streetscape Landscaping. The following street frontage landscaping shall be required for all sites except for single-family and duplex dwellings. One overstory street tree shall be required for every 40 feet of public or private street frontage. A periodic cluster of at least five (5) ornamental grasses and/or shrubs shall be repeated along the streetscape at an average interval of one (1) cluster or grouping for every 20 feet of frontage. The required streetscaping may be arranged with varying spacing and need not be placed evenly at 40-foot and 20-foot intervals in order to address placement restrictions related to underground and overhead utilities, streetlights, driveways, and street intersections. These plantings are required to be located within 15' of the street right-of-way and may be located within the public street right-of-way, if approved by the City.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

C. Off-Street Parking, Driveways and Loading Areas. *(This section C can replace Section 408.050.B)*

The following standards shall apply to all off-street parking and loading areas with ten (10) or more parking stalls or with more than 2,500 square feet of paved area. Off-street and loading area required plant materials shall not count towards the fulfillment of any other landscaping requirement.

1. Parking Lot Design.

- a. No dead-end parking lots or private drives will be permitted, as these create safety hazards for vehicular and pedestrian circulation. All site plans shall be designed to provide internal driveways and drive connections allowing vehicles to circulate through the site and all parking areas safely and efficiently.
- b. Parking islands with landscape plantings shall be located at the ends of each parking row to properly demarcate and buffer the parking stalls from adjacent driveways and drive aisles. These parking islands need to be configured with concrete curbs at a minimum of 9 feet wide (measured from back of curb to back of curb) and a length that matches the length of the adjacent parking stalls.
- c. Parking islands matching the above criteria shall be required to be integrated into each parking lot layout such that no more than a maximum of 10 contiguous parking stalls is provided in any given row of parking.
- d. No off-street parking or loading area shall be more than 100 feet from the center of an existing or proposed deciduous shade tree located within a landscaped open space area.
- e. Sidewalks that abut the front edge of any parking stall shall be no less than seven (7) feet wide to accommodate a two (2) feet vehicle overhang.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

C. Off-Street Parking, Driveways and Loading Areas. *(continued)*

2. Landscaping Required.

- a. All parking lot islands shall be landscaped with a combination of turf grass, no mow grass, prairie grass, shrubs, perennials, and trees with no less than three (3) different landscape materials being utilized.
- b. Turf grass, no mow grass, prairie grass, shrubs or perennials within parking lot islands shall not exceed 24 inches in height as to maintain visibility within parking lot.
- c. Crushed rock, chip brick, pavers, pavement, and similar hard surfacing shall not be permitted unless utilized as a necessary curb apron. Larger rock (2" or greater) shall not be permitted.
- d. Sidewalks in parking lot islands and medians may be permitted as necessary (in addition to the landscape requirements) to accommodate pedestrian circulation.
- e. One (1) deciduous shade tree shall be planted within each landscaped island.
- f. Quality soil shall be placed within each landscape island to a depth of 18 inches. Soil within islands shall be tested and amended accordingly, prior to tree planting, to ensure long term growth success for the tree. If parking lot island minimums cannot be achieved, structural soils and/or Silva cells will need to be considered as adequate alternatives for tree growth.
- g. Shade trees shall be evenly distributed throughout the parking lot to maximize shade.

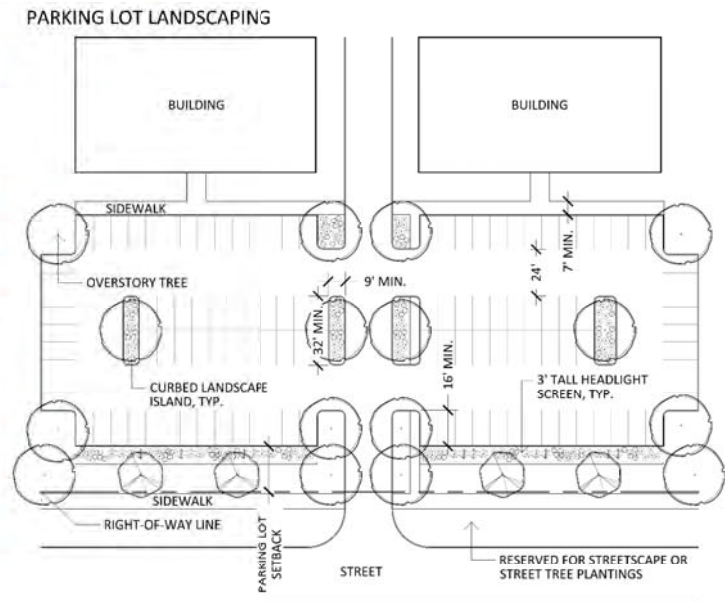
Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

C. Off-Street Parking, Driveways and Loading Areas. (continued)

3. Parking Lot Screening.

- a. Whenever an off-street parking area is placed along a public street or a private drive, a ratio of one (1) deciduous shade tree and two (2) deciduous ornamental trees shall be planted every 50 feet within the parking lot setback area (the area between the parking lot and adjacent street/drive).
- b. Additionally, a minimum three (3) foot tall vehicle headlight screen shall be installed between the parking lot and the adjoining street or private drive. These plantings shall be a minimum of 24" height at time of planting, and are in addition to the streetscape landscape requirements outlined herein. This screen can be constructed with any combination of prairie plantings, shrubs, ornamental grasses, earth berming, and low masonry walls.



Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

D. Plant Locations. All plantings shall comply with the following:

1. In general, all plants shall be sited and spaced in a manner to allow for appropriate growth to mature size.
2. Trees shall be located no closer than six (6) feet to the back of curb along any street or driveway and no closer than four (4) feet to the edge of any parking lot, sidewalk or walkway.
3. Ornamental and prairie grasses with a mature height of over four (4) feet shall not be permitted within the front yard area of any residential property.
4. Landscaping must meet minimum clearances from all fire hydrants and building sprinkler systems as required by the fire department.
5. Deciduous shade trees should not be placed within any public sanitary sewer, storm sewer or watermain utility easement.
6. No landscaping shall be planted or allowed to grow in violation of the City's sight distance triangle for corner lots
7. A permit must be obtained prior to planting any street tree or landscape material in the public right-of-way and shall comply with all City clearance and setback requirements.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

E. Minimum Plant Sizes. All plant sizes shall meet the following size and design requirements:

1. **Deciduous Shade Trees.** Minimum 2.0-inch caliper measured six (6) inches above the immediate ground level.
2. **Deciduous Ornament Trees.** Minimum 1.5-inch caliper measured six (6) inches above the immediate ground level.
3. **Evergreen / Coniferous Tree.** Minimum 6-feet in height.
4. **Shrubs.** Minimum three (3) gallon container.
5. **Ornamental Grasses.** Minimum one (1) gallon container.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

F. Plant Species. All trees and shrubs shall be non-invasive species, with a minimum of 60% of the selected plant material selected from the listing of *Native and Native Cultivar Plant Materials*. Other trees selected for use will be selected from the listing of *Great Trees for the Kansas City Region*. Both of these lists are incorporated in Appendix B.[1] The Director of Community Development is authorized to supplement and amend the list of required, preferred, and prohibited plant species. In addition to any species on these lists, alternative plant material may be proposed and considered by the Director of Community Development as part of the site plan submittal and review process, such as an updated list provided by CLARB, provided that they:

1. Are documented by a landscape architect or other credible information comparable in type and performance to any species on this list;
2. Are adaptable to the climate of the metropolitan region and the specific conditions in which they are proposed; and
3. Are not invasive or otherwise problematic to the overall health of the landscape.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

G. Plant Substitutions. Substitution of required plant materials may be considered by the City as follows, so long as the parking screening requirements are still met as a result of any substitution:

1. One (1) deciduous shade tree may be substituted in place of 10 required shrubs.
2. One (1) deciduous ornamental tree may be substituted in place of five (5) required shrubs.
3. One (1) evergreen/coniferous tree may be substituted in place of one (1) required deciduous shade tree.
4. One (1) deciduous shade tree may be substituted in place of two (2) required deciduous ornamental trees. Deciduous ornamental trees may not be substituted for required deciduous shade trees.
5. Three (3) ornamental grasses may be substituted for one (1) required shrub.

H. Credits for Existing Vegetation. Successful incorporation of existing and healthy vegetation that meets these performance criteria may be credited towards any landscape requirement. Credits shall be on a one-for-one basis for any vegetation that meets the minimum specifications, except that landscape material more than three (3) times the **minimum** specified size or otherwise of exceptional quality (as determined by the Director of Community Development) may be credited on a two-for-one basis.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

I. Design and Performance Criteria. Design and Performance Criteria. In addition to the above planting requirements, all landscape plans shall be designed according to the following performance criteria, and in individual cases additional plantings may be warranted in order to meet these criteria:

1. Existing natural features of the site, such as groves of trees, extreme slopes, areas intended to serve as buffers and areas not intended for development, shall be retained and incorporated into the design to the maximum extent practical.
 - a. Extreme or steep slopes are defined as having a grade of twenty-five percent (25%) or greater, meaning that the elevation increases by twenty-five (25) feet over a horizontal distance of one hundred (100) feet.
 - b. Extreme or steep slopes shall be identified on all development plans.
 - c. For instances where extreme or steep slope areas are disturbed or graded, the Director of Public Works may require **adequate slope stabilization measures and protection be installed integrating** trees, sod or other vegetative materials be placed or planted in these areas to protect the hillside.
 - d. The Director of Public Works may request an engineering, soil conditions or other related studies - prepared by an engineer certified in the State of Missouri - for development within extreme or steep slope areas.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

I. Design and Performance Criteria. Design and Performance Criteria. In addition to the above planting requirements, all landscape plans shall be designed according to the following performance criteria, and in individual cases additional plantings may be warranted in order to meet these criteria: **(continued)**

2. Landscape areas shall be utilized to the maximum extent possible for natural stormwater mitigation practices and to satisfy stormwater management criteria. Examples of natural stormwater mitigation and green infrastructure practices include filter strips, vegetative swales, rain gardens, pervious pavement systems and sand filters.
3. Native plants and vegetation shall be utilized to the maximum extent reasonable, i.e., drought tolerant plants should be planted in landscape islands and water-resistant plants should be planted near stormwater retention facilities.
4. All required landscape and open space areas shall remain free of debris and refuse and be appropriately maintained.
5. Designs shall best integrate sites and projects into their surroundings or promote any distinct characteristics of the area identified in the Master Plan or any specific plans.
6. Designs should emphasize any focal points of an area or project and pay particular attention to the relationship with the streetscapes.

Chapter 407. Site and Landscape Design Standards

Section 407.020. Site and Landscape Design Standards.

J. Maintenance and Replacement.

1. **Maintenance.** All property owners shall maintain all landscaping including regular mowing, trimming, and pruning and removal of dead, dying, or diseased plant material and keep the property clear from weeds, debris, and litter. Plant material shall be regularly trimmed and pruned to keep from encroaching sidewalks, walkways, driveway, and parking areas.
2. **Replacement.** The owner of any lot or parcel for which a landscape plan has been approved under this Article shall further be responsible for the replacement of any dead, dying, or diseased plant material to remain in compliance with the approved landscape plan. Should a tree for which a landscape credit was given, die, become diseased, or is otherwise removed, the owner of the property on which the tree is located shall replace the tree at the same ratio at which the credit was originally given. Failure to maintain the landscaping in accordance with this provision shall constitute a violation of the site's site plan and/or building permit approval and certificate of occupancy.

Chapter 407. Site and Landscape Design Standards

Proposed Updates

- Chapter 407. Site and Landscape Design Standards
 - Section 407.030 Screens, Fencing, and Site Walls
 - A. Buffer Types
 - B. Buffer Requirements
 - C. Fence Specifications
 - D. Freestanding Site Walls
 - E. Site Retaining Walls
 - F. Design and Performance Standards
 - Section 407.040 Outdoor Lighting
 - A. Visual Character
 - B. Mounting Height
 - C. Shielding
 - D. Design and Performance Criteria
 - Section 407.050 Stormwater Management
 - A. General Requirements
 - B. Best Management Practices
 - C. Stream Buffer Protection

Chapter 407. Site and Landscape Design Standards

Section 407.030. Screens, Fencing, and Site Walls.

D. Freestanding Site Walls. All freestanding site walls for screening, security, or privacy shall meet the following standards:

1. Front And Street-Side Site Walls. All freestanding site walls in front of the front building line, or on both street sides of corner lots shall:
 - a. Be limited to no higher than forty -two (42) inches; and
 - b. Any site wall constructed shall be constructed with materials complementing the architectural style and materials of the principal building; and
 - c. Be placed on the site to visually buffer views to parking lots, service areas, and above-grade utility infrastructure to inhibit direct views from adjacent public streets and private drives within the development.
2. Rear And Side Site Walls. All rear and interior side site walls located behind the front building line:
 - a. Shall be limited to no higher than six (6) feet, or up to seven (7) feet in all non-residential districts.

Chapter 407. Site and Landscape Design Standards

Section 407.030. Screens, Fencing, and Site Walls.

D. Freestanding Site Walls. All freestanding site walls for screening, security, or privacy shall meet the following standards: **(continued)**

3. Other Site Wall Design Standards.
 - a. Any site wall that could potentially create a sight obstruction for vehicles crossing pedestrian areas or entering the street may require the integration of fencing or other visually permeable design treatments to afford greater transparency or additional location restrictions to allow for safe sight distances for vehicles, pedestrians and bicyclists.
 - b. All site walls located along adjacent lot lines shall be constructed so that either:
 - 1) The site wall is on the property line; or
 - 2) The site wall is at least three (3) feet from the property line. Any areas set back three (3) feet or more from the property line, which could become enclosed by other similarly located site walls or fences, shall provide at least one (1) architecturally appropriate gate for access and maintenance equipment.
 - c. All site walls shall be constructed so that all readily visible sides of the wall are finished and match the adjacent architecture style and materials of the principal building.
 - d. Site walls shall be constructed out of any of the following materials:
 - 1) Natural stone or brick to match building architecture.
 - 2) Concrete or CMU core wall with stone or brick veneer to match building architecture.
 - 3) Precast concrete panels to match building architecture.

Chapter 407. Site and Landscape Design Standards

Section 407.030. Screens, Fencing, and Site Walls.

E. Site Retaining Walls. All site walls used as retaining walls shall meet the following standards:

1. Be limited in height to six (6) feet; and
2. Be limited in placement to a minimum distance of four (4) feet of another retaining wall (existing or proposed); and
3. If a site proposes the use of more than one retaining wall to address grading conditions, the area between these retaining walls shall be fully landscaped and shall have a maximum slope of 4:1 (25%); and
4. Any retaining wall that could potentially impede the visibility of vehicles crossing pedestrian areas or connections with streets/drives may require additional location restrictions to allow for safe sight distances for vehicles, pedestrians and bicyclist; and
5. Any retaining wall shall be constructed with durable materials complementing the architectural style and materials of the principal building such as:
 - a. Natural stone or brick to match building architecture.
 - b. Concrete or CMU core wall with stone or brick veneer to match building architecture.
 - c. Precast concrete panels to match building architecture.
 - d. Modular concrete unit walls with wall caps and a decorative finish.
6. Any retaining wall over four (4) feet in height shall be designed by a licensed professional with competency in the design of retaining walls.

Chapter 407. Site and Landscape Design Standards

Section 407.030. Screens, Fencing, and Site Walls.

- F. Design And Performance Standards.** Buffers, screens, fences, and **site/retaining walls** shall be designed to meet the following performance standards. In addition to the requirements specified for each buffer type, the arrangement of plants, grading or berming of land, or inclusion of fences, walls or other screens may be necessary to meet these design and performance standards.
1. Eliminate glare from traffic internal to the site, outdoor lighting or other operations on the site.
 2. Mitigate noise to comparable ambient noise levels found by other compatible uses throughout the area or district.
 3. All buffers, screens, fences and **site/retaining walls** shall meet the proper lines of site at all intersections of streets, all driveway entrances and the intersection of internal access streets. The proper lines of site shall be based upon the control of the intersection or access, the stopping point, and the expected speeds of oncoming traffic as provided in Section 404.010(E)(2).
 4. All high-impact site elements, such as trash enclosures, service and loading areas, utility and mechanical equipment, or outdoor storage, shall be located on remote portions of sites away from streetscapes, public view and from adjacent residential property. In cases where these facilities are near interior boundaries which may impact abutting property, a combination of Level 1 and Level 2 buffers shall be designed to limit potential impacts.
 5. Trash receptacles, in addition to perimeter buffers for the site, shall be located on a remote area and stored inside a structure or enclosure compatible with the **architectural** design and materials of the **proposed buildings**. Enclosures shall be constructed of a durable material designed to withstand regular use by heavy equipment, including masonry, steel, and **architectural metal panels**.

Chapter 407. Site and Landscape Design Standards

Section 407.040. Outdoor Lighting.

- A. Visual Character.** The physical appearance of all exterior lighting, poles, and related appurtenances for sites located within a larger, multi-tenant project area shall match the visual character and performance standards of lighting used on adjacent sites throughout the larger project area. The intent is to create aesthetic consistency in the use and appearance of these lighting improvements throughout the entire development – even if this development occurs through phased implementation. If light fixtures matching those of adjacent development sites is no longer available, or if there is a functional need to modify the lighting equipment used, the applicant will notify the City and make every effort to select fixtures and equipment that match or substantially replicate the aesthetic appearance of adjacent site lighting. **Light fixtures should be LED type and generate a soft white or near white light.**
- D. Design And Performance Criteria.** In addition to the mounting height and shielding standards, exterior site lighting shall meet the following design and performance standards:
1. All lighting shall be designed and located to not provide direct light or glare onto any adjacent property.
 2. All lighting shall be reduced to levels necessary only for security purposes within one (1) hour after closing of the business.
 3. All facade lighting and or other externally illuminating lights shall use shielded, directional fixtures, designed and located to minimize uplighting and glare.
 4. **All site and area lighting should be directed downward (not upward) to avoid creating light pollution and the potential for conflicts with adjacent properties. Buildings and landscaping may use accent lighting that aim certain lights upward to highlight various features, providing that measures are taken to limit the spill of this lighting off-site to avoid creating a negative impact for adjoining uses.**

Chapter 407. Site and Landscape Design Standards

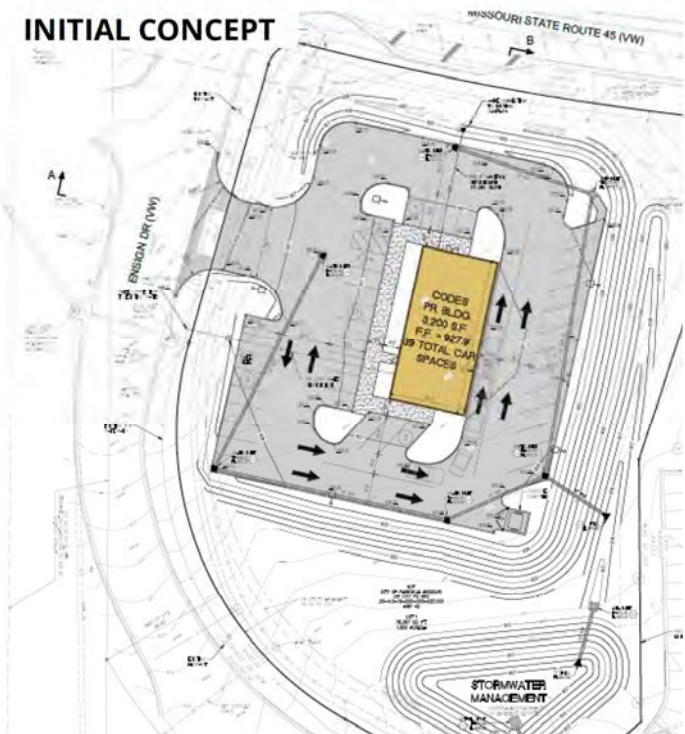
Section 407.060 Submittal Requirements

As part of the review and approval process for any new building, building addition, or site improvement, the following information shall be submitted. The Zoning Administrator may request additional information as necessary to show compliance with this chapter and may further waive any informational item determined not to be necessary for the review of the proposed building for compliance with this chapter.

- A. An existing conditions site plan (at a measurable scale) depicting a base map of the subject property including a minimum of 200' of area surrounding all sides of the subject property. The site plan shall include existing grading and topography, existing tree locations, adjacent streets, drives and pavement areas, existing buildings, existing streams, ponds or other water bodies, and other unique features of the existing site. Areas where existing slopes exceed 25% should also be noted on the plan.
- B. A proposed site development plan (at a similar measurable scale) depicting the proposed improvements to the site including all pavement, sidewalks, site and retaining wall locations, buildings, driveways, parking stalls, site lighting, site grading including topography, anticipated development sign locations, and utility infrastructure proposed to serve the site.
- C. A proposed site landscape plan (at a similar measurable scale) depicting all existing site vegetation to remain and all proposed landscape planting improvements. This plan shall include a detailed table outlining the amount, type and size of landscape plantings required for each identified area of the site, as well as the amount, type, and size of landscape plantings provided for each identified area of the site. This plan shall also detail the minimum requirement of 60% use of native and native-cultivar plants. Any requested deviations or substitutions are required to be clearly noted on the plan along with the rationale supporting the request.
- D. All site section illustrations prepared for the development application shall include proposed landscape planting types and locations depicting the mature height of plantings.
- E. All landscape plans shall be prepared and stamped by a Landscape Architect licensed to practice in the State of Missouri.

Draft Guidelines - Results to Date

INITIAL CONCEPT



REVISED CONCEPT

