



PLANNING & ZONING COMMISSION

Regular Meeting Agenda
CITY OF PARKVILLE, MISSOURI
Tuesday, July 9, 2024 5:30 PM
City Hall Board Room

1. Call to Order

2. Roll Call

3. General Business

- A. Approval of the July 9, 2024, regular meeting agenda.
- B. Approve the minutes for the June 11, 2024, regular meeting

4. Unfinished Business

5. Public Hearing

- A. Application for Text Amendment to add Architectural Design Standards. (Case No. PZ24-15) *City of Parkville, Applicant.* (to be continued to August 13)

6. Regular Business

- A. Application for Final Development Plan for Old Town at Creekside Grocery & Event Space. (Case No. PZ24-16); *Brian Mertz, Parkville Development 38, Applicant.*
- B. Application for Final Development Plan for Creekside Commercial Building 2 on Lot 2, Old Town at Creekside 3rd Plat. (Case No. PZ24-17); *Brian Mertz, Parkville Development 38, Applicant.*

7. Other Business

- A. Upcoming meetings & dates of importance:
 - Board of Aldermen Meetings: Tuesday, July 16 and August 6 at 7:00 p.m.
 - Board of Zoning Adjustments Meeting: Tuesday, July 23 at 5:30 p.m.
 - Planning & Zoning Commission Regular Meeting: Tuesday, August 13 at 5:30 p.m.

8. Adjournment

**Minutes of the
Planning & Zoning Commission Regular Meeting
City of Parkville, Missouri**
Tuesday, June 11, 2024 5:30 PM
City Hall Board Room
City Hall Board Room

1. Call to Order

Chair Wright called the meeting to order at 05:32 PM.

2. Roll Call

Commissioners Present:

Barbara Wassmer
R. Douglas Krtek
Walt Lane
Spencer Keese
Andrew Barchers
Gareld Butler
Timothy Cahill
Jackson Kutey
Michael Wright

Absent:

A quorum of the Commission was present.

Staff Present:

Stephen Lachky, Community Development Director
Brad Stanton, Planner

3. General Business

A. Approval of the June 11, 2024, regular meeting agenda.

ACTION: R. Douglas Krtek moved to approve, Gareld Butler seconded. Motion Passed: 9-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keese, Andrew Barchers, Gareld Butler, Timothy Cahill, Jackson Kutey

NOES: None

ABSTAIN: None

B. Approve the minutes for the May 14, 2024, regular meeting

ACTION: R. Douglas Krtek moved to approve, Gareld Butler seconded. Motion Passed: 9-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keese, Andrew Barchers, Gareld Butler, Timothy Cahill, Jackson Kutey

NOES: None

ABSTAIN: None

4. Unfinished Business

5. Public Hearing

- A. Application for Preliminary Development Plan for Parkville Business Park. (Case No. PZ24-14); *JDJ Commercial, Applicant.*

STAFF ANALYSIS & SUMMARY

Brad Stanton, Planner provided an overview of an application for a Preliminary Development Plan for Parkville Business Park, located on a 13.53-acre property. The development will include eight lots and two public streets, divided into two phases, with the first phase scheduled for 2024-2025 and the second phase projected for 2030. The property, zoned as B-2 General Business District, will feature retail, office, and service uses, with stormwater detention and on-site wastewater treatment via a lagoon. The on-site wastewater solution was agreed upon by local health and sewer district officials due to the distance from the nearest public system. Two neighbors have expressed concerns, and staff recommends delegating final development plan approval to the Planning & Zoning Commission and approving the preliminary plan with specific conditions.

DEVELOPER'S PRESENTATION

Lindsay Vogt, 7014 NW Kerns Dr, RL Buford Engineering, engineer for the applicant. Ms. Vogt stated that the dam began to erode prior to the current property owners' purchase. The proposed development will utilize the existing pond for detention. Ms. Vogt stated the access Mr. Boeh used was not a granted access. She stated they will not re-dam the lake, it will function as a standard retention pond. Commissioners inquired on the wastewater lagoon, Ms. Vogt stated it would be reviewed by PCRSD and MoDNR.

PUBLIC HEARING

John Carter, stated the property was known as Clarkson Yard and hasn't had material changes since the 70s. Mr. Carter has concerns regarding the traffic safety of N Highway. He stated the speed limit on N Highway is 55 mph. He stated crash data showed fatality crashes at the nearby intersection. Mr. Carter wants a full traffic study on the area prior to development plan approvals. He has concerns about mosquitoes with the detention pond. Mr. Carter stated Mr. Myers was concerned about smells traveling to his property. Mr. Carter stated he was not able to get a wastewater lagoon for his property and wonders why the proposed development can get one. He said a similar project, Chapel Ridge, was required to add an additional turn lane on K Hwy.

Brett Urmacher, has concerns regarding the safety and volume of traffic on N Hwy. He had concerns on the status of the soil because of the previous users of this property.

Julie Guffie, partner of JDJ Commercial Properties, stated that they operate a geothermal business that is currently in Smithville and they are looking to move to Parkville. She stated that Lot 1 is ready to break ground as soon as possible.

QUESTIONS & CLARIFICATIONS

Commissioners asked about the aeration of the wastewater lagoon. Ms. Vogt stated there would be aerators.

MOTION

Added a condition requiring MoDOT approval for the connection to Missouri Route N

ACTION: Spencer Keesee moved to approve with conditions, Andrew Barchers seconded. Motion Passed: 9-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keesee, Andrew Barchers, Gareld Butler, Timothy Cahill, Jackson Kutey

NOES: None

ABSTAIN: None

6. Regular Business

7. Other Business

A. Upcoming meetings & dates of importance:

- Board of Aldermen Meetings: Tuesday, June 18 and July 2 at 7:00 p.m.
- Board of Zoning Adjustments Meeting: Tuesday, June 25 at 5:30 p.m.
- Planning & Zoning Commission Regular Meeting: Tuesday, July 9 at 5:30 p.m.

8. Adjournment

ACTION: R. Douglas Krtek moved to adjourn, Barbara Wassmer seconded. Motion Passed: 9-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keesee, Andrew Barchers, Gareld Butler, Timothy Cahill, Jackson Kutey

NOES: None

ABSTAIN: None

Chairman Wright called further discussion. Seeing none, he called for a motion to adjourn.

Submitted by:

Stephen Lachky, AICP
Community Development Director

Date

Brad Stanton
Planner

Date



Staff Analysis

Agenda Item: 6.A

Proposal: Application for Final Development Plan for Old Town at Creekside Grocery & Event Space, a planned grocery store and assembly use generally located west of Elizabeth St at Rustic Ln in Parkville, MO 64152.

Staff Recommendation: Approval, with conditions

Case No: PZ 2024-16

Applicant: Brian Mertz, Parkville Dev. 38, LLC

Owners: Brian Mertz, Parkville Dev. 38, LLC

Location: Old Town At Creekside, generally located at the southeast quadrant of the intersection of I-435 and MO-Hwy 45 in Parkville, MO 64152.

Zoning: "B-2-P" Planned General Business District

Parcel #s: Part of Platte County parcel no. 20-4.0-19-000-000-008.001

Exhibits:

- A. This Staff Analysis
- B. Application for Final Development Plan
- C. Subject Property Area Map
- D. Old Town at Creekside Grocery & Event Space – Final Development Plans (prepared by RIC; dated July 3, 2024)
- E. Additional exhibits as may be presented during the meeting

By Reference:

- A. Parkville Municipal Code, Title IV – Development Code in its entirety (<https://www.ecode360.com/PA3395-DIV-05>)
 - 1. Section 403.040 Master Planned Development
 - 2. Chapter 404 Subdivision Regulations
 - 3. Section 405.010 Zoning Districts Established
 - 4. Section 405.020 Districts & Uses
 - 5. Section 405.030 Standards Applicable to All Districts'
 - 6. Appendix B. Great Trees for the Kansas City Region
- B. Parkville Master Plan (<http://parkvillemo.gov/departments/community-development-department/master-plan/>)
- C. Highway 45 Corridor Plan (<http://parkvillemo.gov/download/Highway45CorridorPlan.pdf>)
- D. Old Town At Creekside, A Subdivision in Parkville, Platte County, Missouri, Preliminary Development Plan (prepared by Renaissance Infrastructure Consulting; dated September 5, 2018)

1. Sheet 1 of 16 (Cover Sheet)
 2. Sheet 2 of 16 (Existing Conditions)
 3. Sheet 3 of 16 (Development Plan)
 4. Sheet 4 of 16 (Site Dimension Plan)
 5. Sheet 5 of 16 (Site Utility Plan)
 6. Sheet 6 of 16 (Parking Summary)
 7. Sheet 7 of 16 (Landscape Plan)
 8. Sheet 8 of 16 (Landscape Data and Details)
 9. Sheet 9 of 16 (Pedestrian Linkage Plan)
 10. Sheet 10 of 16 (Preliminary Plat)
 11. Sheet 11 of 16 (Visionaire Lighting Photometric Study Pg. 1)
 12. Sheet 12 of 16 (Visionaire Lighting Photometric Study Pg. 2)
 13. Sheet 13 of 16 (Visionaire Lighting Photometric Study Pg. 3)
 14. Sheet 14 of 16 (Visionaire Lighting Photometric Study Pg. 4)
 15. Sheet 15 of 16 (Visionaire Lighting Photometric Study Pg. 5)
 16. Sheet 16 of 16 (Visionaire Lighting Photometric Study Pg. 6)
 17. Sheet C1 (Creekside North Grading Exhibit)
 18. Sheet C1 (Creekside Commercial Trail Exhibit)
- F. Old Town At Creekside, A Subdivision in Parkville, Platte County, Missouri, Preliminary Development Plan (revision of Preliminary Development Plan prepared by Renaissance Infrastructure Consulting; dated October 22, 2018; see Agenda Item 4H)
1. Sheet 1 of 10 (Cover Sheet)
 2. Sheet 3 of 10 (Preliminary Development Plan)
 3. Sheet 6 of 10 (Parking Summary)
 4. Sheet 7 of 10 (Landscape Plan)
 5. Sheet 8 of 10 (Landscape Data and Details)
- I. Ordinance No. 2968 (approved November 6, 2018) Rezoning one parcel containing approximately 38.12 acres located on the southeast quadrant of the intersection of I-435 and Highway 45 along Brink-Myer Road, from Platte County "PI" Planned Industrial to Parkville City "B-2-P" General Business District
- J. Ordinance No. 2969 (approved November 6, 2018) Approving a preliminary development plan for Old Town at Creekside, a planned commercial development consisting of retail, mixed-use, restaurant and other commercial uses on approximately 38.12 acres, generally located on the southeast quadrant of the intersection of I-435 and Highway 45 along Brink-Myer Road

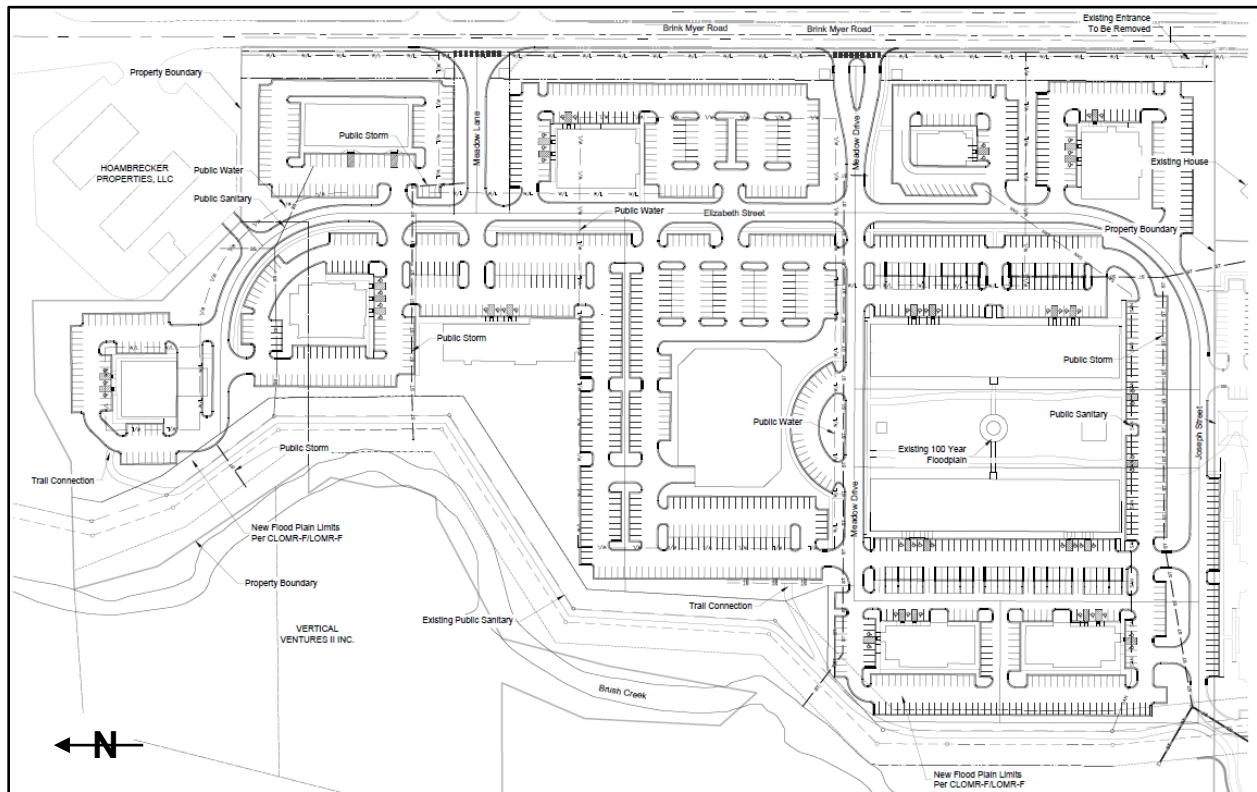
Overview

The application proposes a final development plan for Old Town at Creekside Grocery & Event Space, a planned grocery store and assembly use, generally located at the southeast quadrant of the intersection of I-435 and MO-Hwy 45 in Parkville, MO 64152. The project area is approximately 5.00 acres (more or less) and resides within Platte County parcel no. 20-4.0-19-000-000-008.001.



Background

On October 9, 2018 the Planning and Zoning Commission held a public hearing for an Application for Zoning Map Amendment in conjunction with an Application for Preliminary Development Plan for Old Town at Creekside, a planned commercial development consisting of retail, mixed-use, restaurant, and other commercial uses on 38.12 acres (more or less), generally located at the southeast quadrant of the intersection of I-435 and Mo-Hwy 45 in Parkville, MO 64152. The plan proposed re-platting the subject property and creating internal circulation, public streets, private drives and access to serve the development. The Planning and Zoning Commission recommended approval by a vote of 7-2, subject to conditions; and on November 6, 2018 the Board of Aldermen approved the preliminary development plan via Ordinance No. 2969.



Excerpt from Old Town At Creekside Preliminary Development Plan (dated October 22, 2018)

Copies of the approved preliminary development plans for Old Town At Creekside (Case No. PZ 2018-16B; dated September 5, 2018 and October 22, 2018) are included in Exhibit D by Reference. Ordinance No. 2969 (see Exhibit J by Reference) contains a number of conditions, and since September 5, 2018 many of them have been completed, including:

- Re-platting the subject property area.
- Providing names for all private streets/drives per 911 MSAG address range requirements.
- Submittal of a Traffic Impact Study to MoDOT, and implementing required dedication of right-of-way and roadway improvements as required.

Review and Analysis

A final development plan is a detailed plan for implementing the preliminary development plan including technical information on building, site, open / civic space, and infrastructure development. A final development plan may include the entire area covered in the preliminary development plan or it may include one or more phases of the approved preliminary development plan. The plan shall include all necessary information to demonstrate that all applicable standards, requirements, and conditions of the preliminary development plan have been met. Parkville Municipal Code, Section 403.040, Subsection F. provides criteria for how the Planning and Zoning Commission shall determine if a final development plan is appropriate. The following are staff's findings and conclusions for the final development plan (Case No. PZ 2024-16).

1. In general, any site plan in compliance with all requirements of this code shall be approved.

Staff concludes the site plan conforms to use allowances permitted in a "B-2-P" General Business District. In addition, the site plan is in compliance with the City's subdivision regulations (i.e., block and lot arrangement), site and landscape design standards (i.e., planting requirements, buffer/screening requirements, outdoor lighting, and stormwater management), and access and parking regulations (i.e., access and circulation standards, required parking counts, and parking specifications).

2. In making a determination of compliance, or for site plans accompanying any discretionary review or administrative relief, the review body shall consider whether:

- a. **The site is capable of accommodating the buildings, proposed use, access and other site design elements required by this code and will not negatively impact the function and design of rights-of-way or adjacent property.**

"B-2-P" Height, Area and Bulk Standards

While all development standards for the "B-2-P" General Business District are established throughout the Master Planned Development Process outlined in Section 403.040, the subject property area 5.00 acres, more or less) is large enough and capable of accommodating the proposed 36,010 sq. ft. grocery – small store and assembly – small use. Nevertheless, staff compared the proposed height, area and bulk standards to those in the base "B-2" General Business District. The proposed height of one (1) story/27 foot 8 inches is below the base "B-2" district standards for maximum building height of three (3) stories/45 feet.

"B-2-P" Use Standards

On November 6, 2018 the Board of Aldermen approved Ordinance No. 2968 rezoning the subject property from Platte County "PI" Planned Industrial to Parkville City "B-2-P" General Business District. The proposed uses of *Grocery – Small Store* and *Assembly - Small* are permitted in the "B-2-P" General Business District.

Access

Two (2) points of access are proposed off of Elizabeth Street, the private drive through Old Town At Creekside. Additional cross-access is available to the south through the existing parking lot. Pedestrian access is provided with appropriate

marked crosswalks, ADA ramps, and sidewalks. An enhanced “boardwalk” amenity is provided along the west of the building.

Parking Requirements

Section 408.030 requires 4 parking spaces per 1,000 sq. ft. for *General Retail – 25,001 sq. ft. or more* uses. Section 408.030 requires 6 parking spaces per 1,000 sq. ft. for *Recreation, indoor* uses. The 25,395 sq. ft. of retail is required 100 parking spaces. The 10,615 sq. ft. of event space is required 60 parking spaces. The applicant has provided 161 parking spaces, meeting the requirement of 160 total spaces.

Parking Layout Design

The parking lot layout, aisle widths and parking stall specifications detailed on the site plan (see Exhibit D.3) are in accordance with the 26 ft. aisle widths and 9 ft. by 18.5 ft. parking stall specifications of the Title IV – Development Code. These drive aisles are consistent with the dimensions throughout Creekside.

Signage

Signage will be reviewed separately by sign permit.

Outdoor Lighting

The applicant has provided a photometric plan demonstrating the ability to meet the shielding requirements and design and performance criteria specified in Section 407.040.

- a. **The design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.**

Building Location

As an auto-oriented use, the building and site are located such that traffic may flow through the site. The site plan allows for the separation of truck and customer vehicular traffic.

Landscape Design

The applicant has provided a landscape plan that meets the requirements of Section 407.020.

Stormwater Management

A Stormwater Management Plan will be reviewed by Public Works during the review of infrastructure construction plans.

- b. **The overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features or site design elements.**

Location Compatibility

The preliminary development plan for Old Town At Creekside (approved November 6, 2018 via Ordinance No. 2969) is a planned commercial development consisting of retail, mixed-use, restaurant and other commercial uses on 30.05 acres, more or less (see Exhibits D and G by Reference). A grocery store has been included on plans for

the development since its inception. An event space is a complementary and unintrusive addition to the site.

Open Spaces and Natural Features

The western portion of the site is generally left undeveloped.

- c. Whether any additional site-specific conditions are necessary to meet the intent of the zoning district or the intent and design objectives of any of the applicable development standards.**

As detailed in the review criteria above, the final development plan meets all of the applicable “B-2-P” requirements of the Development Code and does not need flexibility to any development standards per the “-P” planned district allowance.

- 3. The application meets the criteria for all other reviews needed to build the project as proposed.**

Many of the conditions of preliminary development plan approval for Old Town At Creekside have already been met as noted above. Per Section 408.020, Subsection D., the Public Works Director can request a Traffic Impact Study to analyze the impacts of the function of the transportation network in the vicinity of the site. Per staff’s request, a Traffic Impact Study was prepared for the overall Creekside development projects and submitted it to MoDOT in January 2019.

- 4. The recommendations of professional staff**

As detailed in the review criteria above, staff finds that the site plan conforms to all development standards of the “B-2-P” General Business District including height, area and bulk standards, site and landscape design standards (i.e., planting requirements, buffer/screening requirements, outdoor lighting, and stormwater management), and access and parking regulations (i.e., access and circulation standards, required parking counts, and parking specifications).

Staff Conclusion and Recommendation

After review of the application and supporting materials, staff recommends approval of the application for final development plan, subject to the following conditions:

1. Approval is based on the representations of the drawings presented as part of this application and does not waive any requirement or development standard contained in the Parkville Municipal Code.
2. Prior to Building Permit issuance, the subject property shall be platted.
3. All signage requires a separate sign permit.
4. Any other conditions as deemed necessary by the Planning and Zoning Commission.

It should be noted that the recommendation contained in this report is made without knowledge of facts, comments or any additional information which may be presented during the meeting. For that reason, the conclusions herein are subject to change as a result of evaluating additional information; additionally, staff reserves the right to modify or confirm the conclusions and recommendations herein based on consideration of any additional information that may be presented.

Necessary Action

Following consideration of the Application for Final Development Plan, supporting information, associated exhibits, factors discussed above and any testimony presented during the meeting, the Planning and Zoning Commission should recommend approval (with or without conditions),

denial, or postpone the application for further consideration. If approved subject to conditions, the conditions should be noted for the record. Unless postponed, the Planning and Zoning Commission's action will serve as the final action.

Note: Approval of a final development plan and fulfillment of staff conditions shall authorize the applicant to apply for a building permit and other applicable permits. The Community Development Director may approve minor amendments to approved final development plan without the refiling of a new application, but in no event shall the Director approve any change that does not qualify for an administrative adjustment, or any change that is different from any condition of approval of the final development plan. An approved final development plan shall expire and be of no further effect if an application for building permit for one or more buildings shown on the site plan is not filed within two years of approval. The Planning and Zoning Commission may grant an extension for up to one additional year.

Note: The Board of Aldermen has the ability to consider the application if an "Appeal of Decision" is filed with the Community Development Director within 15 days of the decision by the appellate body designated in Table 403-1. For applications for final development plan, the Board of Aldermen is designated as the appellate body.

End of Memorandum

A handwritten signature in black ink, appearing to read "Brad Stanton", is written over a horizontal line.

Brad Stanton, AICP
Planner

7-8-2024

Date

45 HIGHWAY & I-435

Old Town At Creekside Grocery & Event Space

A DEVELOPMENT IN Parkville, Platte County, MO

Final Development Plan

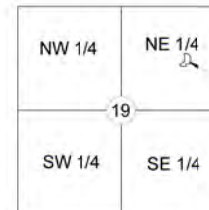
TOTAL AREA: 5.00 ACRES

LEGEND

— Existing Section Line	— Proposed Right-of-Way
— Existing Right-of-Way Line	— Proposed Property Line
— Existing Lot Line	— Proposed Lot Line
— Existing Easement Line	— Proposed Easement
— Existing Curb & Gutter	— Proposed Curb & Gutter
— Existing Sidewalk	— Proposed Sidewalk
— Existing Storm Sewer	— Proposed Storm Sewer
□ Existing Storm Structure	□ Proposed Storm Structure
— Existing Waterline	— Proposed Fire Hydrant
— Existing Gas Main	— Proposed Waterline
— Existing Sanitary Sewer	— Proposed Sanitary Sewer
⊙ Existing Sanitary Manhole	⊙ Proposed Sanitary Manhole
— Existing Contour Major	— Proposed Contour Major
— Existing Contour Minor	— Proposed Contour Minor
	— Future Curb & Gutter



VICINITY MAP
(NTS)



SECTION MAP
SEC. 19 TW. 51 RNG. 34

UTILITY CONTACTS

City of Parkville	(816) 741-7676
CPWSD #1 of Platte County	(816) 891-3457
Platte County Regional Sewer District	(816) 858-2052
Spire Gas Energy	(816) 756-5252
Eversy	(816) 471-5275
Platte Clay Electric	(816) 807-7502
Century Link	(816) 243-5642
Unite Private Networks	(816) 903-9400
Spectrum	(816) 431-5818
Missouri One Call	(800) DIG-RITE
AT&T	(800) 464-7928
Comcast	(913) 891-3457

Sheet Number	Sheet Title
C01	Title Sheet
C02	General Notes
C03	Existing Conditions
C04	General Layout
C05	Overall Layout
C06	Grading Plan
C07	Drainage Map
C08	Pedestrian Plan
C09	Utility Plan
C10	Fire Protection Plan
C11	Turning Exhibit I
C12	Turning Exhibit II
C13	Standard Details I
C14	Standard Details II
C15	Standard Details III
C16	Standard Details IV
L01	Landscape Plan
L02	Landscape Details
PH01	Photometric Plan

DEVELOPER:
Parkville Dev. 38, LLC
C/O Brian Mertz
7607 NW John Anders Rd.
Kansas City, MO 64152

SURVEYOR:
R.L. Eufford & Associates
7603 NW River Park Dr Kansas
City, MO. 64152-5023
816-741-6152

ENGINEER:
Renaissance Infrastructure
Consulting, LLC
5015 NW Canal Street, Suite 100
Riverside, MO. 64150
(816) 800-0950

Final Development Plan
24-0120
Old Town At Creekside Grocery & Event Space
Parkville, Platte County, MO

Title Sheet

NO.	DATE	REVISION
1	08/08/24	See Civil Comments
2	08/08/24	Original Submittal

DRAWN BY: JH
CHECKED BY: MC



Sheet
C01



LAYOUT & PAVING NOTES

1. All construction shall conform to the City of Parkville minimum design standards.
2. Contractor shall verify horizontal and vertical location of all utilities shown. Contractor shall notify Engineer of any potential conflicts with proposed improvements shown herein prior to commencing of construction.
3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
4. The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, repair contractor caused damage according to current local standards and at the contractor's expense, and coordinate all construction with the appropriate utility company.
5. The contractor shall comply with all local codes and obtain all permits necessary or required.
6. Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Parkville public works at 816.741.7676 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
7. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary.
8. The contractor shall protect all trees to remain in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
9. Concrete walks and pads shall have a broom finish. All concrete shall be Parkville Mo standard KCMMB mix, 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
11. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
12. Excess material shall be disposed of by the contractor in a legal manner off the owner's property at no additional cost to the owner.
13. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
14. Concrete curb at sidewalks and drive in ramps shall be integral.

ADA ACCESSIBLE ROUTE NOTES

1. All Accessible route construction shall conform to the latest version of the ADA Standards for Accessible Design published by the Department of Justice and the Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way published by the United States Access Board.
2. Other than ramps and ramp runs, walking surfaces must have running slopes not steeper than 1:20.
3. The cross slope of walking surfaces shall not be steeper than 2%.
4. The minimum width for a linear segment of accessible route shall be 36 inches.
5. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches wide, clear width shall be 42 inches minimum approaching the turn, 48 inches minimum at the turn and 42 inches leaving the turn.
6. An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be 60 inch by 60 inch minimum.
7. Ramp runs shall have a running slope not steeper than 1:12.
8. Ramp runs with a rise greater than 6 inches shall have handrails.
9. Ramp landings with a maximum slope of 1:48 shall be provided before and after ramp runs.
10. The maximum rise of a ramp run shall be 30 inches.
11. The maximum counter slope between the pavement and the curb at a curb ramp shall be 1:20.
12. Curb ramp landings with a maximum slope of 1:48 shall be provided at the top of curb ramps with a clear width of 60 inches.
13. Detectable warning surfaces complying with the latest ADA Standards shall be provided at pedestrian street crossings and refuge islands.
14. Passenger loading zones shall be provided adjacent to any ADA Accessible stall and have a 2% maximum slope in all directions.
15. Contractor to field verify existing site conditions and contact the engineer if field conditions do not match plan prior to construction.

GRADING NOTES

1. All construction shall conform to the City of Parkville's minimum design standards.
2. Spot Grades shown herein shall govern over finished grades.
3. The contractor shall provide evidence that their insurance meets the requirements of the Project.
4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
5. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
13. All National Pollution Discharge Elimination System (NPDES) standards shall be met.
14. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
15. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
16. All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA).
17. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
18. All work shall be confined within easements and/or construction limits as shown on the plans.
19. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
20. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Developer is responsible for the cost of utility relocations unless otherwise indicated on the plans.

PAVEMENT MARKING AND SIGNAGE NOTES

1. Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices" latest edition.
3. Traffic control and pavement markings shall be painted with a multicomponent thermoplastic paint, such as preformed or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

FOR NON-PUBLIC WORK

- A. Screened items indicate a pre-construction topographic survey
- B. Contraction joints shall conform to APWA Section 2200. A maximum joint spacing of 20' on center each way is required.
- C. All concrete to be based on ACI 318-2011, Section 4.2.2 which states the concrete subject to the applicable exposures "shall conform to the corresponding water-cement ratios", in Table 4.3.1 which specifies a maximum water/cement ratio of 0.45 and a minimum concrete compressive strength of 4,500 PSI. Per ACI Table 4.4.1, the air entrainment specified is 6% (+1%).
- D. Curing compound to be applied to all concrete surfaces immediately after broom finish.
- E. Contractor shall reject concrete if it cannot be placed within 90 minutes of batch time.

Final Development Plan

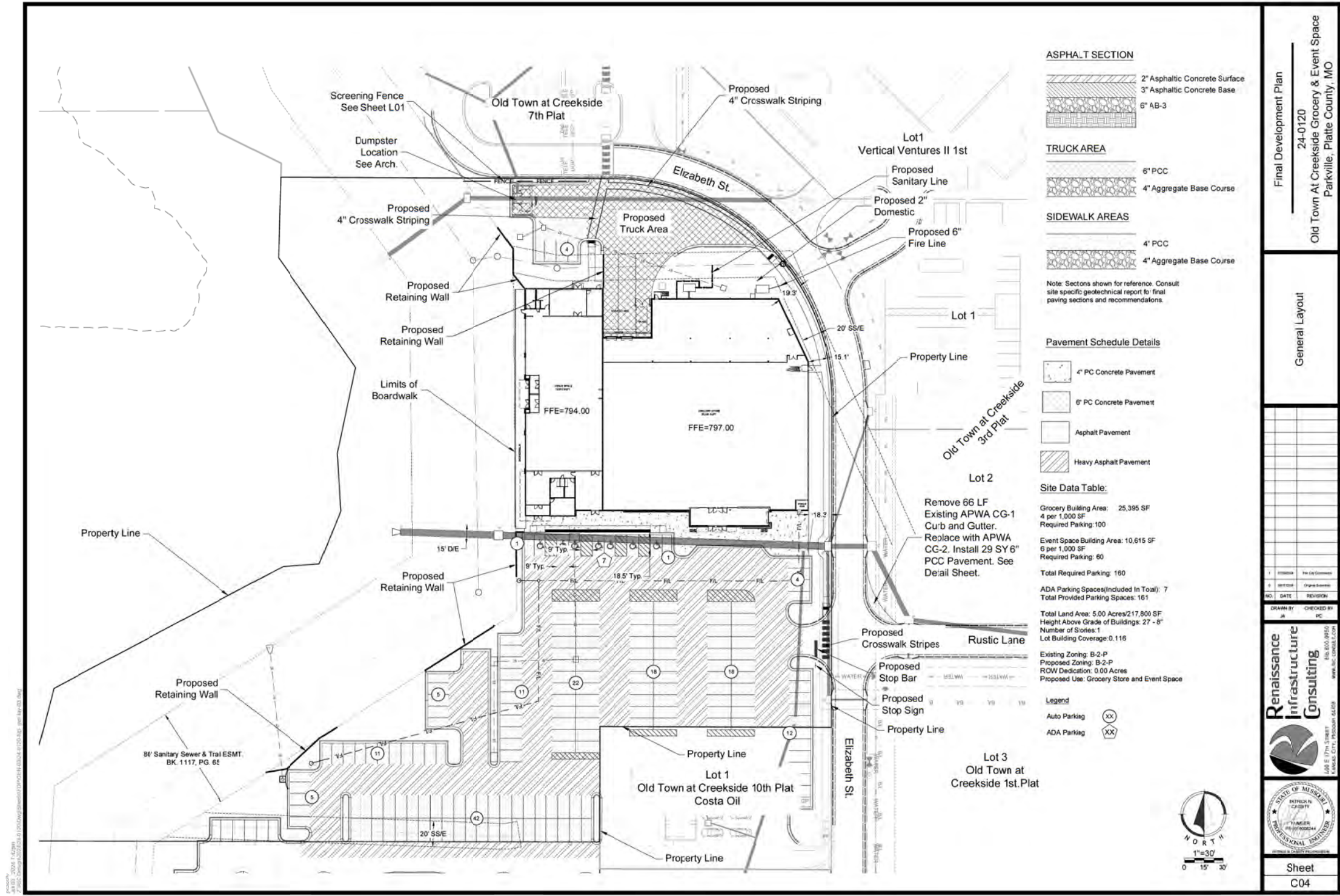
24-0120
Old Town At Creekside Grocery & Event Space
Parkville, Platte County, MO

General Notes

1	REVISION	See City Comments
2	REVISION	Original Submittal
NO.	DATE	REVISION
DRAWN BY	CHECKED BY	IN



Sheet
C02

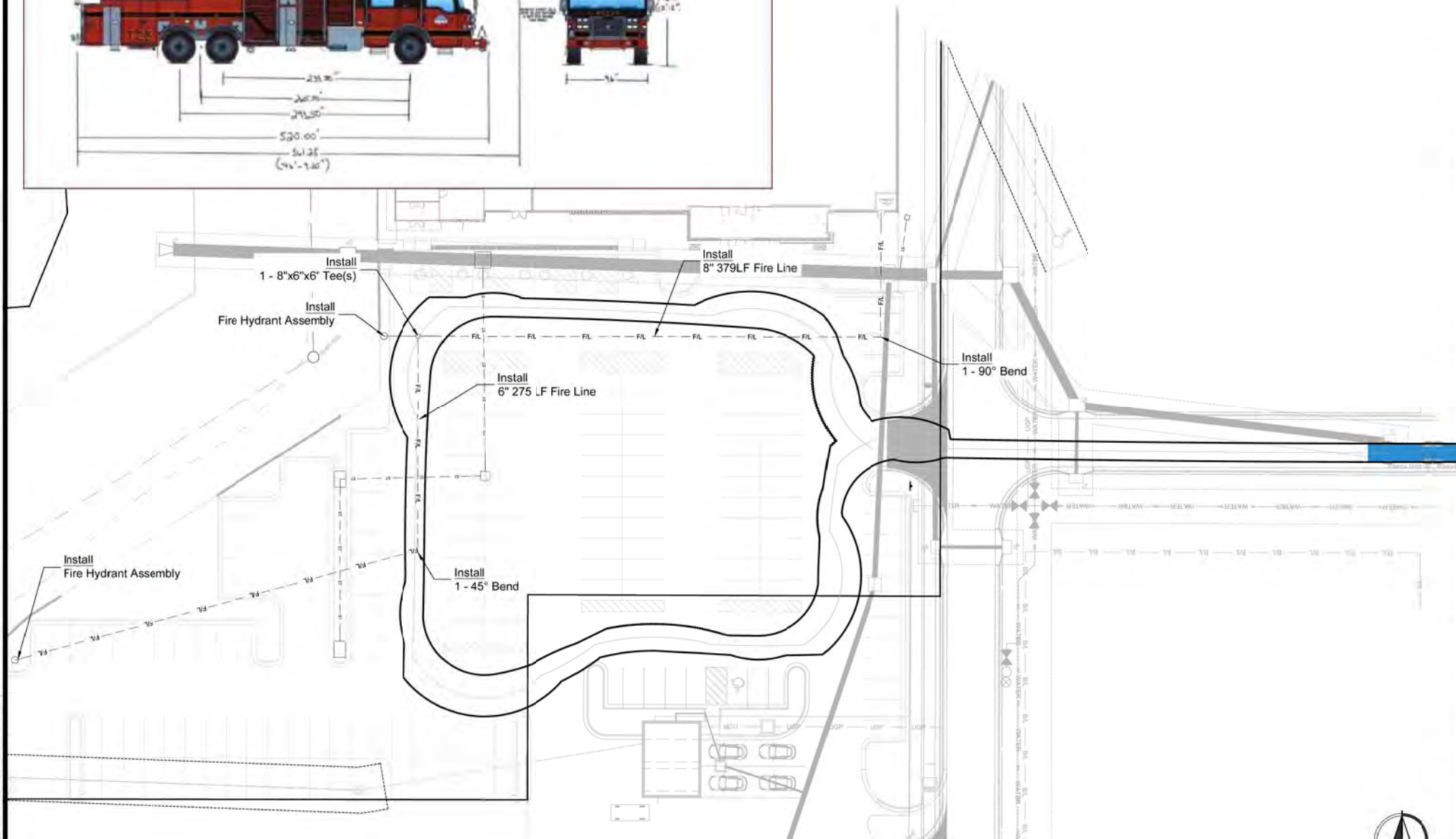
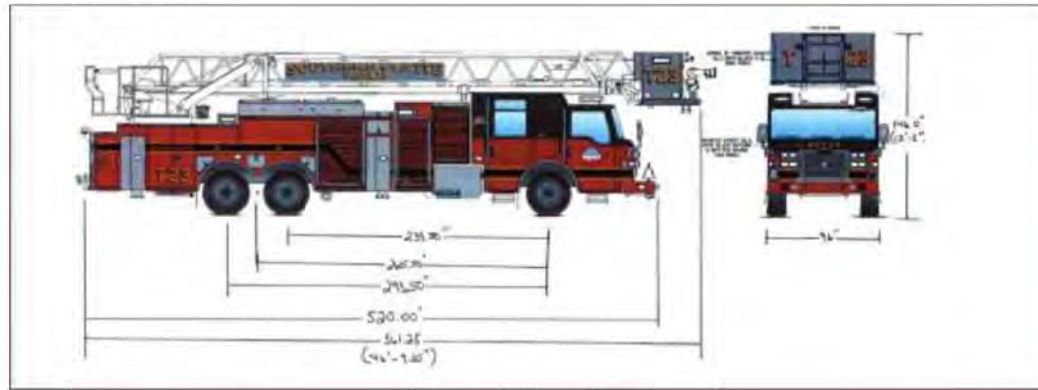




This detailed site plan illustrates the proposed 100-unit residential development. The plan includes building footprints, parking spaces, and landscaping. Key features include:

- Building Footprints:** The main building footprint is shown with internal room divisions. A smaller building footprint is located to the right of the main building.
- Parking:** A parking lot is located to the right of the main building footprint, with individual parking spaces marked.
- Landscaping:** The plan shows various landscaping elements, including trees, shrubs, and lawn areas. A large lawn area is located to the left of the main building footprint.
- Site Access:** The plan shows the proposed access to the site from Elizabeth Street, which runs along the top of the property.
- Topography:** The plan includes contour lines indicating the site's topography. Elevation markers are provided throughout the site.
- Legend:** A legend in the bottom left corner defines the symbols used in the plan:
 - A0:** Structure Label
 - 1.00:** 3.00-Area to Structure (Ac.)
- North Arrow:** A north arrow is located in the bottom right corner of the plan.
- Scale:** A scale bar in the bottom right corner indicates a scale of 1" = 30'.

Fire Truck Specifications



Final Development Plan

24-0120

Old Town At Creekside Grocery & Event Space
Parkville, Platte County, MO

Fire Protection Plan

NO.	DATE	REVISION
1	08/08/24	Final Development Plan
2	08/08/24	Original Submittal

DRAWN BY: JH
CHECKED BY: JC

Renaissance
Infrastructure
Consulting

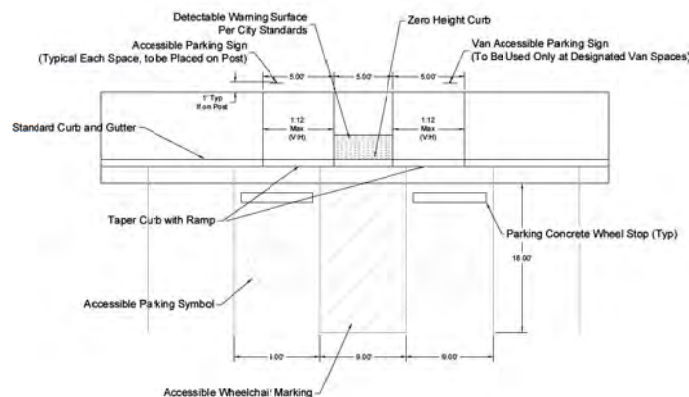
1800 800 0050
www.ri-consult.com

100 E 17th Street
Kansas City, Missouri 64108

MO Certificate of Authority: E-201003530

STATE OF MISSOURI
PATRICK N. CASH
REGISTERED PROFESSIONAL ENGINEER

Sheet
C10

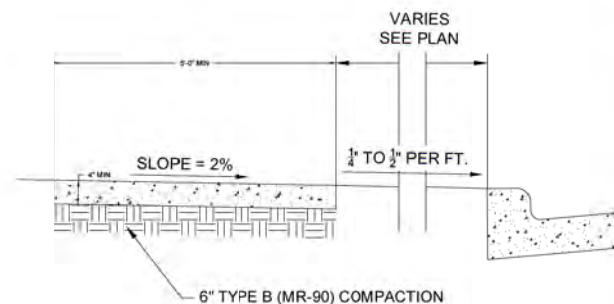


Note:
Accessible Parking Symbol and Signage Shall Comply with
the Applicable Recommendations of the Manual of Uniform
Traffic Control Devices (MUTCD)

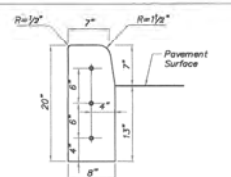
ACCESSIBLE PARKING DETAIL (90°)
Not to Scale



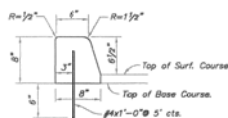
HANDICAP SIGNAGE
Not to Scale



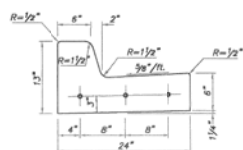
STANDARD SIDEWALK
PUBLIC AND PRIVATE



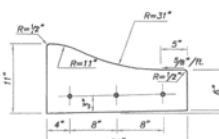
STRAIGHT CURB
(TYPE C-1)



DOWELLED CURB
(TYPE DC)



STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)

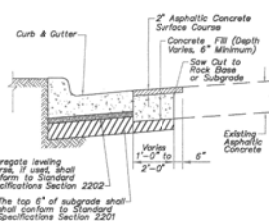


ROLL BACK CURB & GUTTER
(TYPE CG-2)



GENERAL NOTES:

1. 3/4" Isolation Joints with 3/8" dia. 2" x 2" smooth dowels shall be placed at radius points and at 10' intervals. These dowels shall be greased and wrapped on one end with expansion tubes.
2. 1" deep Contraction Joints shall be installed at approximately 10' intervals. These joints shall pass across the entire curb section.
3. Fix dowel bars with bar supports.
4. Depth of curb shall be a minimum of 8" through the handicap access ramp.
5. Concrete shall conform to Standard Specifications Section 2205.2.8.
6. Asphaltic concrete surface course shall conform to Standard Specifications Section 2205.2.



CURB REPLACEMENT DETAIL

MOUNTABLE CURB PAVING SECTION
NE Corner Rustic Ln and Elizabeth St.



NO.	DATE	REVISION
1	05/05/2024	See City Comments
2	05/05/2024	Original Submittal

DRAWN BY	CHECKED BY
JK	HC

Renaissance Infrastructure Consulting
1818 Bldg. 0450
17th Street
Kansas City, Missouri 64108
www.ri-consult.com
E: 2010335330

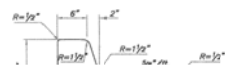


STRAIGHT CURB
(TYPE C-1)

DOWELLED CURE
(TYPE DC)

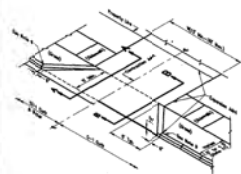
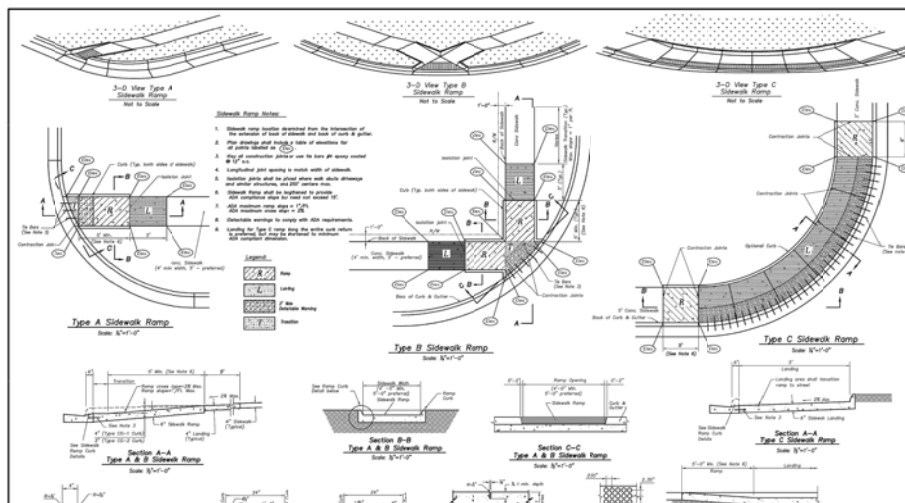
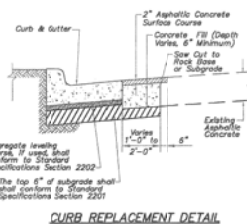
STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)

ROLL BACK CURB & GUTTER
(TYPE CG-2)

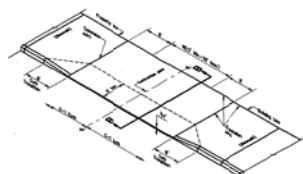


GENERAL NOTES:

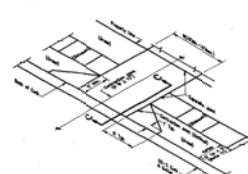
1. $\frac{3}{4}$ " Isolation Joints with $\frac{5}{8}$ " dia. $\times 2'$ smooth dowels shall be placed at radius points and at $150'$ intervals. These dowel bars shall be grouted and wrapped on one and with expansion tubes.
2. 1° deep Contraction Joints shall be installed at approximately $10'$ intervals. These joints shall pass across the entire curb section.
3. $1\frac{1}{2}$ " dowel bars with bar supports.
4. Depth of curb shall be a minimum of $8"$ through the handicap access ramp.
5. Concrete shall conform to Standard Specifications Section 2206.2.3.
6. Asphaltic concrete surface course shall conform to Standard Specifications Section 2205.2.



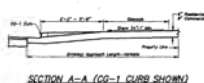
TYPE I
(Parkway 1.5' to < 5')



TYPE II



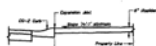
TYPE III
(Partway 1.5' to $< 5'$)



SECTION A-A (CG-1 CURB SHOWN)

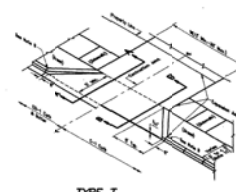


SECTION B-B (C-1 CURB)

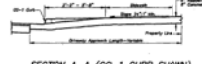


SECTION C-C (CG-2 CURB)

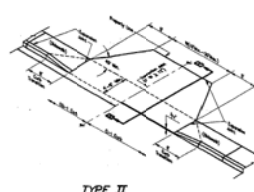
- NOTES:**
1. The top 6" of driveway sub-grade shall be compacted to 95% of standard maximum density.
 2. Concrete shall conform to M20 Mix No. MH610-1-4, except in CBD where M40-1-4 with Trap Lock Aggregate is required, Section 2209.2A.
 3. Expansion joint oil and joint sealing compound shall conform to Standard



TYPE I
(torqueway 1.5° to < 5°)



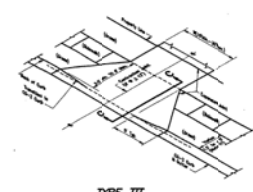
SECTION A-A (CG-1 CURB SHOWN)



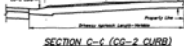
TYPE II



SECTION B-B (C-1 CURB)

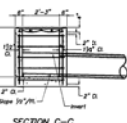
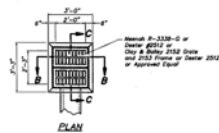


TYPE III
(Parkway 1.5' to < 5')



SECTION C-6 (CG-2 CURB)

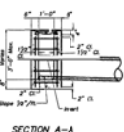
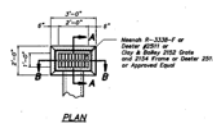
- NOTES:**
1. The top 6" of driveway subgrade shall be compacted to 95% of standard maximum density.
 2. Concrete shall conform to MGS Mix No. M4616-1-4, except in CBO where M4610-1-4 with Trap Rock Aggregate is required, Section 2209.2.A.
 3. Expansion joint filler and joint sealing compound shall conform to Standard Specifications Section 2209.7.
 4. Curing membranes shall conform to Standard Specifications Section 2208.2.
 5. Curb transitions or driveway flares are considered part of driveway.
 6. In CBO, 6 x 6-M29.9 #29.9 reinforcing shall be placed in center of slab.



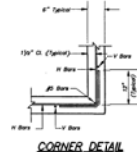
DOUBLE GRATE INLET DETAILS

- NOTE:**
1. Location point of center of inlet.
 2. A separate top slab may be utilized.
 3. Not recommended for use in areas with bicycle traffic.

* East Jordan is an approved manufacturer for castings.

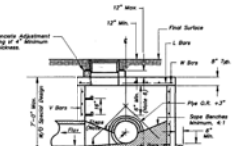
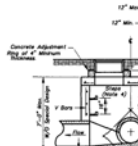
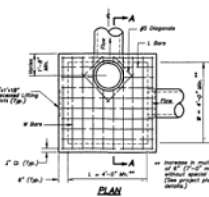


SINGLE GRATE INLET DETAILS



SLAB TOP ALTERNATE FOR JUNCTION BOX (SHALLOW)

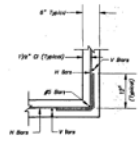
NOTE: Slab & Cover to be finished to 1535, Day & Bailey (1535) under 1535, or approved equal. (Casting may vary by manufacturer, refer to plans & contract documents.)



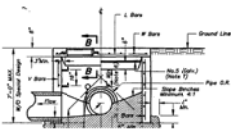
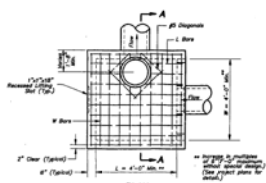
- GENERAL NOTES:**
1. Locate ring and cover over outlet.
 2. All work and materials shall conform to Section 2450 AFPA.
 3. Use 3/4" diameter steel or 3/4" x 8 edge tool on all exposed concrete surfaces.
 4. Slabs required of 18" D.C. shall extend from top of outlet to street surface.
 5. Reinforcement shall be placed in project through the outlet to the street surface and shall be secured.
 6. The minimum width shall be 18" for use in 18" to 24" pipe size and 24" for use in 24" to 36" pipe size.
 7. Slab depth shall be 8" with No. 3 galvanized bars.
 8. Slab & cover shall be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.
 9. Slab & cover shall be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.
 10. Reinforcing of covers in street results special design.
 11. Slab & Cover to be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.

* East Jordan is an approved manufacturer for castings.

REINFORCING		
Bar	Size	Qty
1	1/2"	12
2	1/2"	12



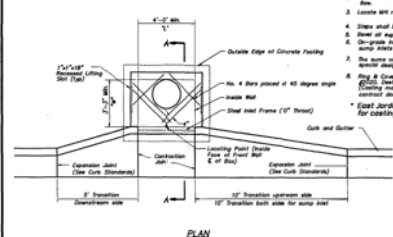
CORNER DETAIL



- GENERAL NOTES:**
1. Locate ring and cover over outlet.
 2. All work and materials shall conform to AFPA.
 3. Use 3/4" diameter steel or 3/4" x 8 edge tool on all exposed concrete surfaces.
 4. Slabs required of 18" D.C. shall extend from top of outlet to street surface.
 5. Reinforcement shall be placed in project through the outlet to the street surface and shall be secured.
 6. The minimum width shall be 18" for use in 18" to 24" pipe size and 24" for use in 24" to 36" pipe size.
 7. Slab depth shall be 8" with No. 3 galvanized bars.
 8. Slab & cover shall be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.
 9. Slab & cover shall be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.
 10. Reinforcing of covers in street results special design.
 11. Slab & Cover to be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.

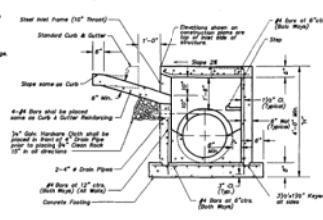
* East Jordan is an approved manufacturer for castings.

REINFORCING		
Bar	Size	Qty
1	1/2"	12
2	1/2"	12

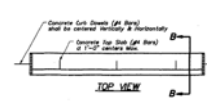
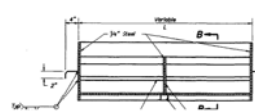
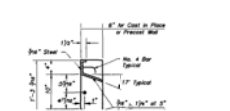


PLAN

- GENERAL NOTES:**
1. The steel reinforcement in this construction system is the same as that shown in the standard details.
 2. Slab of steel shall be placed with steel to provide strength.
 3. Locate all ring and cover over outlet.
 4. Slabs shall be spaced at 18" D.C. vertically.
 5. Slab of steel shall be placed with steel to provide strength.
 6. Slab of steel shall be placed with steel to provide strength.
 7. The same of 18" D.C. shall not exceed 18" without approval.
 8. Slab & Cover to be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.
 9. Slab & Cover to be finished to 1535, Day & Bailey (1535) under 1535, or approved equal.



SECTION A-A



TOP VIEW

LANDSCAPE CALCULATIONS

Street Trees
Required: 1 large tree / 40' lot frontage
Provided: Elizabeth Street (436') = 11 trees

Parking Lot Plantings
Required: 1 large tree / 25 parking spaces; 1 shrub / 10' perimeter landscape buffer; cont. shrub hedge for any perimeter within 25' of a street
Provided: 161 parking spaces = 7 trees + cont. shrub hedge for parking lot perimeter

Buffers
Required: Not applicable

Open Spaces
Required: 5%
Provided: 25%



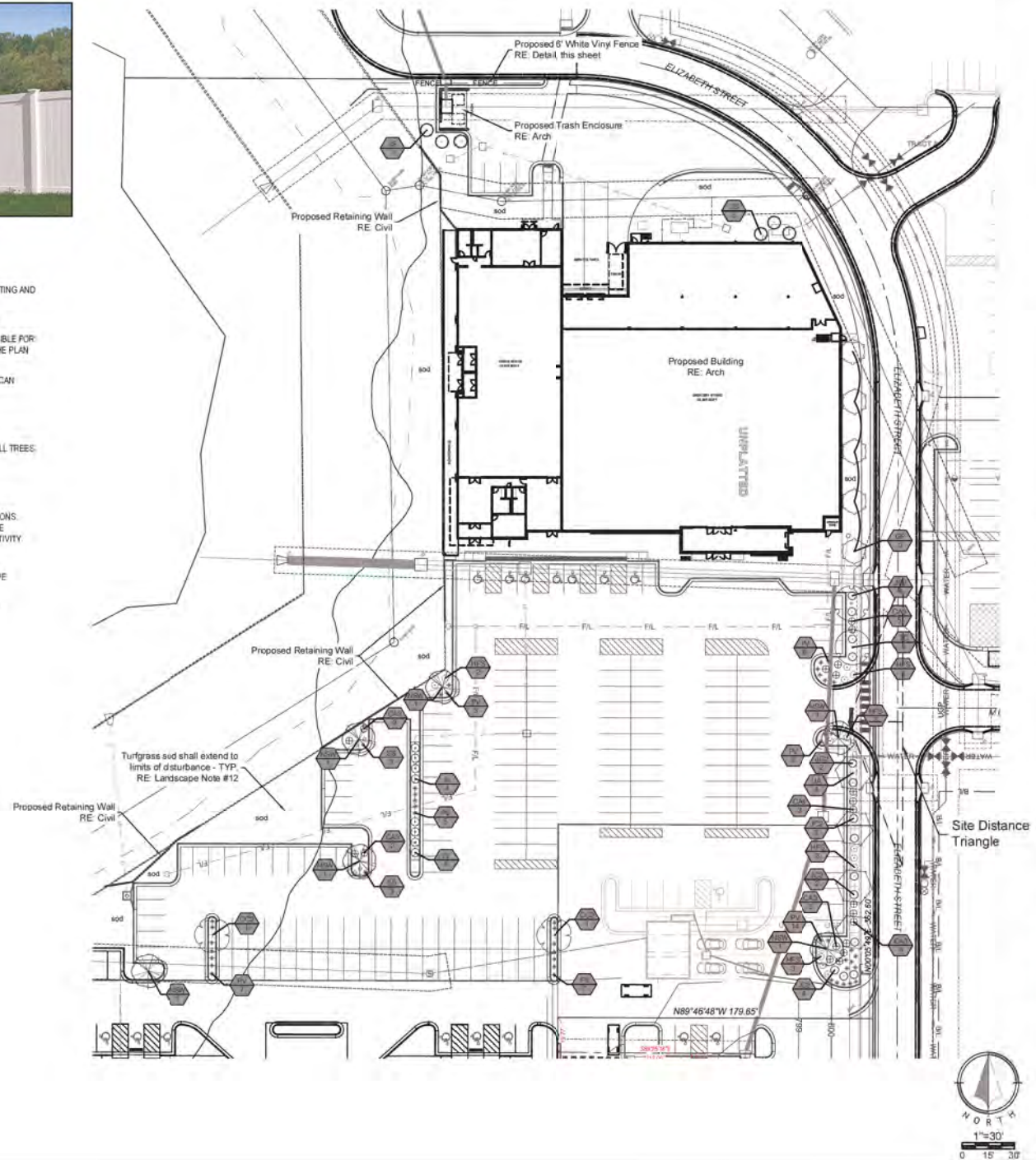
Proposed 6' Vinyl Screening Fence
Not to Scale

LANDSCAPE NOTES

1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
5. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
6. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
7. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
8. ALL TREES SHALL BE STAKED PER DETAIL.
9. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
10. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
11. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
12. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE PESCUE.
13. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
TREES				
	GP	Ginkgo biloba 'Princeton Sentry' / F-Invictor Sentry Maidenhair Tree	B&B, 2" Cal.	5
	NSW	Myrica asplenica 'Widow' / Black Gum	B&B, 2" Cal.	6
	TC	Tilia cordata 'Greenspire' / 'Lilbourn' Linden	B&B, 2" Cal.	2
	UA	Ulmus americana 'Valley Forge' / American Elm	B&B, 2" Cal.	4
EVERGREEN				
	JS	Juniperus chinensis 'Spartan' / Spartan Juniper	B&B, 5' Ht. Min.	6
ORNAMENTAL				
	CC2	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B, 1.5" Cal.	2
SHRUBS				
	CA3	Clethra alnifolia 'Ruby Spice' / Ruby Spice Clethra	3 Gal.	26
	HFS	Hypericum frondosum 'Sunburst' / Sunburst Hypericum	3 Gal.	14
	IV	Ilex virginica 'Henry's Garnet' / Henry's Garnet Sweetgum	3 Gal.	8
	PV	Panicum virgatum 'Hansen Hems' / Hansen Hems Switch Grass	3 Gal.	45
	SS	Schizachyrium scoparium 'Prairie Munchkin' / Prairie Munchkin Little Bluestem	3 Gal.	6
EVERGREEN SHRUBS				
	JC2	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.	14



Final Development Plan

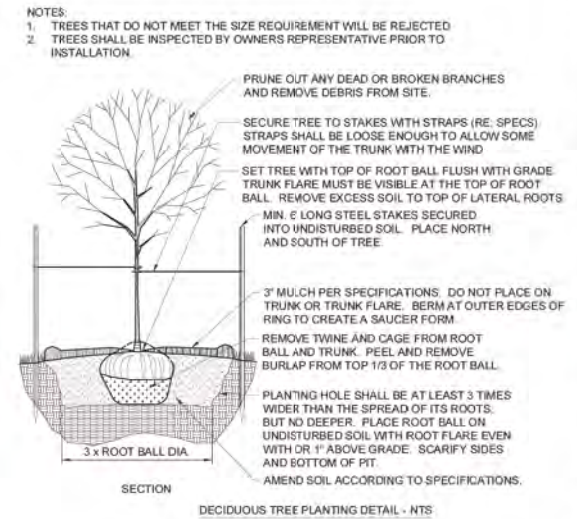
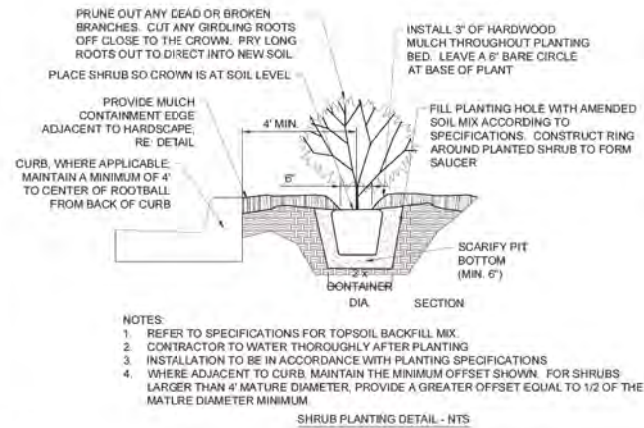
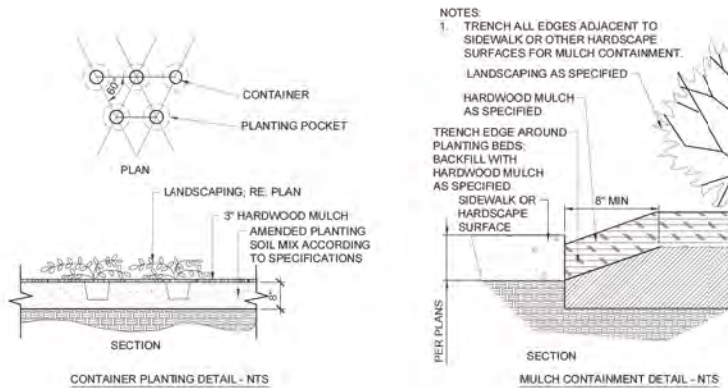
24-0120
Old Town At Creekside Grocery & Event Space
Parkville, Platte County, MO

Landscape Plan

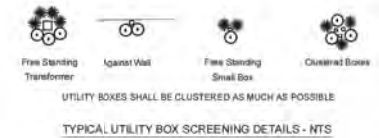
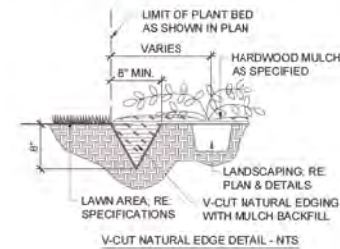
Renaissance
Infrastructure
Consulting



Sheet
L01



- NOTES:
- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT
 - TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE. DETAIL THIS SHEET
 - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.



NO.	DATE	REVISION
1	01/10/2024	Per Plan/Comments
2	01/10/2024	Original Submittal
3	01/10/2024	Revised

Renaissance Infrastructure Consulting

1115.800.0950
 1115.800.0950
 1115.800.0950





EVENT VENUE AND BOARDWALK ENTRY



SOUTH FACADE AND ENTRY VESTIBULE



BOARDWALK LOOKING NORTH-EAST

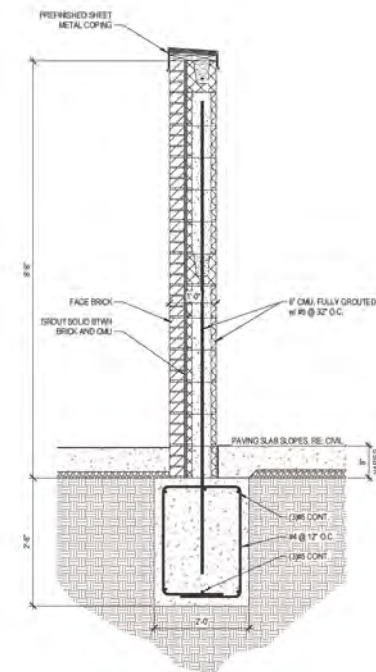


Old Town at Creekside
Grocery Store & Event Venue
 Parkville Development 38
 48 Highway E I-435
 Parkville, Platte County, MO

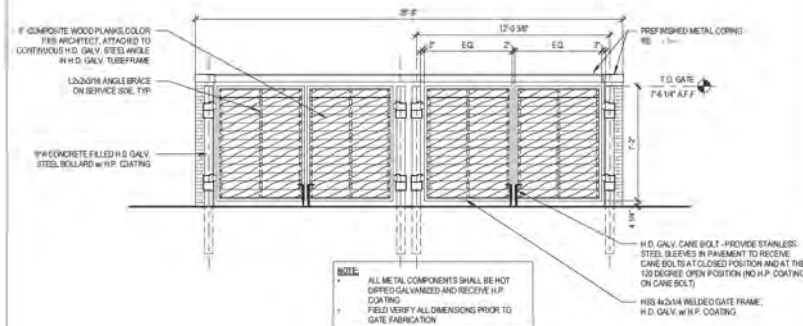
[illegible]

AS-102

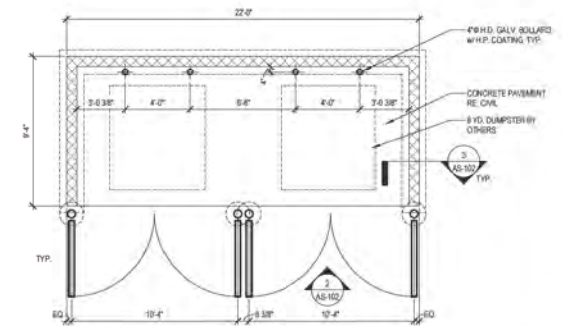
Page 23 of 28



Wall Section at CMU Wall w/ Veneer

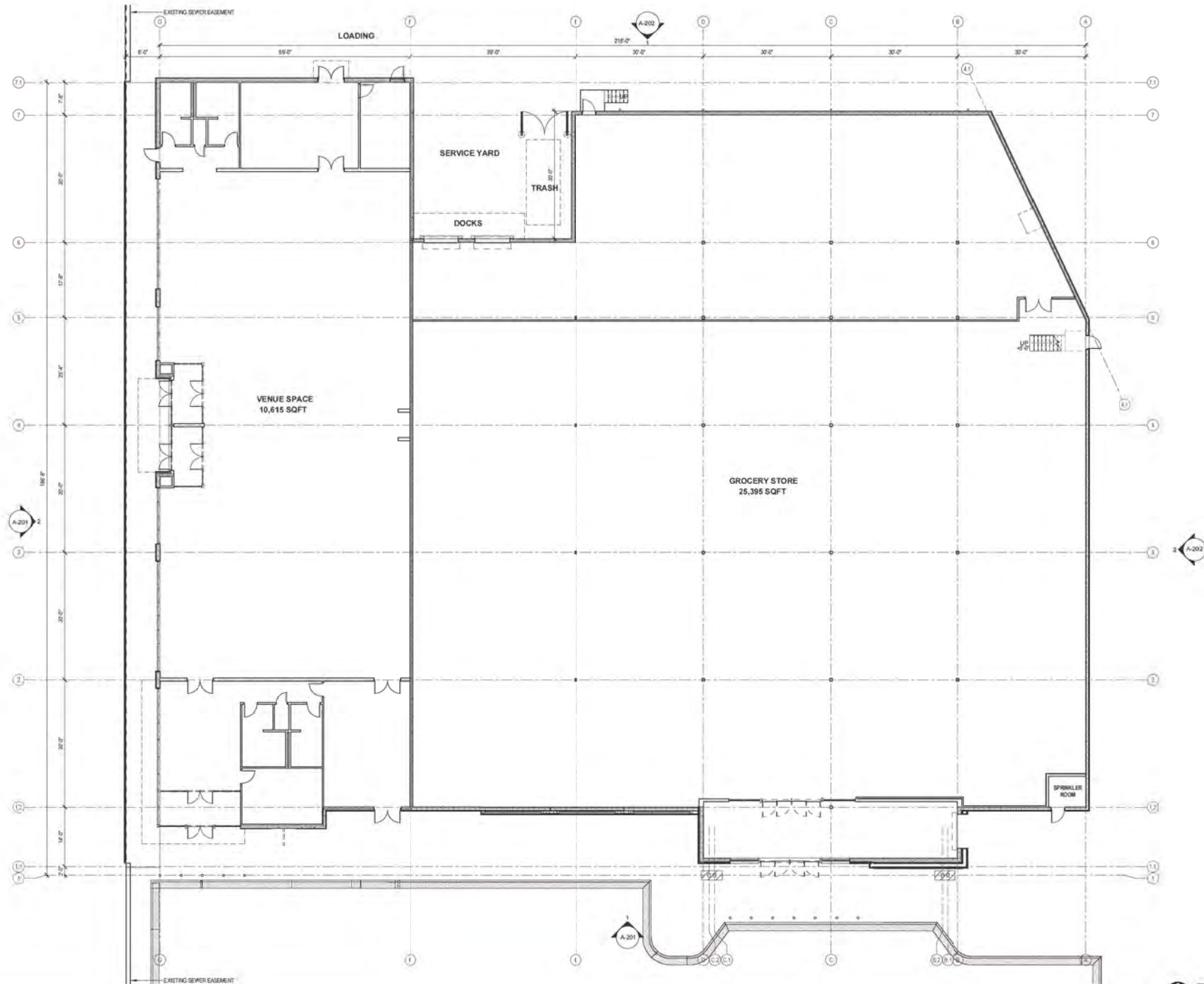


Elevation at Composite Wood Gates for Two Dumpsters 2
1/8" = 1'-0"



Dumpster Enclosure Plan for Two Dumpsters 1

7/10/2024 1:30:14 PM



First Floor Plan
30'2" x 114'0"

1



Old Town at Creekside
Grocery Store & Event Venue
Parkville Development 38
44 Highway 6, L435
Parkville, Platte County, MO

Revisions	
1	2024-05-09 (05/09/2024)
Project # 240201-H	
Final Development Plan	
05/09/2024	

FIRST FLOOR PLAN
A-101



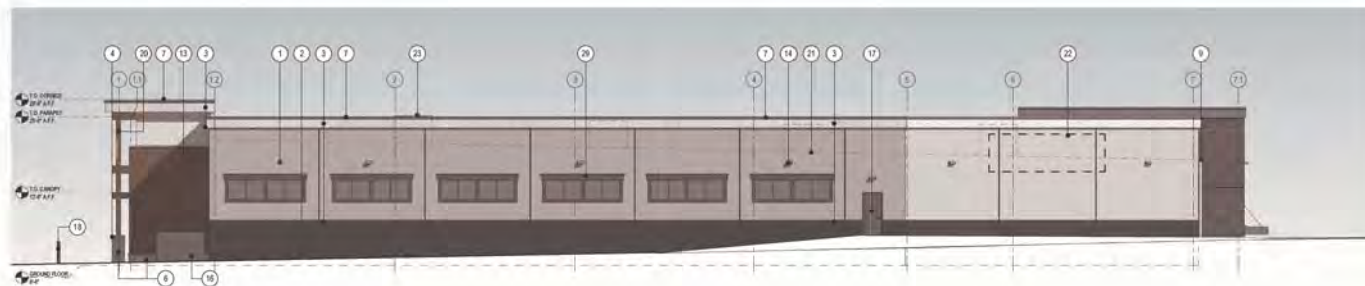
West Elevation 2
3/32" = 1'-0"



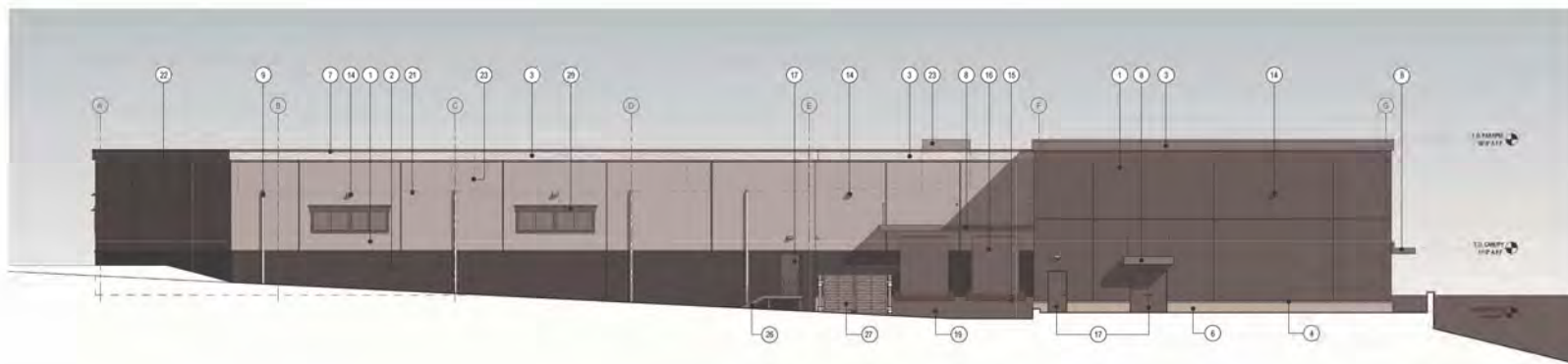
South Elevation 1
3/32" = 1'-0"

KEYNOTES

- ① INSULATED PRECAST/TILT-UP CONCRETE WALL PANEL w/ DIRECT APPLIED TEXTURED ACRYLIC COATING
- ② THIN BRICK RECESSED INTO CONCRETE WALL PANEL
- ③ EXTERIOR INSULATED FINISH SYSTEM
- ④ ARCHITECTURAL MASONRY CAP
- ⑤ CONCRETE CURB w/ RUBBED FINISH
- ⑥ ARCHITECTURAL MASONRY UNIT
- ⑦ PREFINISHED METAL CORNING FLASHING
- ⑧ PREFINISHED METAL CANOPY SYSTEM
- ⑨ PREFINISHED METAL OUTTERS/DOWNSPOUTS
- ⑩ ALUMINUM / GLASS STOREFRONT DOOR
- ⑪ ALUMINUM / GLASS SLIDING DOOR SYSTEM
- ⑫ ALUMINUM STOREFRONT SYSTEM w/ CLEAR INSULATED LOW-E GLAZING
- ⑬ SIMULATED WOOD PLANK RAINSCREEN SYSTEM
- ⑭ WALL MOUNTED EXTERIOR LIGHTING AS REQ'D
- ⑮ DOOR BUMPERS AND LEVELERS AS REQ'D
- ⑯ INSULATED PREFINISHED CEILING STEEL OVERHEAD DOOR
- ⑰ FLUSH HOLLOW-CORE STEEL DOOR w/ HIGH-PERFORMANCE COATING
- ⑱ HD GALVANIZED CONCRETE FILLED STEEL PIPE BOLLARD
- ⑲ RETAINING WALL RE-DIVL
- ⑳ WOOD/STEEL COLUMN AND BEAM STRUCTURAL SYSTEM
- ㉑ ROOFLINE BEYOND SHOWN DASHED
- ㉒ INTERNALLY ILLUMINATED SIGNAGE - ALL SIGNAGE TO CONFORM TO CITY SIGNAGE REQUIREMENTS AND SUBMITTED FOR REVIEW UNDER A SEPARATE PERMIT APPLICATION
- ㉓ PREFINISHED PLASTIC LOUVERED SCREEN - WALL DIRECT MOUNTED TO ROOF TOP UNITS WHERE REQ'D BY CITY OFFICIALS
- ㉔ HD GALVANIZED STEEL BEAM STRUCTURAL SYSTEM
- ㉕ HD GALVANIZED WELDED WIRE GUARD RAIL w/ HP COATING
- ㉖ HD GALVANIZED OPEN GRATE STAR AND RAINING SYSTEM AS REQ'D
- ㉗ TRASH ENCLOSURE GATES TO MATCH ADJACENT TRASH ENCLOSURE
- ㉘ INTERNALLY ILLUMINATED BLADE SIGNAGE - ALL SIGNAGE TO CONFORM TO CITY SIGNAGE REQUIREMENTS AND SUBMITTED FOR REVIEW UNDER A SEPARATE PERMIT APPLICATION
- ㉙ PRE-FORMED EPS MOULDING TRIM
- ㉚ STANDARD MILLION SYSTEM TO ACCEPT GRAPHIC DISPLAY PANELS
- ㉛ POST-APPLIED ACRYLIC WINDOW FILM



East Elevation 2
3/32" = 1'-0"



North Elevation 1
3/32" = 1'-0"

KEYNOTES

- ① INSULATED PRECAST/CLIP CONCRETE WALL PANELS w/ DIRECT APPLIED TEXTURED ACRYLIC COATING
- ② THIN BRICK RECESSED INTO CONCRETE WALL PANELS
- ③ EXTERIOR INSULATED FINISH SYSTEM
- ④ ARCHITECTURAL MASONRY CAP
- ⑤ CONCRETE CURB w/ RUBBED FINISH
- ⑥ ARCHITECTURAL MASONRY UNIT
- ⑦ PREFINISHED METAL CORNG/FLASHING
- ⑧ PREFINISHED METAL CANOPY SYSTEM
- ⑨ PREFINISHED METAL GUTTERS/DOWNPOUTS
- ⑩ ALUMINUM / GLASS STOREFRONT DOORS
- ⑪ ALUMINUM / GLASS SLIDING DOOR SYSTEM
- ⑫ ALUMINUM STOREFRONT SYSTEM w/ CLEAR INSULATED LOW E GLAZING
- ⑬ SIMULATED WOOD PLANK RAINSCREEN SYSTEM
- ⑭ WALL MOUNTED EXTERIOR LIGHTING AS REQ'D
- ⑮ DOCK BUMPERS AND LEVELERS AS REQ'D
- ⑯ INSULATED PREFINISHED COOLING STEEL OVERHEAD DOOR
- ⑰ FLUSH HOLLOW CORE STEEL DOOR w/ HIGH PERFORMANCE COATING
- ⑱ HD GALVANIZED CONCRETE FILLED STEEL PIPE ROLLAND
- ⑲ RETAINING WALL RE: CIVIL
- ⑳ WOOD/STEEL COLUMN AND BEAM STRUCTURAL SYSTEM
- ㉑ ROOFLINE BEYOND SHOWN DASHED
- ㉒ INTERNALLY ILLUMINATED SIGNAGE - ALL SIGNAGE TO CONFORM TO CITY SIGNAGE REQUIREMENTS AND SUBMITTED FOR REVIEW UNDER A SEPARATE PERMIT APPLICATION
- ㉓ PREFINISHED PLASTIC LOUVERED SCREEN WALL DIRECT MOUNTED TO ROOF TOP UNITS WHERE REQ'D BY CITY OFFICIALS
- ㉔ HD GALVANIZED STEEL BEAM STRUCTURAL SYSTEM
- ㉕ HD GALVANIZED WELDED WIRE GUARD RAIL w/ HP COATING
- ㉖ HD GALVANIZED OPEN GRATE STAIR AND RAILING SYSTEM AS REQ'D
- ㉗ TRASH ENCLOSURE GATES TO MATCH ADJACENT TRASH ENCLOSURE
- ㉘ INTERNALLY ILLUMINATED BLADE SIGNAGE - ALL SIGNAGE TO CONFORM TO CITY SIGNAGE REQUIREMENTS AND SUBMITTED FOR REVIEW UNDER A SEPARATE PERMIT APPLICATION
- ㉙ PRE-FORMED EPS MOULDING TRIM
- ㉚ STANDARD MILLION SYSTEM TO ACCEPT GRAPHIC DISPLAY PANELS
- ㉛ POST-APPLIED ACRYLIC WINDOW FILM

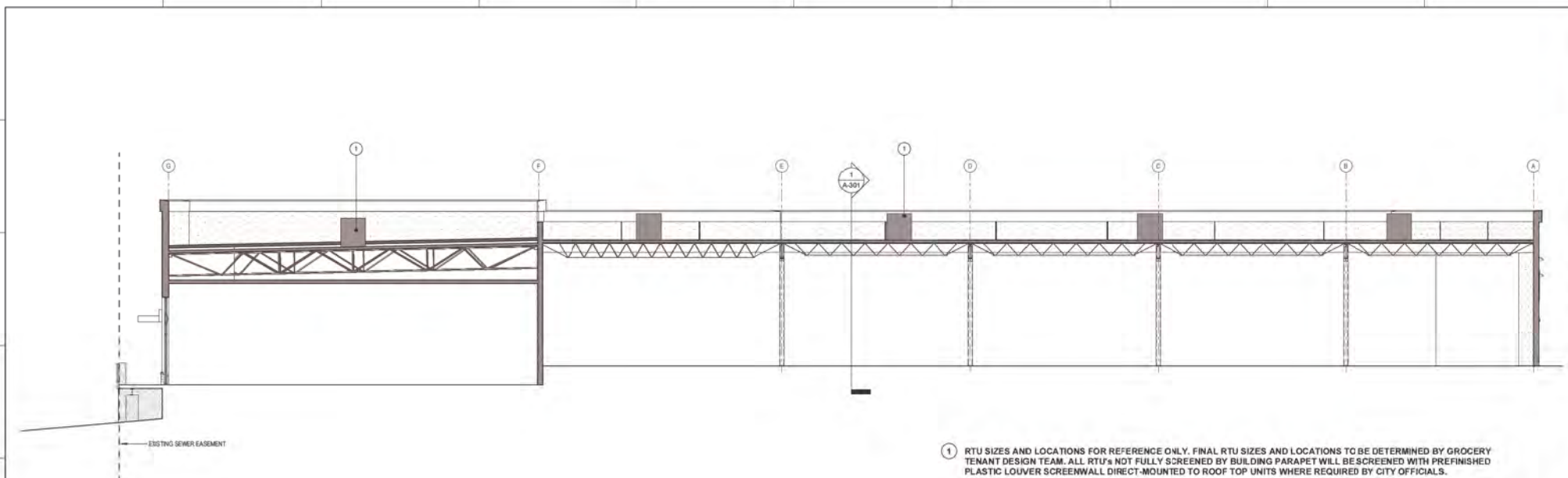


NOT FOR CONSTRUCTION

Old Town at Creekside
Grocery Store & Event Venue
 Parkville Development 38
 44 Highway 6 & 1435
 Parkville, Platte County, MO

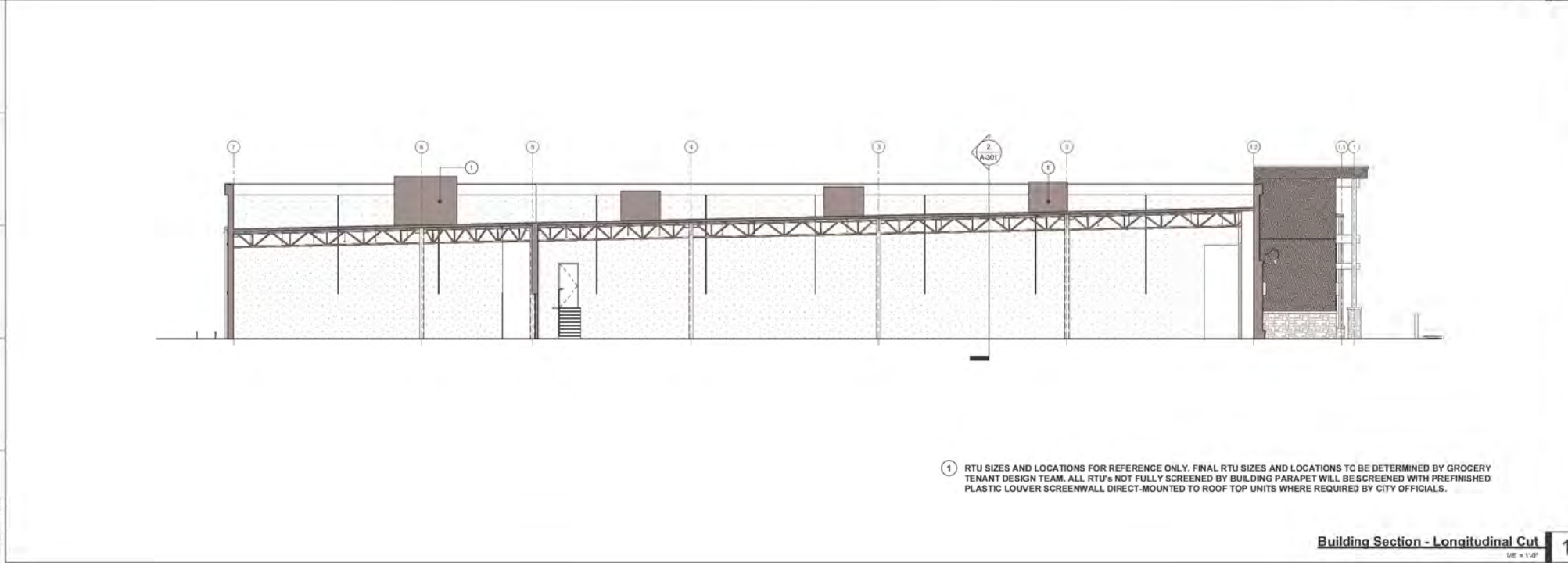
Revisions	
1	2024-01-10
2	2024-01-10
3	2024-01-10
4	2024-01-10
5	2024-01-10
6	2024-01-10
7	2024-01-10
8	2024-01-10
9	2024-01-10
10	2024-01-10
11	2024-01-10
12	2024-01-10
13	2024-01-10
14	2024-01-10
15	2024-01-10
16	2024-01-10
17	2024-01-10
18	2024-01-10
19	2024-01-10
20	2024-01-10
21	2024-01-10
22	2024-01-10
23	2024-01-10
24	2024-01-10
25	2024-01-10
26	2024-01-10
27	2024-01-10
28	2024-01-10
29	2024-01-10
30	2024-01-10
31	2024-01-10
32	2024-01-10
33	2024-01-10
34	2024-01-10
35	2024-01-10
36	2024-01-10
37	2024-01-10
38	2024-01-10
39	2024-01-10
40	2024-01-10
41	2024-01-10
42	2024-01-10
43	2024-01-10
44	2024-01-10
45	2024-01-10
46	2024-01-10
47	2024-01-10
48	2024-01-10
49	2024-01-10
50	2024-01-10
51	2024-01-10
52	2024-01-10
53	2024-01-10
54	2024-01-10
55	2024-01-10
56	2024-01-10
57	2024-01-10
58	2024-01-10
59	2024-01-10
60	2024-01-10
61	2024-01-10
62	2024-01-10
63	2024-01-10
64	2024-01-10
65	2024-01-10
66	2024-01-10
67	2024-01-10
68	2024-01-10
69	2024-01-10
70	2024-01-10
71	2024-01-10
72	2024-01-10
73	2024-01-10
74	2024-01-10
75	2024-01-10
76	2024-01-10
77	2024-01-10
78	2024-01-10
79	2024-01-10
80	2024-01-10
81	2024-01-10
82	2024-01-10
83	2024-01-10
84	2024-01-10
85	2024-01-10
86	2024-01-10
87	2024-01-10
88	2024-01-10
89	2024-01-10
90	2024-01-10
91	2024-01-10
92	2024-01-10
93	2024-01-10
94	2024-01-10
95	2024-01-10
96	2024-01-10
97	2024-01-10
98	2024-01-10
99	2024-01-10
100	2024-01-10

Project # 240201-H
 Final Development Plan
 09/05/2024
 RENDERED EXTERIOR ELEVATIONS
A-202



1 RTU SIZES AND LOCATIONS FOR REFERENCE ONLY. FINAL RTU SIZES AND LOCATIONS TO BE DETERMINED BY GROCERY TENANT DESIGN TEAM. ALL RTU'S NOT FULLY SCREENED BY BUILDING PARAPET WILL BE SCREENED WITH PREFINISHED PLASTIC LOUVER SCREENWALL DIRECT-MOUNTED TO ROOF TOP UNITS WHERE REQUIRED BY CITY OFFICIALS.

Building Section - Transverse Cut 2
1/8" = 1'-0"



1 RTU SIZES AND LOCATIONS FOR REFERENCE ONLY. FINAL RTU SIZES AND LOCATIONS TO BE DETERMINED BY GROCERY TENANT DESIGN TEAM. ALL RTU'S NOT FULLY SCREENED BY BUILDING PARAPET WILL BE SCREENED WITH PREFINISHED PLASTIC LOUVER SCREENWALL DIRECT-MOUNTED TO ROOF TOP UNITS WHERE REQUIRED BY CITY OFFICIALS.

Building Section - Longitudinal Cut 1
1/8" = 1'-0"



NOT FOR CONSTRUCTION

Old Town at Creekside
Grocery Store & Event Venue
 Parkville Development 38
 44 Highway 61438
 Parkville, Platte County, MO

Revision	By	Date
1	SAI	05/05/2024
2	SAI	05/05/2024
3	SAI	05/05/2024
4	SAI	05/05/2024
5	SAI	05/05/2024
6	SAI	05/05/2024
7	SAI	05/05/2024
8	SAI	05/05/2024
9	SAI	05/05/2024
10	SAI	05/05/2024
11	SAI	05/05/2024
12	SAI	05/05/2024
13	SAI	05/05/2024
14	SAI	05/05/2024
15	SAI	05/05/2024
16	SAI	05/05/2024
17	SAI	05/05/2024
18	SAI	05/05/2024
19	SAI	05/05/2024
20	SAI	05/05/2024
21	SAI	05/05/2024
22	SAI	05/05/2024
23	SAI	05/05/2024
24	SAI	05/05/2024
25	SAI	05/05/2024
26	SAI	05/05/2024
27	SAI	05/05/2024
28	SAI	05/05/2024
29	SAI	05/05/2024
30	SAI	05/05/2024
31	SAI	05/05/2024
32	SAI	05/05/2024
33	SAI	05/05/2024
34	SAI	05/05/2024
35	SAI	05/05/2024
36	SAI	05/05/2024
37	SAI	05/05/2024
38	SAI	05/05/2024
39	SAI	05/05/2024
40	SAI	05/05/2024
41	SAI	05/05/2024
42	SAI	05/05/2024
43	SAI	05/05/2024
44	SAI	05/05/2024
45	SAI	05/05/2024
46	SAI	05/05/2024
47	SAI	05/05/2024
48	SAI	05/05/2024
49	SAI	05/05/2024
50	SAI	05/05/2024
51	SAI	05/05/2024
52	SAI	05/05/2024
53	SAI	05/05/2024
54	SAI	05/05/2024
55	SAI	05/05/2024
56	SAI	05/05/2024
57	SAI	05/05/2024
58	SAI	05/05/2024
59	SAI	05/05/2024
60	SAI	05/05/2024
61	SAI	05/05/2024
62	SAI	05/05/2024
63	SAI	05/05/2024
64	SAI	05/05/2024
65	SAI	05/05/2024
66	SAI	05/05/2024
67	SAI	05/05/2024
68	SAI	05/05/2024
69	SAI	05/05/2024
70	SAI	05/05/2024
71	SAI	05/05/2024
72	SAI	05/05/2024
73	SAI	05/05/2024
74	SAI	05/05/2024
75	SAI	05/05/2024
76	SAI	05/05/2024
77	SAI	05/05/2024
78	SAI	05/05/2024
79	SAI	05/05/2024
80	SAI	05/05/2024
81	SAI	05/05/2024
82	SAI	05/05/2024
83	SAI	05/05/2024
84	SAI	05/05/2024
85	SAI	05/05/2024
86	SAI	05/05/2024
87	SAI	05/05/2024
88	SAI	05/05/2024
89	SAI	05/05/2024
90	SAI	05/05/2024
91	SAI	05/05/2024
92	SAI	05/05/2024
93	SAI	05/05/2024
94	SAI	05/05/2024
95	SAI	05/05/2024
96	SAI	05/05/2024
97	SAI	05/05/2024
98	SAI	05/05/2024
99	SAI	05/05/2024
100	SAI	05/05/2024

PRELIMINARY BUILDING SECTIONS

A-301



SOUTH FACADE AND ENTRY VESTIBULE



BOARDWALK LOOKING WEST



EVENT VENUE AND BOARDWALK ENTRY



BOARDWALK LOOKING NORTH-EAST

RASH ENCLOSURE DETAILS

Page 39 of 80

Wall Section at CMU Wall w/ Veneer 3

SECTION NOT USED

Elevation at Composite Wood Gates for Two Dumpsters 2

SECTION NOT USED

Dumpster Enclosure Plan for Two Dumpsters 1

1



45 Highway & I-435
Parkville, Platte County, MO

Revisions:	
Project #:	24-030-1-A
Final Development Plan	
06/05/2024	

A-101





Revisions:

Project #: 240001

A-202

Page 42 of 79

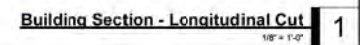
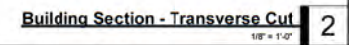


- ## KEYNOTES
- INSULATED PRECAST/TILT-UP CONCRETE WALL PANELS w/ DIRECT APPLIED TEXTURED AIR-SEALING COATING
 - WALL CORES RECESSED INTO CONCRETE WALL PANEL
 - EXTERIOR INSULATED FINISH SYSTEM
 - ARCHITECTURAL MASONRY CAP
 - CONCRETE CURBS w/ RUBBED FINISH
 - ARCHITECTURAL MASONRY UNIT
 - PREFINISHED METAL COPING/LASHING
 - PREFINISHED METAL CANOPY SYSTEM
 - PREFINISHED METAL GUTTERS/DOWNSPOUTS
 - ALUMINUM GLASS STOREFRONT DOORS
 - ALUMINUM GLASS SLIDING DOOR SYSTEM
 - ALUMINUM STOREFRONT SYSTEM w/ CLEAR INSULATED LOW-E GLAZING
 - SIMULATED WOOD PLANK RAINSCREEN SYSTEM
 - WALL-MOUNTED EXTERIOR LIGHTING
 - DOOR BUMPERS AND LEVELERS AS REQ'D
 - INSULATED PREFINISHED COLUING STEEL ROOFING AND DOOR
 - FLUSH HOLLOW CORE STEEL DOOR w/ HIGH PERFORMANCE COATING
 - HQ GALVANIZED CONCRETE FILLED STEEL PIPE BOLLARD
 - EMPOSED CONCRETE RETAINING FOUNDATION WALL WITH RUBBED FINISH
 - WOOD FLOOR AND BEAM STRUCTURAL SYSTEM
 - ROOFLINE BEYOND SHOWN DASHED
 - INTERNALLY LUMINAIED BLACK SIGNAGE - ALL SIGNAGE TO CONFORM TO CITY SIGNAGE REQUIREMENTS AND SUBMITTED FOR REVIEW UNDER THE CITY OF LOS ANGELES PERMIT APPLICATION
 - PREFINISHED PLASTIC LUMINAIED BOLLARD WALL DIRECT MOUNTED TO ROOF TOP UNITS AS REQ'D
 - HQ GALVANIZED CANTILEVERED STEEL IN-RAM STRUCTURAL SYSTEM
 - HQ GALVANIZED WELDING WIRE GUARD RAIL w/ HP COATING
 - HQ GALVANIZED OPEN GRADE STAIR TO MATCH EXISTING SIGNAGE AS REQ'D
 - TRASH ENCLOSURE GATES TO MATCH ADJACENT TRASH ENCLOSURE
 - INTERNALLY LUMINAIED BLACK SIGNAGE - ALL SIGNAGE TO CONFORM TO CITY SIGNAGE REQUIREMENTS AND SUBMITTED FOR REVIEW UNDER THE CITY OF LOS ANGELES PERMIT APPLICATION

[illegible]

A-301

Page 43 of 79



PDF GENERATED BY



Application #: _____
Date Submitted: _____
Public Hearing: _____
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Final Development Plan

Pre-application meeting required per Parkville Municipal Code, Title IV, Section 403.010, Subsection C.

1. Applicant/Contact Information

Applicant(s)

Name: Parkville Development 38
Company: c/o Brian Mertz
Address: 7607 NW John Anders Road
City, State: Kansas City, MO 64152
Phone: (816) 616-9016 Fax: _____
E-mail: bmertz1@kc.rr.com

Engineer/Surveyor(s) preparing plans & legal desc.

Name: Patrick Cassity
Company: Renaissance Infrastructure Consulting
Address: 5015 NW Canal Street, Ste. 100
City, State: Riverside, MO 64150-7203
Phone: (816) 800-0950 Fax: _____
E-mail: pcassity@ric.consult.com

Owner(s), if different from applicant

Name: _____
Company: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

Contact Person, if different from applicant

Name: Patricia R. Jensen
Company: Rouse Frets White Goss Gentile Rhodes
Address: 4510 Belleview Avenue, Suite 300
City, State: Kansas City, MO 64150
Phone: (816) 502-4723 Fax: _____
E-mail: pjensen@rousepc.com

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that development in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) [Signature] Date: June 5, 2024

Property Owner's Signature (Required) [Signature] Date: June 5, 2024

2. Property Information

Zoning district: BP-2

Property address and general location: NW Corner of Rustic Lane and Elizabeth St.

Legal description (may be attached): Plat in progress, will provide when completed.

Description of proposed use(s): _____

Gross acreage of lot: 5.00 Net acreage of lot: 5.00

Open space acreage: .4 Lot coverage: .6

Is proposal an alteration to an existing building or new construction? ☐ alteration ☒ new construction

3. Factors affecting the projectAre any public improvements required for this project? No

Explain (may be attached): _____

Attach a narrative addressing:

1. *How the site is capable of accommodating the buildings, proposed use, access and other site design elements required by this code and will not negatively impact the function and design of rights-of-way or adjacent property.*
2. *How the design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.*
3. *How the architecture and building design uses quality materials and the style is appropriate for the context considering the proportion, massing, and scale of different elements of the building.*
4. *How the overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features or site design elements.*
5. *Whether any additional site-specific conditions are necessary to meet the intent of the zoning district or the intent and design objectives of any of the applicable development standards.*
6. *How the final development plan is substantially consistent with the approved preliminary development plan.*

4. Checklist of required submittals

- ☐ Completed application, including site plan with all required details and supporting data.
- ☐ Nonrefundable application fee of \$300.00.
- ☐ Five (5) copies 24" x 36" size, or larger sets, and one (1) electronic set (PDF format) of the site plan and elevations for staff and service providers to review.
- ☐ Authorization signature of the applicant and owner of record of the property.
- ☐ If subject to covenants and/or deed restrictions, signed approval of the association/entity enforcing such.

For Office Use Only

Application accepted as complete by (name & title): _____ Date: _____

Application Fee (27.0000): \$ _____ By: ☐ Check # _____ ☐ MO# _____Accepted by: _____ ☐ Credit Card _____ ☐ Cash _____☐ Final reimbursable costs paid (if applicable). Date of Action: _____**Planning Commission Action:** ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

5. Final Development Plan checklist for staff review

1. Basic Information

- a. Name of the development
- b. Name, address, contact information of person or firm that prepared the plan
- c. Date plan was prepared, including any revision dates
- d. Graphic, engineering scale
- e. North arrow
- f. Vicinity map identifying boundaries and location of property in relation to City

2. Development Summary Table | *Provided on site plan in chart format*

- a. Existing zoning and proposed zoning if applicable
- b. Total land area in square feet and acres
- c. Proposed use or uses of each building and/or structure
- d. Height above grade of buildings and structures and number of stories of each building and/or structure
- e. Gross floor area per floor and total for each building/structure
- f. Residential buildings shall also include residential building type and total number of dwelling units. Residential development shall identify gross and net density
- g. Building coverage and floor area ratio
- h. Ratio of required number of parking spaces for each use and amount of proposed parking spaces

3. Plan Drawing

- a. Property lines and lot dimensions
- b. Proposed building footprint with lines
- c. Building(s) with dimensions and distance to property lines
- d. Cross-sections of the site detailing the height of buildings/structures, distances, and relationship to existing topography, and if applicable, proposed topography
- e. Existing and proposed rights-of-way improvements (curb/gutter/sidewalk/driveways, etc.) and easements
- f. All radii, acres, points of tangency, central angles and lengths of curves
- g. Existing and proposed topography, with major contour lines at intervals of 10 feet, and minor contour lines at an interval of 2 feet
- h. Indication of FEMA Special Flood Hazard Areas (SFHA) if applicable
- i. Location and identification of any proposed and any existing site features to be retained, including detention areas, retaining walls, existing mature trees, and other pertinent site features
- j. Identification of proposed or existing use or uses within each building, building entrances and exits, docks or other service entrances, utility entrances and screening to them, trash enclosures if applicable, outdoor storage and sales areas, and other paved areas.
- k. Architectural renderings of the completed project be provided, including elevations of each side of each structure and delineation of building materials.

4. Parking and Circulation

- a. Location and dimensions of the widths of existing or proposed private vehicular access into the property from perimeter streets and location of existing or approved accesses on properties adjacent or opposite the property
- b. Location of proposed or existing parking spaces, aisles, and drives with setback dimensions from proposed streets right-of-way and adjacent property lines; typical width and length of parking spaces; number of parking spaces per row; and width of parking and drive aisles
- c. Illustration of AutoTURN vehicular movements for emergency vehicle access to development, specifically a Pierce Velocity fire truck (dual axle type w/ 110 ft. ladder; vehicle specifications are 43.3 ft. length X 8 ft. width)
- d. Location of proposed trash enclosures if applicable
- e. Identification of all public and private existing and proposed sidewalks, trails, bicycle facilities, and/or open space areas (Tracts A, B, C, etc.)
- f. Indication of compliance with access and parking standards per City Code (Chapter 408)

5. Landscaping and Screening

- a. A plan for landscaping design and screening in conformance with City Code (Section 407.020 and 407.030)
- b. A lighting plan in conformance with City Code (Section 407.040)
- c. A stormwater management plan in conformance with City Code (Section 407.050)
- d. A landscape schedule showing compliance with City Code (Chapter 407)

6. Conformity with Preliminary Development Plan

- a. Clearly indicate where the final development plan differs from the approved preliminary development plan
- b. Clearly indicate when exhibits do not conform to the final development plan and reasons for any nonconformities

7. Other Requirements

- a. All survey monuments and benchmarks, together with their description
- b. Show windows and entrances
- c. Label all materials
- d. Show canopies and awnings if proposed
- e. Information regarding signage if proposed, in compliance with City Code (Chapter 409)

Note: Submissions of final development plans to the Planning and Zoning Commission that do not conform to the above checklist may, at the discretion of the Planning and Zoning Commission, be subject to delay until unfulfilled items are complied with.



Staff Analysis

<u>Agenda Item:</u>	6.B
<u>Proposal:</u>	Application for Final Development Plan for Creekside Commercial Building 2, a planned <i>retail - small</i> use generally located at the NE corner of Elizabeth St and Rustic Ln in Parkville, MO 64152.
<u>Staff Recommendation:</u>	Approval, with conditions
<u>Case No:</u>	PZ 2024-17
<u>Applicant:</u>	Brian Mertz, Parkville Dev. 38, LLC
<u>Owners:</u>	Brian Mertz, Parkville Dev. 38, LLC
<u>Location:</u>	7069 Elizabeth St., Old Town At Creekside, generally located at the southeast quadrant of the intersection of I-435 and MO-Hwy 45 in Parkville, MO 64152.
<u>Zoning:</u>	"B-2-P" Planned General Business District
<u>Parcel #s:</u>	Platte County parcel no. 20-4.0-19-000-000-008.010
<u>Exhibits:</u>	A. This Staff Analysis B. Application for Final Development Plan C. Subject Property Area Map D. Creekside Commercial Building 2 – Final Development Plans (prepared by RIC; dated July 3, 2024) E. Additional exhibits as may be presented during the meeting
<u>By Reference:</u>	A. Parkville Municipal Code, Title IV – Development Code in its entirety (https://www.ecode360.com/PA3395-DIV-05) 1. Section 403.040 Master Planned Development 2. Chapter 404 Subdivision Regulations 3. Section 405.010 Zoning Districts Established 4. Section 405.020 Districts & Uses 5. Section 405.030 Standards Applicable to All Districts' 6. Appendix B. Great Trees for the Kansas City Region B. Parkville Master Plan (http://parkvillemo.gov/departments/community-development-department/master-plan/) C. Highway 45 Corridor Plan (http://parkvillemo.gov/download/Highway45CorridorPlan.pdf) D. Old Town At Creekside, A Subdivision in Parkville, Platte County, Missouri, Preliminary Development Plan (prepared by Renaissance Infrastructure Consulting; dated September 5, 2018)

1. Sheet 1 of 16 (Cover Sheet)
 2. Sheet 2 of 16 (Existing Conditions)
 3. Sheet 3 of 16 (Development Plan)
 4. Sheet 4 of 16 (Site Dimension Plan)
 5. Sheet 5 of 16 (Site Utility Plan)
 6. Sheet 6 of 16 (Parking Summary)
 7. Sheet 7 of 16 (Landscape Plan)
 8. Sheet 8 of 16 (Landscape Data and Details)
 9. Sheet 9 of 16 (Pedestrian Linkage Plan)
 10. Sheet 10 of 16 (Preliminary Plat)
 11. Sheet 11 of 16 (Visionaire Lighting Photometric Study Pg. 1)
 12. Sheet 12 of 16 (Visionaire Lighting Photometric Study Pg. 2)
 13. Sheet 13 of 16 (Visionaire Lighting Photometric Study Pg. 3)
 14. Sheet 14 of 16 (Visionaire Lighting Photometric Study Pg. 4)
 15. Sheet 15 of 16 (Visionaire Lighting Photometric Study Pg. 5)
 16. Sheet 16 of 16 (Visionaire Lighting Photometric Study Pg. 6)
 17. Sheet C1 (Creekside North Grading Exhibit)
 18. Sheet C1 (Creekside Commercial Trail Exhibit)
- F. Old Town At Creekside, A Subdivision in Parkville, Platte County, Missouri, Preliminary Development Plan (revision of Preliminary Development Plan prepared by Renaissance Infrastructure Consulting; dated October 22, 2018; see Agenda Item 4H)
1. Sheet 1 of 10 (Cover Sheet)
 2. Sheet 3 of 10 (Preliminary Development Plan)
 3. Sheet 6 of 10 (Parking Summary)
 4. Sheet 7 of 10 (Landscape Plan)
 5. Sheet 8 of 10 (Landscape Data and Details)
- I. Ordinance No. 2968 (approved November 6, 2018) Rezoning one parcel containing approximately 38.12 acres located on the southeast quadrant of the intersection of I-435 and Highway 45 along Brink-Myer Road, from Platte County "PI" Planned Industrial to Parkville City "B-2-P" General Business District
- J. Ordinance No. 2969 (approved November 6, 2018) Approving a preliminary development plan for Old Town at Creekside, a planned commercial development consisting of retail, mixed-use, restaurant and other commercial uses on approximately 38.12 acres, generally located on the southeast quadrant of the intersection of I-435 and Highway 45 along Brink-Myer Road

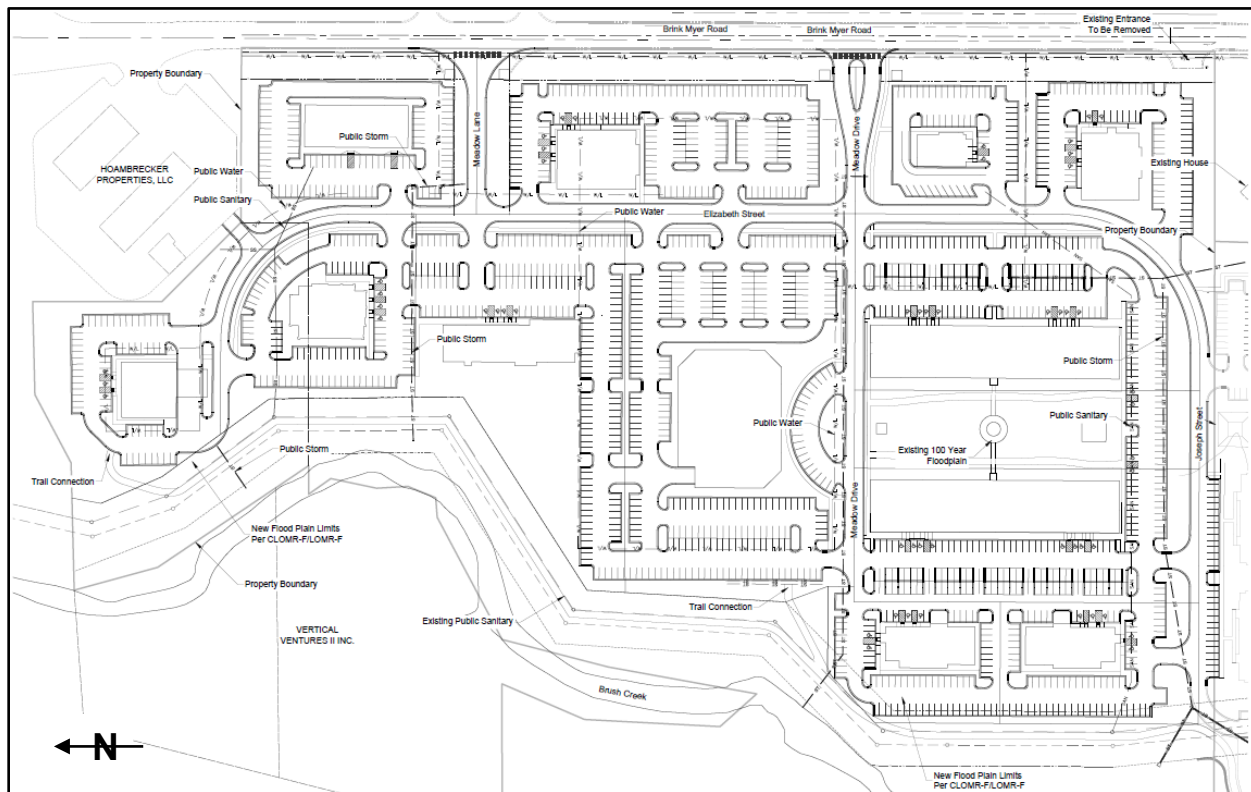
Overview

The application proposes a final development plan for Creekside Commercial Building 2, a planned *retail - small* use, generally located at the southeast quadrant of the intersection of I-435 and MO-Hwy 45 in Parkville, MO 64152. The project area is approximately 0.71 acres (more or less) and resides within Platte County parcel no. 20-4.0-19-000-000-008.010.



Background

On October 9, 2018 the Planning and Zoning Commission held a public hearing for an Application for Zoning Map Amendment in conjunction with an Application for Preliminary Development Plan for Old Town at Creekside, a planned commercial development consisting of retail, mixed-use, restaurant, and other commercial uses on 38.12 acres (more or less), generally located at the southeast quadrant of the intersection of I-435 and Mo-Hwy 45 in Parkville, MO 64152. The plan proposed re-platting the subject property and creating internal circulation, public streets, private drives and access to serve the development. The Planning and Zoning Commission recommended approval by a vote of 7-2, subject to conditions; and on November 6, 2018 the Board of Aldermen approved the preliminary development plan via Ordinance No. 2969.



Excerpt from Old Town At Creekside Preliminary Development Plan (dated October 22, 2018)

Copies of the approved preliminary development plans for Old Town At Creekside (Case No. PZ 2018-16B; dated September 5, 2018 and October 22, 2018) are included in Exhibit D by Reference. Ordinance No. 2969 (see Exhibit J by Reference) contains a number of conditions, and since September 5, 2018 many of them have been completed, including:

- Re-platting the subject property area.
- Providing names for all private streets/drives per 911 MSAG address range requirements.
- Submittal of a Traffic Impact Study to MoDOT, and implementing required dedication of right-of-way and roadway improvements as required.

The subject property was initially planned for one retail building, however, subsequent applications have been approved to split the lot for the development of Taco Bell.

Review and Analysis

A final development plan is a detailed plan for implementing the preliminary development plan including technical information on building, site, open / civic space, and infrastructure development. A final development plan may include the entire area covered in the preliminary development plan or it may include one or more phases of the approved preliminary development plan. The plan shall include all necessary information to demonstrate that all applicable standards, requirements, and conditions of the preliminary development plan have been met. Parkville Municipal Code, Section 403.040, Subsection F. provides criteria for how the Planning and Zoning Commission shall determine if a final development plan is appropriate. The following are staff's findings and conclusions for the final development plan (Case No. PZ 2024-17).

1. In general, any site plan in compliance with all requirements of this code shall be approved.

Staff concludes the site plan conforms to use allowances permitted in a "B-2-P" General Business District. In addition, the site plan is in compliance with the City's subdivision regulations (i.e., block and lot arrangement), site and landscape design standards (i.e., planting requirements, buffer/screening requirements, outdoor lighting, and stormwater management), and access and parking regulations (i.e., access and circulation standards, required parking counts, and parking specifications).

2. In making a determination of compliance, or for site plans accompanying any discretionary review or administrative relief, the review body shall consider whether:

- a. **The site is capable of accommodating the buildings, proposed use, access and other site design elements required by this code and will not negatively impact the function and design of rights-of-way or adjacent property.**

"B-2-P" Height, Area and Bulk Standards

While all development standards for the "B-2-P" General Business District are established throughout the Master Planned Development Process outlined in Section 403.040, the subject property area (0.71 acres, more or less) is large enough and capable of accommodating the proposed 5,070 sq. ft. retail – small use. Staff compared the proposed height, area and bulk standards to those in the base "B-2" General Business District. The proposed height of one (1) story/24 feet is below the base "B-2" district standards for maximum building height of three (3) stories/45 feet.

"B-2-P" Use Standards

On November 6, 2018 the Board of Aldermen approved Ordinance No. 2968 rezoning the subject property from Platte County "PI" Planned Industrial to Parkville City "B-2-P" General Business District. The proposed use of *Retail – Small* permitted in the "B-2-P" General Business District.

Access

One (1) point of access is proposed to the property via a shared entrance with Taco Bell to the north. The applicant proposes to widen and improve the existing access drive. Pedestrian access is provided with appropriate marked crosswalks and sidewalks. The pedestrian layout is similar to the existing Taco Bell.

Parking Requirements

Section 408.030 requires 5 parking spaces per 1,000 sq. ft. for *General Retail* uses. The applicant has provided 24 parking spaces which meets the requirement of 24 parking spaces for a 5,070 sq. ft. retail building.

Parking Layout Design

The parking layout design is consistent with the dimensions and layouts throughout the Creekside development.

Signage

Signage will be reviewed separately by sign permit.

Outdoor Lighting

The applicant has provided a photometric plan demonstrating the ability to meet the shielding requirements and design and performance criteria specified in Section 407.040. Staff initially had concerns with light spillover from this property onto properties to the east. The applicant subsequently revised the plans to ensure appropriate fixture placement and shielding to mitigate spillover.

- a. **The design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.**

Building Location

The building is oriented similarly to other retail buildings in Creekside. Additionally, this building orientation and location mirrors that of Taco Bell to the north.

Landscape Design

The applicant has provided a landscape plan that meets the requirements of Section 407.020.

Stormwater Management

A Stormwater Management Plan will be reviewed by Public Works during the review of infrastructure construction plans.

- b. **The overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features or site design elements.**

Location Compatibility

The preliminary development plan for Old Town At Creekside (approved November 6, 2018 via Ordinance No. 2969) is a planned commercial development consisting of retail, mixed-use, restaurant and other commercial uses on 30.05 acres, more or less (see Exhibits D and G by Reference). This location is compatible with the proposed small retail use.

Open Spaces and Natural Features

Minimal natural features exist on the site. The applicant is proposing street trees along Brink Meyer Road as a landscape buffer.

- c. **Whether any additional site-specific conditions are necessary to meet the intent of the zoning district or the intent and design objectives of any of the applicable development standards.**

As detailed in the review criteria above, the final development plan meets all of the applicable “B-2-P” requirements of the Development Code and does not need flexibility to any development standards per the “-P” planned district allowance.

3. **The application meets the criteria for all other reviews needed to build the project as proposed.**

The application is able to meet the criteria for all other reviews needed to build the project.

4. **The recommendations of professional staff**

As detailed in the review criteria above, staff finds that the site plan conforms to all development standards of the “B-2-P” General Business District including height, area and bulk standards, site and landscape design standards (i.e., planting requirements, buffer/screening requirements, outdoor lighting, and stormwater management), and access and parking regulations (i.e., access and circulation standards, required parking counts, and parking specifications).

Staff Conclusion and Recommendation

After review of the application and supporting materials, staff recommends approval of the application for final development plan, subject to the following conditions:

1. Approval is based on the representations of the drawings presented as part of this application and does not waive any requirement or development standard contained in the Parkville Municipal Code.
2. All signage requires a separate sign permit.
3. Any other conditions as deemed necessary by the Planning and Zoning Commission.

It should be noted that the recommendation contained in this report is made without knowledge of facts, comments or any additional information which may be presented during the meeting. For that reason, the conclusions herein are subject to change as a result of evaluating additional information; additionally, staff reserves the right to modify or confirm the conclusions and recommendations herein based on consideration of any additional information that may be presented.

Necessary Action

Following consideration of the Application for Final Development Plan, supporting information, associated exhibits, factors discussed above and any testimony presented during the meeting, the Planning and Zoning Commission should recommend approval (with or without conditions), denial, or postpone the application for further consideration. If approved subject to conditions, the conditions should be noted for the record. Unless postponed, the Planning and Zoning Commission’s action will serve as the final action.

Note: Approval of a final development plan and fulfillment of staff conditions shall authorize the applicant to apply for a building permit and other applicable permits. The Community Development Director may approve minor amendments to approved final development plan without the refiling of a new application, but in no event shall the Director approve any change that does not qualify for an administrative adjustment, or any change that is different from any condition of approval of the final development plan. An approved final development plan shall expire and be of no further effect if an application for building permit for one or more buildings

shown on the site plan is not filed within two years of approval. The Planning and Zoning Commission may grant an extension for up to one additional year.

Note: The Board of Aldermen has the ability to consider the application if an "Appeal of Decision" is filed with the Community Development Director within 15 days of the decision by the appellate body designated in Table 403-1. For applications for final development plan, the Board of Aldermen is designated as the appellate body.

End of Memorandum

A handwritten signature in black ink, appearing to read "Brad Stanton", is written over a horizontal line.

Brad Stanton, AICP
Planner

7-8-2024

Date

45 HIGHWAY & I-435

Creekside Commercial Building 2

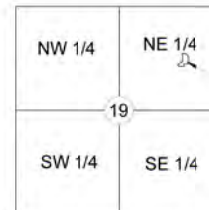
A DEVELOPMENT IN Parkville, Plate County, MO

Final Development Plan

TOTAL AREA: .71 ACRES



VICINITY MAP
(NTS)



SECTION MAP
SEC. 19 TW. 51 RNG. 34

UTILITY CONTACTS

City of Parkville	(816) 741-7676
CPWSD #1 of Platte County	(816) 891-3457
Platte County Regional Sewer District	(816) 858-2052
Spire Gas Energy	(816) 756-5252
Energry	(816) 471-5275
Platte Clay Electric	(816) 807-7502
Century Link	(816) 243-5642
Unite Private Networks	(816) 903-9400
Spectrum	(816) 431-5818
Missouri One Call	(800) DIG-RITE
AT&T	(800) 464-7928
Comcast	(913) 891-3457

LEGEND

Existing Section Line	Proposed Right-of-Way
Existing Right-of-Way Line	Proposed Property Line
Existing Lot Line	Proposed Lot Line
Existing Easement Line	Proposed Easement
Existing Curb & Gutter	Proposed Curb & Gutter
Existing Sidewalk	Proposed Sidewalk
Existing Storm Sewer	Proposed Storm Sewer
Existing Storm Structure	Proposed Storm Structure
Existing Waterline	Proposed Fire Hydrant
Existing Gas Main	Proposed Waterline
Existing Sanitary Sewer	Proposed Sanitary Sewer
Existing Sanitary Manhole	Proposed Sanitary Manhole
Existing Contour Major	Proposed Contour Major
Existing Contour Minor	Proposed Contour Minor
	Future Curb & Gutter

LEGAL DESCRIPTION:

All of Lot 02, Old Town at Creekside 3rd Plat
Parkville, Platte County, Missouri

Benchmark Information:

"4" Cut On Top of Curb Inlet Approximately 170'
South of Intersection of Brink Myers Road & County
Road on West Side of Road.
N: 1110890.3888 E:27159478.6658

Elev: 814.02

Sheet Number	Sheet Title
C01	Title Sheet
C02	General Notes
C03	Existing Conditions
C04	General Layout
C05	Overall Layout
C06	Grading Plan
C07	Drainage Map
C08	Pedestrian Plan
C09	Utility Plan
C10	Fire Protection Plan
C11	Standard Details
LC1	Landscape Plan
LC2	Landscape Details
E01	Photometric Plan

DEVELOPER:
Parkville Dev. 38, LLC
C/O Brian Mertz
7607 NW John Anders Rd.
Kansas City, MO 64152

SURVEYOR:
R.L. Eufford & Associates
7603 NW River Park Dr Kansas
City, MO. 64152-5023
816-741-6152

ENGINEER:
Renaissance Infrastructure
Consulting, LLC
5015 NW Canal Street, Suite 100
Riverside, MO. 64150
(816) 800-0950

Final Development Plan

24-0148
Creekside Commercial Building 2
Parkville, Platte County, MO

Title Sheet

NO.	DATE	REVISION
1	08/08/2024	Final Development Plan
2	08/08/2024	Original Submittal

DRAWN BY: JC
CHECKED BY: JC

Renaissance Infrastructure Consulting
100 E 17th Street
Kansas City, Missouri 64105
(816) 800-0950
www.ri-consult.com



Sheet
C01



LAYOUT & PAVING NOTES

1. All construction shall conform to the City of Parkville minimum design standards.
2. Contractor shall verify horizontal and vertical location of all utilities shown. Contractor shall notify Engineer of any potential conflicts with proposed improvements shown herein prior to commencing of construction.
3. The contractor shall check existing grades, dimensions, and inverts in the field and report any discrepancies to the architect/engineer prior to beginning work.
4. The contractor shall verify the exact location of all existing utilities, take care to protect utilities that are to remain, repair contractor caused damage according to current local standards and at the contractor's expense, and coordinate all construction with the appropriate utility company.
5. The contractor shall comply with all local codes and obtain all permits necessary or required.
6. Prior to installing, constructing, or performing any work in the public right of way or on the public storm sewer line (including concrete pavement or connecting private drainage systems to the storm sewer), contact City of Parkville public works at 816.741.7676 for inspection of the work. Contact must be made at least 24 hours prior to start of the work.
7. Provide a smooth transition between existing pavement and new pavement. Field adjustment of final grades may be necessary.
8. The contractor shall protect all trees to remain in accordance with the specifications. Do not operate or store heavy equipment, nor handle, nor store materials within the driplines of trees or outside the limit of grading.
9. Concrete walks and pads shall have a broom finish. All concrete shall be Parkville Mo standard KCMMB mix, 4,000 p.s.i. unless otherwise noted. Curb ramps, sidewalk slopes, and driveway ramps shall be constructed in accordance with all current local requirements. If applicable, the contractor shall request inspection of sidewalk and ramp forms prior to placement of concrete.
10. All damage to existing asphalt pavement to remain which results from new construction shall be replaced with like materials at contractor's expense.
11. Dimensions are to the back of curb, or edge of concrete, unless otherwise noted.
12. Excess material shall be disposed of by the contractor in a legal manner off the owner's property at no additional cost to the owner.
13. Maintain one set of as-built drawings on the job site for distribution to the engineer upon completion.
14. Concrete curb at sidewalks and drive in ramps shall be integral.

ADA ACCESSIBLE ROUTE NOTES

1. All Accessible route construction shall conform to the latest version of the ADA Standards for Accessible Design published by the Department of Justice and the Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way published by the United States Access Board.
2. Other than ramps and ramp runs, walking surfaces must have running slopes not steeper than 1:20.
3. The cross slope of walking surfaces shall not be steeper than 2%.
4. The minimum width for a linear segment of accessible route shall be 36 inches.
5. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches wide, clear width shall be 42 inches minimum approaching the turn, 48 inches minimum at the turn and 42 inches leaving the turn.
6. An accessible route with a clear width less than 60 inches shall provide passing spaces at intervals of 200 feet maximum. Passing spaces shall be 60 inch by 60 inch minimum.
7. Ramp runs shall have a running slope not steeper than 1:12.
8. Ramp runs with a rise greater than 6 inches shall have handrails.
9. Ramp landings with a maximum slope of 1:48 shall be provided before and after ramp runs.
10. The maximum rise of a ramp run shall be 30 inches.
11. The maximum counter slope between the pavement and the curb at a curb ramp shall be 1:20.
12. Curb ramp landings with a maximum slope of 1:48 shall be provided at the top of curb ramps with a clear width of 60 inches.
13. Detectable warning surfaces complying with the latest ADA Standards shall be provided at pedestrian street crossings and refuge islands.
14. Passenger loading zones shall be provided adjacent to any ADA Accessible stall and have a 2% maximum slope in all directions.
15. Contractor to field verify existing site conditions and contact the engineer if field conditions do not match plan prior to construction.

GRADING NOTES

1. All construction shall conform to the City of Parkville's minimum design standards.
2. Spot Grades shown herein shall govern over finished grades.
3. The contractor shall provide evidence that their insurance meets the requirements of the Project.
4. The contractor is responsible for the protection of all property corners and section corners. Any property corners and/or section corners disturbed or damaged by construction activities shall be reset by a Registered Land Surveyor licensed in the State of Missouri, at the contractor's expense.
5. The contractor shall be responsible for the restoration of the right-of-way and for damaged improvements such as curbs, driveways, sidewalks, street light and traffic signal junction boxes, traffic signal loop lead ins, signal poles, irrigation systems, etc. Damaged improvements shall be repaired in conformance with the latest City standards and to the City's satisfaction.
13. All National Pollution Discharge Elimination System (NPDES) standards shall be met.
14. The contractor is responsible for providing erosion and sediment control BMPs to prevent sediment from reaching paved areas, storm sewer systems, drainage courses and adjacent properties. In the event the prevention measures are not effective, the contractor shall remove any debris, silt, or mud and restore the right-of-way, or adjacent properties to original or better condition.
15. The contractor shall sod all disturbed areas within the public street right-of-way unless otherwise noted on the plans or if specific written approval is granted by the City.
16. All public street sidewalk ramps constructed will be required to comply with the Americans with Disabilities Act (ADA).
17. Excavation for utility work in public street right-of-way requires a Right-of-Way Work Permit from the Public Works Department, in addition to all other permits.
18. All work shall be confined within easements and/or construction limits as shown on the plans.
19. Curb stakes and hubs shall be provided at all high points, low points, ADA ramp openings, and on each side of all curb inlets when setting string line.
20. Public and Private utility facilities shall be moved or adjusted as necessary by the owners to fit the new construction unless otherwise noted on the plans. The Developer is responsible for the cost of utility relocations unless otherwise indicated on the plans.

PAVEMENT MARKING AND SIGNAGE NOTES

1. Parking stall marking stripes shall be four inch (4") wide white stripes. Handicap stall marking shall be furnished at locations shown on plans.
2. Traffic control devices and pavement markings shall conform to the requirements of the "Manual of Uniform Traffic Control Devices" latest edition.
3. Traffic control and pavement markings shall be painted with a multicomponent thermoplastic paint, such as preformed or approved equal. The pavement marking shall be applied in accordance with manufacturers recommendations. Apply on a clean, dry surface and at a surface temperature of not less than 70°F and the ambient air temperature shall not be less than 60°F and rising. Two coats shall be applied.

FOR NON-PUBLIC WORK

- A. Screened items indicate a pre-construction topographic survey
- B. Contraction joints shall conform to APWA Section 2200. A maximum joint spacing of 20' on center each way is required.
- C. All concrete to be based on ACI 318-2011, Section 4.2.2 which states the concrete subject to the applicable exposures "shall conform to the corresponding water-cement ratios", in Table 4.3.1 which specifies a maximum water/cement ratio of 0.45 and a minimum concrete compressive strength of 4,500 PSI. Per ACI Table 4.4.1, the air entrainment specified is 6% (+1%).
- D. Curing compound to be applied to all concrete surfaces immediately after broom finish.
- E. Contractor shall reject concrete if it cannot be placed within 90 minutes of batch time.



Final Development Plan

24-0148
Creekside Commercial Building 2
Parkville, Plate County, MO

General Notes

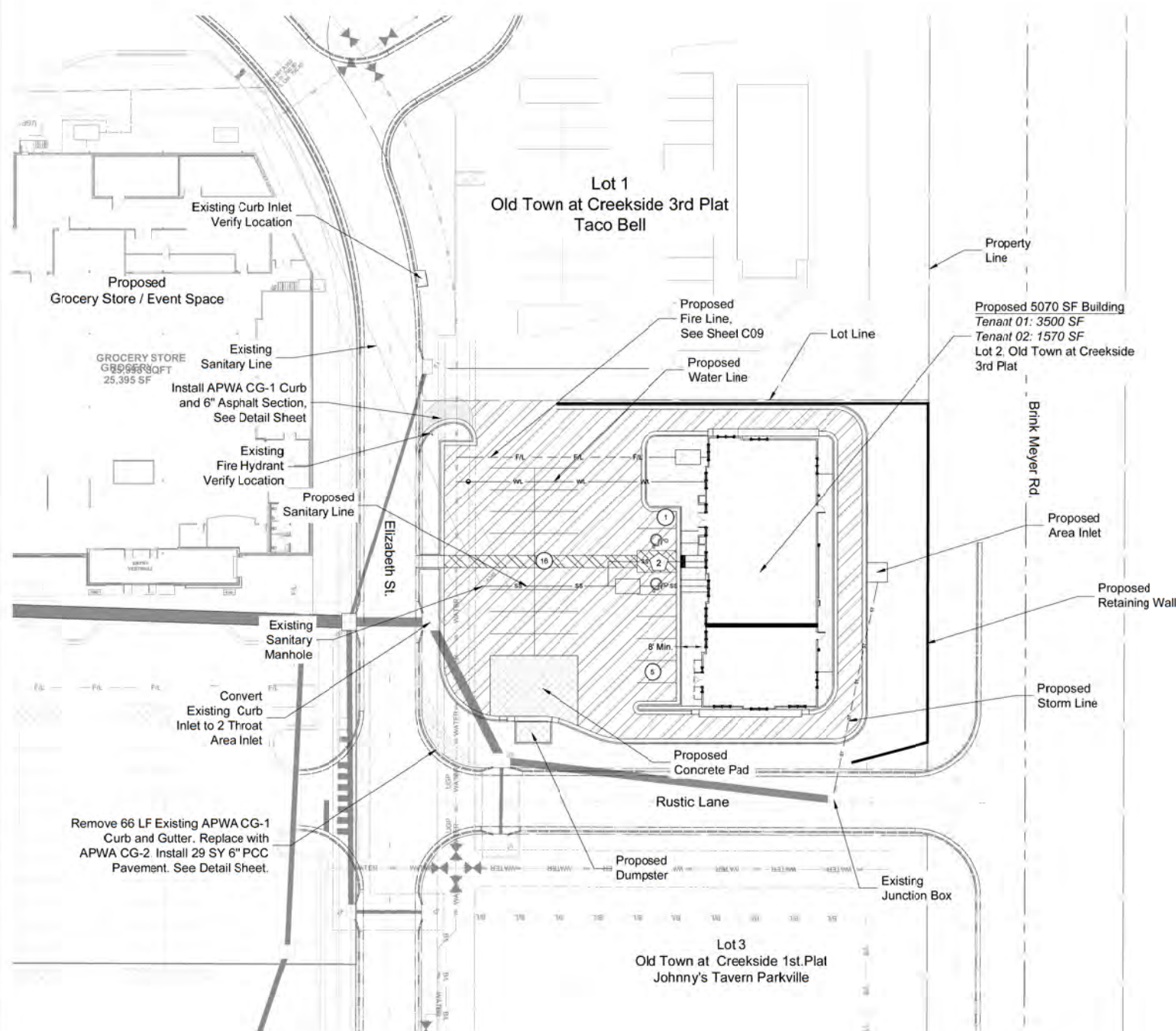
1	REVISION	See City Comments
2	REVISION	Original Submittal
3	REVISION	Original Submittal
4	REVISION	Original Submittal
5	REVISION	Original Submittal
6	REVISION	Original Submittal
7	REVISION	Original Submittal
8	REVISION	Original Submittal
9	REVISION	Original Submittal
10	REVISION	Original Submittal
11	REVISION	Original Submittal
12	REVISION	Original Submittal
13	REVISION	Original Submittal
14	REVISION	Original Submittal
15	REVISION	Original Submittal
16	REVISION	Original Submittal
17	REVISION	Original Submittal
18	REVISION	Original Submittal
19	REVISION	Original Submittal
20	REVISION	Original Submittal

Renaissance Infrastructure Consulting
1114 Bldg 0402
Kansas City, Missouri 64108
www.rii.com

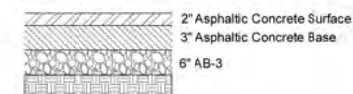
MO Certificate of Authority: E-2010035030



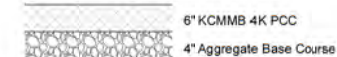
Sheet
C02



ASPHALT SECTION



CONCRETE PAD/ DUMPSTER AREA

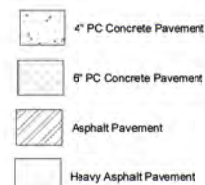


SIDEWALK AREAS



Note: Sections shown for reference. Consult site specific geotechnical report for final paving sections and recommendations.

Pavement Schedule Details



Site Data Table:

Suite 100: 3,500 SF
5 per 1,000 SF
Required Parking: 18

Suite 200: 1,570 SF
5 per 1,000 SF
Required Parking: 6

Total Required Parking: 24

ADA Parking Spaces(Included In Total): 2
Total Provided Parking Spaces: 24

Total Land Area: 0.71 Acres / 30,927 SF
Height Above Grade of Buildings: 24'
Number of Stories: 01
Lot Building Coverage: 164

Existing Zoning: B-2-P
Proposed Zoning: B-2-P
ROW Dedication: 0.00 Acres
Proposed Use: Commercial/Retail

Legend

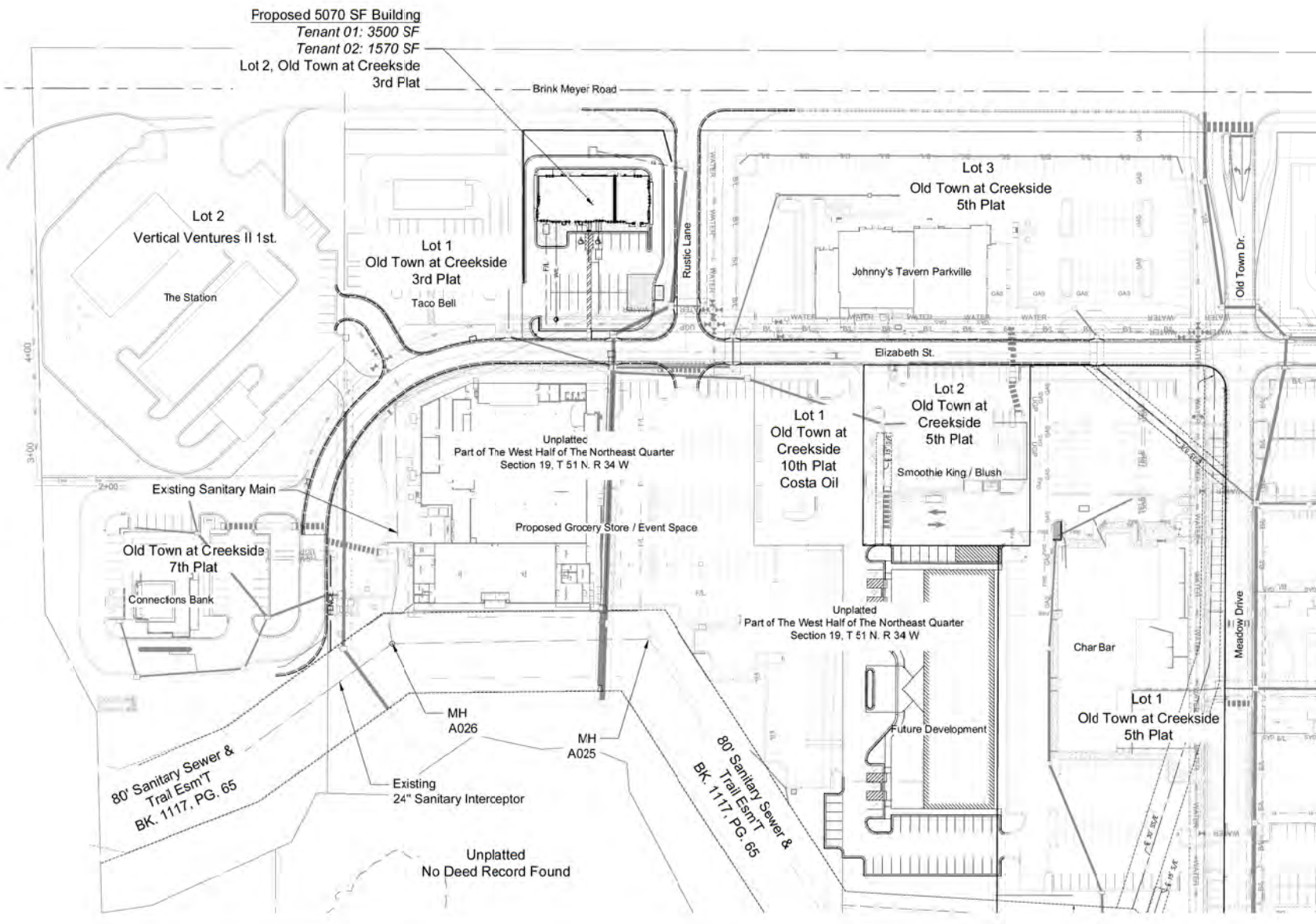
Auto Parking 

ADA Parking 



Project: 2024.4.010
7/1/2024, Design: 2024.4.010, 1518 Development/Design/1518.010, OVERALL LAYOUT.dwg

HWY 45



Final Development Plan

24-0148
Creekside Commercial Building 2
Parkville, Plate County, MO

Overall Layout

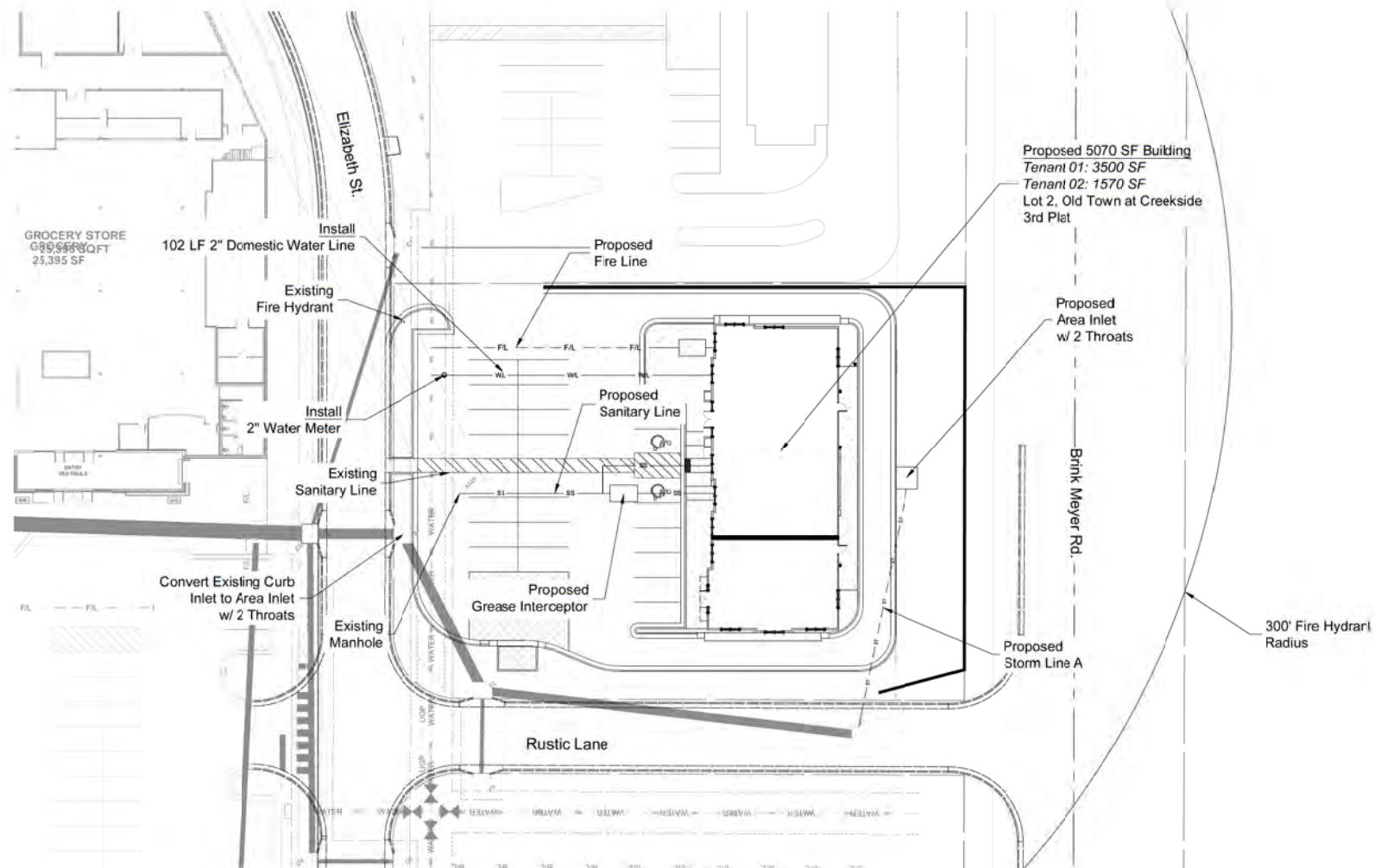
NO.	DATE	REVISION
1	07/01/24	Final Development Plan
2	07/01/24	Original Submittal

DRAWN BY: JH
CHECKED BY: JH

Renaissance
Infrastructure
Consulting
100 E 17th Street
Kansas City, Missouri 64105
www.ri-consult.com
MO Certificate of Authority: E-2010035530



Sheet
C05



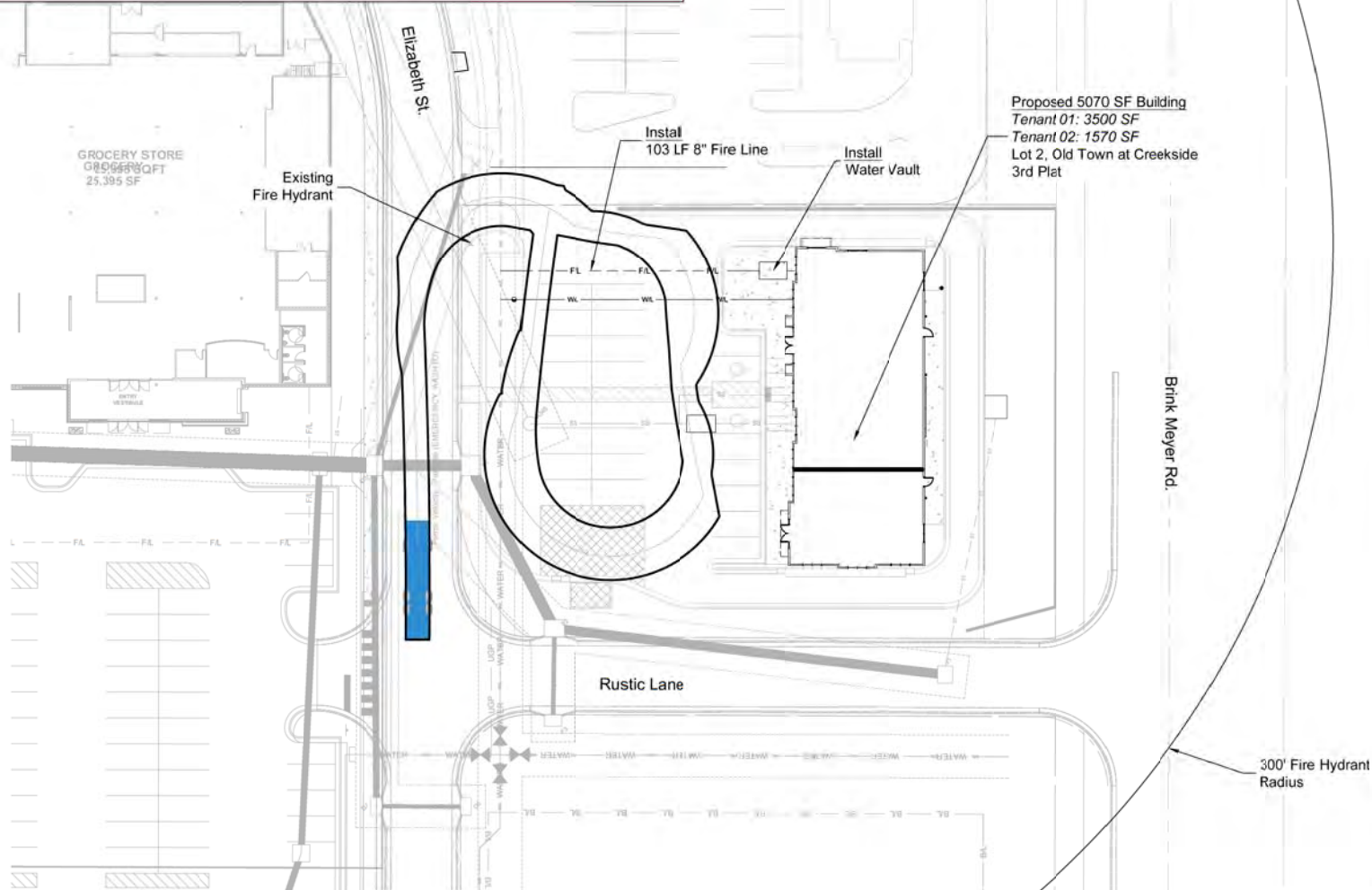
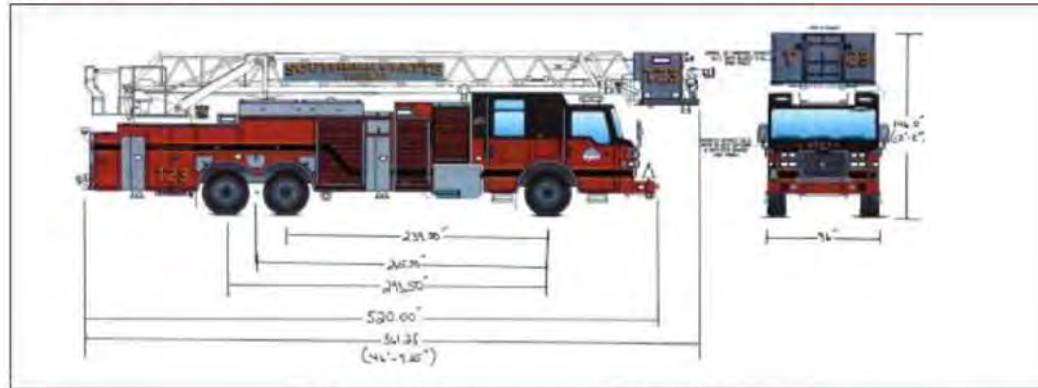
NO.	DATE	REVISION
1	08/01/24	Final Development Plan
2	08/01/24	Original Submittal

DRAWN BY: JH
 CHECKED BY: JC

Renaissance Infrastructure Consulting
 100 E 17th Street
 Kansas City, Missouri 64108
 Tel: 816.464.0050
 www.ri-consult.com



Fire Truck Specifications



Final Development Plan

24-0148
Creekside Commercial Building 2
Parkville, Plate County, MO

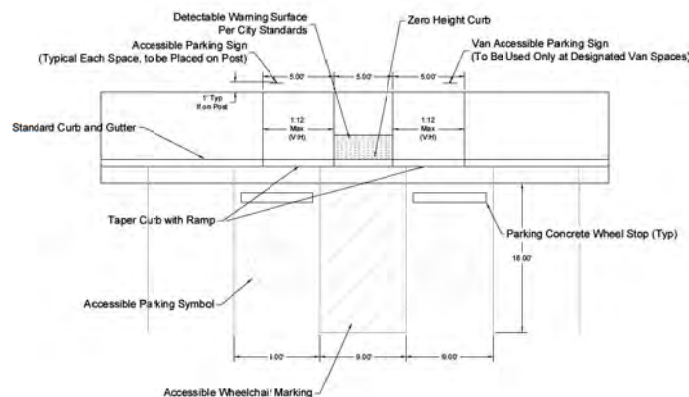
Fire Protection Plan

NO.	DATE	REVISION
1	08/08/2024	Final Development Plan
2	08/08/2024	Original Submittal

Renaissance Infrastructure Consulting
100 E 17th Street
Kansas City, Missouri 64108
816.800.0450
www.ri-consult.com



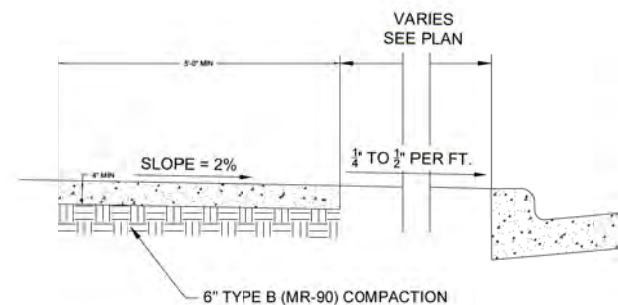
Sheet
C10



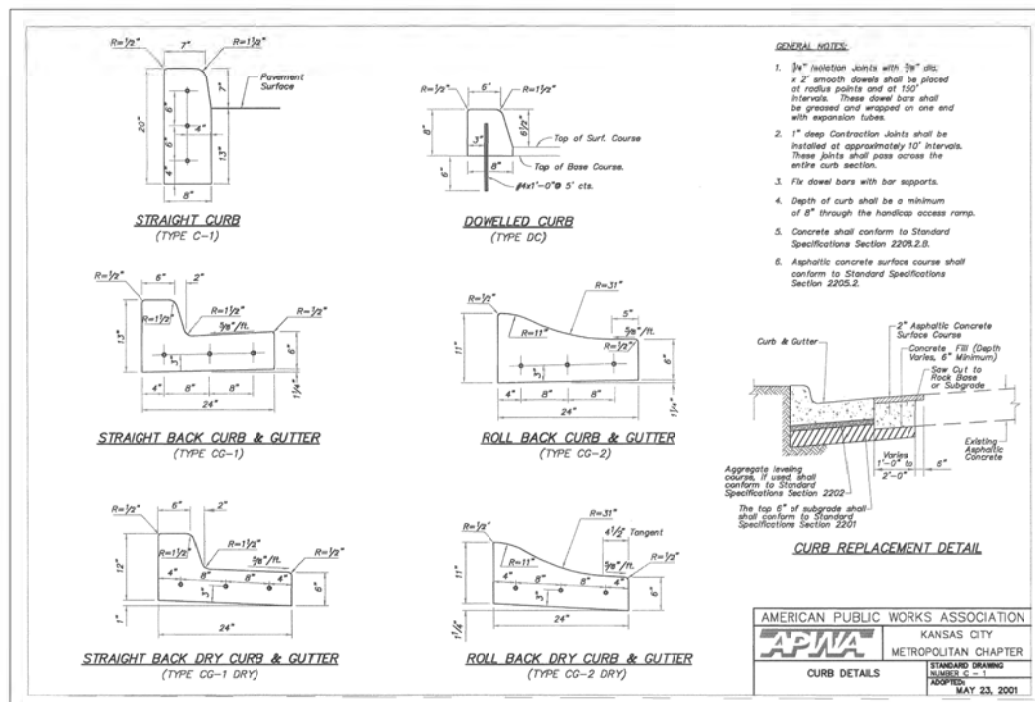
ACCESSIBLE PARKING DETAIL (90°)
Not to Scale



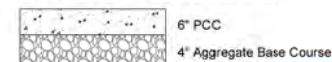
HANDICAP SIGNAGE
Not to Scale



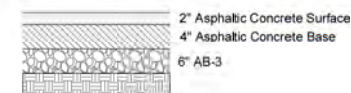
STANDARD SIDEWALK
PUBLIC AND PRIVATE



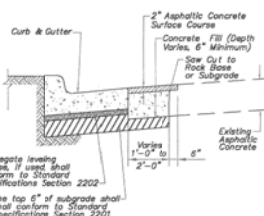
MOUNTABLE CURB PAVING SECTION
NE Corner Rustic Ln and Elizabeth St.



ASPHALT SECTION at SITE ENTRANCE



- GENERAL NOTES:
1. 3/4" isolation joints with 3/8" dia. x 2" smooth dowels shall be placed at radius points and at 10' intervals. These dowel bars shall be greased and wrapped on one end with expansion tubes.
 2. 1" deep contraction joints shall be installed at approximately 10' intervals. These joints shall pass across the entire curb section.
 3. Fill dowel bars with bar supports.
 4. Depth of curb shall be a minimum of 8" through the handicap access ramp.
 5. Concrete shall conform to Standard Specifications Section 2205.2.8.
 6. Asphaltic concrete surface course shall conform to Standard Specifications Section 2205.2.



CURB REPLACEMENT DETAIL

AMERICAN PUBLIC WORKS ASSOCIATION
KANSAS CITY
METROPOLITAN CHAPTER
STANDARD DRAWING
NUMBER 5-1
ADOPTED
MAY 23, 2001



Final Development Plan
24-0148
Creekside Commercial Building 2
Parkville, Plate County, MO

Standard Details

NO.	DATE	REVISION
1	05/05/2024	Final Development Plan
2	05/05/2024	Original Details

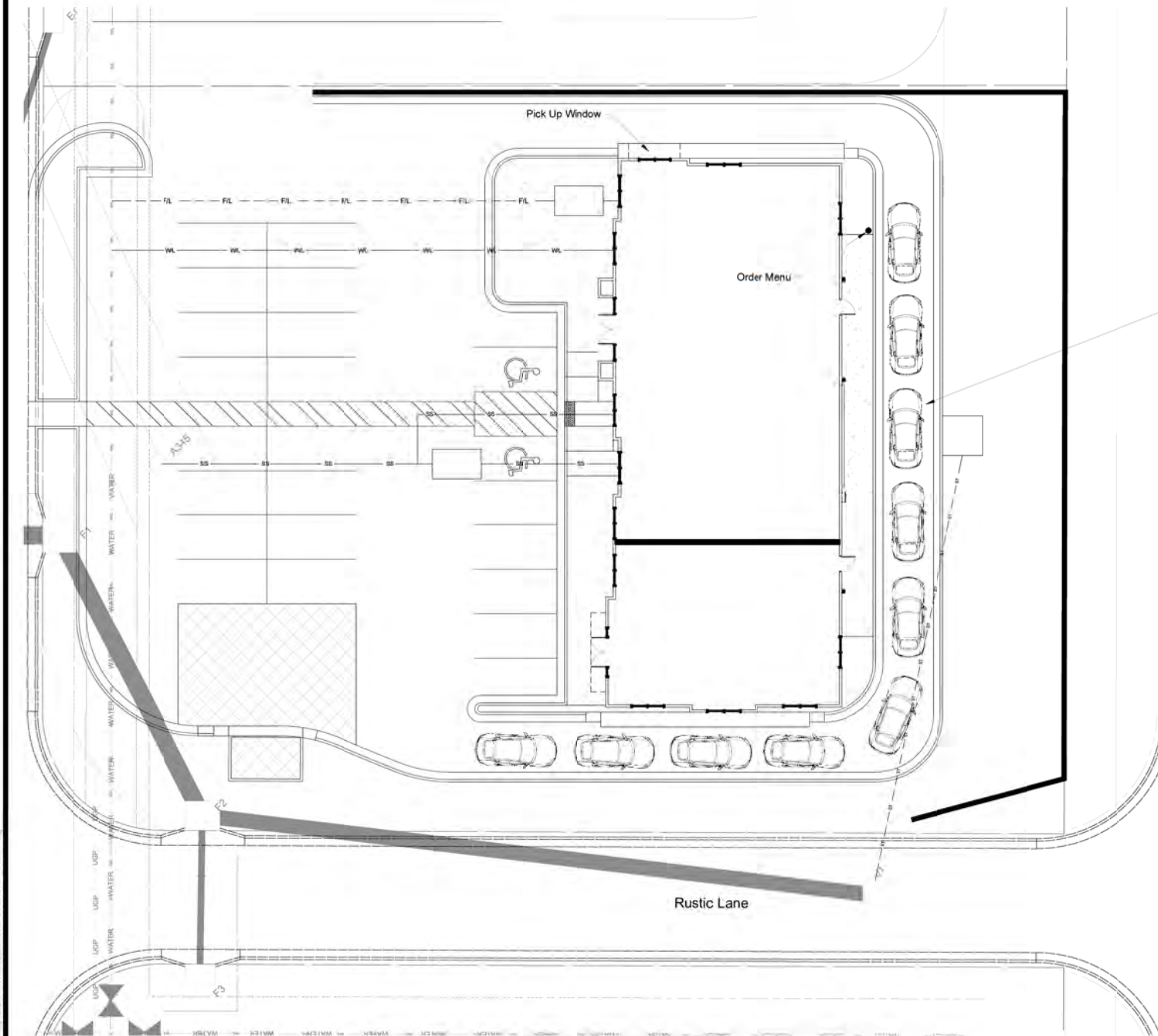
DRAWN BY: JH CHECKED BY: JC

Renaissance
Infrastructure
Consulting
1100 E 17th Street
Kansas City, Missouri 64108
www.ri-consult.com
MO Certificate of Authority: E-201003530



Sheet
C11

Project: 2024.4.09
 7:30:00 Design: 2024.03.11 11:00 Development: 2024.03.11 11:00 UTILITY.dwg



Final Development Plan		24-0148																																																																																																																																																																																																																																																																																																																
Creekside Commercial Building 2		Parkville, Plate County, MO																																																																																																																																																																																																																																																																																																																
Drive Through Slacking																																																																																																																																																																																																																																																																																																																		
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> <tr><td>8</td><td></td><td></td></tr> <tr><td>9</td><td></td><td></td></tr> <tr><td>10</td><td></td><td></td></tr> <tr><td>11</td><td></td><td></td></tr> <tr><td>12</td><td></td><td></td></tr> <tr><td>13</td><td></td><td></td></tr> <tr><td>14</td><td></td><td></td></tr> <tr><td>15</td><td></td><td></td></tr> <tr><td>16</td><td></td><td></td></tr> <tr><td>17</td><td></td><td></td></tr> <tr><td>18</td><td></td><td></td></tr> <tr><td>19</td><td></td><td></td></tr> <tr><td>20</td><td></td><td></td></tr> <tr><td>21</td><td></td><td></td></tr> <tr><td>22</td><td></td><td></td></tr> <tr><td>23</td><td></td><td></td></tr> <tr><td>24</td><td></td><td></td></tr> <tr><td>25</td><td></td><td></td></tr> <tr><td>26</td><td></td><td></td></tr> <tr><td>27</td><td></td><td></td></tr> <tr><td>28</td><td></td><td></td></tr> <tr><td>29</td><td></td><td></td></tr> <tr><td>30</td><td></td><td></td></tr> <tr><td>31</td><td></td><td></td></tr> <tr><td>32</td><td></td><td></td></tr> <tr><td>33</td><td></td><td></td></tr> <tr><td>34</td><td></td><td></td></tr> <tr><td>35</td><td></td><td></td></tr> <tr><td>36</td><td></td><td></td></tr> <tr><td>37</td><td></td><td></td></tr> <tr><td>38</td><td></td><td></td></tr> <tr><td>39</td><td></td><td></td></tr> <tr><td>40</td><td></td><td></td></tr> <tr><td>41</td><td></td><td></td></tr> <tr><td>42</td><td></td><td></td></tr> <tr><td>43</td><td></td><td></td></tr> <tr><td>44</td><td></td><td></td></tr> <tr><td>45</td><td></td><td></td></tr> <tr><td>46</td><td></td><td></td></tr> <tr><td>47</td><td></td><td></td></tr> <tr><td>48</td><td></td><td></td></tr> <tr><td>49</td><td></td><td></td></tr> <tr><td>50</td><td></td><td></td></tr> <tr><td>51</td><td></td><td></td></tr> <tr><td>52</td><td></td><td></td></tr> <tr><td>53</td><td></td><td></td></tr> <tr><td>54</td><td></td><td></td></tr> <tr><td>55</td><td></td><td></td></tr> <tr><td>56</td><td></td><td></td></tr> <tr><td>57</td><td></td><td></td></tr> <tr><td>58</td><td></td><td></td></tr> <tr><td>59</td><td></td><td></td></tr> <tr><td>60</td><td></td><td></td></tr> <tr><td>61</td><td></td><td></td></tr> <tr><td>62</td><td></td><td></td></tr> <tr><td>63</td><td></td><td></td></tr> <tr><td>64</td><td></td><td></td></tr> <tr><td>65</td><td></td><td></td></tr> <tr><td>66</td><td></td><td></td></tr> <tr><td>67</td><td></td><td></td></tr> <tr><td>68</td><td></td><td></td></tr> <tr><td>69</td><td></td><td></td></tr> <tr><td>70</td><td></td><td></td></tr> <tr><td>71</td><td></td><td></td></tr> <tr><td>72</td><td></td><td></td></tr> <tr><td>73</td><td></td><td></td></tr> <tr><td>74</td><td></td><td></td></tr> <tr><td>75</td><td></td><td></td></tr> <tr><td>76</td><td></td><td></td></tr> <tr><td>77</td><td></td><td></td></tr> <tr><td>78</td><td></td><td></td></tr> <tr><td>79</td><td></td><td></td></tr> <tr><td>80</td><td></td><td></td></tr> <tr><td>81</td><td></td><td></td></tr> <tr><td>82</td><td></td><td></td></tr> <tr><td>83</td><td></td><td></td></tr> <tr><td>84</td><td></td><td></td></tr> <tr><td>85</td><td></td><td></td></tr> <tr><td>86</td><td></td><td></td></tr> <tr><td>87</td><td></td><td></td></tr> <tr><td>88</td><td></td><td></td></tr> <tr><td>89</td><td></td><td></td></tr> <tr><td>90</td><td></td><td></td></tr> <tr><td>91</td><td></td><td></td></tr> <tr><td>92</td><td></td><td></td></tr> <tr><td>93</td><td></td><td></td></tr> <tr><td>94</td><td></td><td></td></tr> <tr><td>95</td><td></td><td></td></tr> <tr><td>96</td><td></td><td></td></tr> <tr><td>97</td><td></td><td></td></tr> <tr><td>98</td><td></td><td></td></tr> <tr><td>99</td><td></td><td></td></tr> <tr><td>100</td><td></td><td></td></tr> </tbody> </table>				NO.	DATE	REVISION	1			2			3			4			5			6			7			8			9			10			11			12			13			14			15			16			17			18			19			20			21			22			23			24			25			26			27			28			29			30			31			32			33			34			35			36			37			38			39			40			41			42			43			44			45			46			47			48			49			50			51			52			53			54			55			56			57			58			59			60			61			62			63			64			65			66			67			68			69			70			71			72			73			74			75			76			77			78			79			80			81			82			83			84			85			86			87			88			89			90			91			92			93			94			95			96			97			98			99			100		
NO.	DATE	REVISION																																																																																																																																																																																																																																																																																																																
1																																																																																																																																																																																																																																																																																																																		
2																																																																																																																																																																																																																																																																																																																		
3																																																																																																																																																																																																																																																																																																																		
4																																																																																																																																																																																																																																																																																																																		
5																																																																																																																																																																																																																																																																																																																		
6																																																																																																																																																																																																																																																																																																																		
7																																																																																																																																																																																																																																																																																																																		
8																																																																																																																																																																																																																																																																																																																		
9																																																																																																																																																																																																																																																																																																																		
10																																																																																																																																																																																																																																																																																																																		
11																																																																																																																																																																																																																																																																																																																		
12																																																																																																																																																																																																																																																																																																																		
13																																																																																																																																																																																																																																																																																																																		
14																																																																																																																																																																																																																																																																																																																		
15																																																																																																																																																																																																																																																																																																																		
16																																																																																																																																																																																																																																																																																																																		
17																																																																																																																																																																																																																																																																																																																		
18																																																																																																																																																																																																																																																																																																																		
19																																																																																																																																																																																																																																																																																																																		
20																																																																																																																																																																																																																																																																																																																		
21																																																																																																																																																																																																																																																																																																																		
22																																																																																																																																																																																																																																																																																																																		
23																																																																																																																																																																																																																																																																																																																		
24																																																																																																																																																																																																																																																																																																																		
25																																																																																																																																																																																																																																																																																																																		
26																																																																																																																																																																																																																																																																																																																		
27																																																																																																																																																																																																																																																																																																																		
28																																																																																																																																																																																																																																																																																																																		
29																																																																																																																																																																																																																																																																																																																		
30																																																																																																																																																																																																																																																																																																																		
31																																																																																																																																																																																																																																																																																																																		
32																																																																																																																																																																																																																																																																																																																		
33																																																																																																																																																																																																																																																																																																																		
34																																																																																																																																																																																																																																																																																																																		
35																																																																																																																																																																																																																																																																																																																		
36																																																																																																																																																																																																																																																																																																																		
37																																																																																																																																																																																																																																																																																																																		
38																																																																																																																																																																																																																																																																																																																		
39																																																																																																																																																																																																																																																																																																																		
40																																																																																																																																																																																																																																																																																																																		
41																																																																																																																																																																																																																																																																																																																		
42																																																																																																																																																																																																																																																																																																																		
43																																																																																																																																																																																																																																																																																																																		
44																																																																																																																																																																																																																																																																																																																		
45																																																																																																																																																																																																																																																																																																																		
46																																																																																																																																																																																																																																																																																																																		
47																																																																																																																																																																																																																																																																																																																		
48																																																																																																																																																																																																																																																																																																																		
49																																																																																																																																																																																																																																																																																																																		
50																																																																																																																																																																																																																																																																																																																		
51																																																																																																																																																																																																																																																																																																																		
52																																																																																																																																																																																																																																																																																																																		
53																																																																																																																																																																																																																																																																																																																		
54																																																																																																																																																																																																																																																																																																																		
55																																																																																																																																																																																																																																																																																																																		
56																																																																																																																																																																																																																																																																																																																		
57																																																																																																																																																																																																																																																																																																																		
58																																																																																																																																																																																																																																																																																																																		
59																																																																																																																																																																																																																																																																																																																		
60																																																																																																																																																																																																																																																																																																																		
61																																																																																																																																																																																																																																																																																																																		
62																																																																																																																																																																																																																																																																																																																		
63																																																																																																																																																																																																																																																																																																																		
64																																																																																																																																																																																																																																																																																																																		
65																																																																																																																																																																																																																																																																																																																		
66																																																																																																																																																																																																																																																																																																																		
67																																																																																																																																																																																																																																																																																																																		
68																																																																																																																																																																																																																																																																																																																		
69																																																																																																																																																																																																																																																																																																																		
70																																																																																																																																																																																																																																																																																																																		
71																																																																																																																																																																																																																																																																																																																		
72																																																																																																																																																																																																																																																																																																																		
73																																																																																																																																																																																																																																																																																																																		
74																																																																																																																																																																																																																																																																																																																		
75																																																																																																																																																																																																																																																																																																																		
76																																																																																																																																																																																																																																																																																																																		
77																																																																																																																																																																																																																																																																																																																		
78																																																																																																																																																																																																																																																																																																																		
79																																																																																																																																																																																																																																																																																																																		
80																																																																																																																																																																																																																																																																																																																		
81																																																																																																																																																																																																																																																																																																																		
82																																																																																																																																																																																																																																																																																																																		
83																																																																																																																																																																																																																																																																																																																		
84																																																																																																																																																																																																																																																																																																																		
85																																																																																																																																																																																																																																																																																																																		
86																																																																																																																																																																																																																																																																																																																		
87																																																																																																																																																																																																																																																																																																																		
88																																																																																																																																																																																																																																																																																																																		
89																																																																																																																																																																																																																																																																																																																		
90																																																																																																																																																																																																																																																																																																																		
91																																																																																																																																																																																																																																																																																																																		
92																																																																																																																																																																																																																																																																																																																		
93																																																																																																																																																																																																																																																																																																																		
94																																																																																																																																																																																																																																																																																																																		
95																																																																																																																																																																																																																																																																																																																		
96																																																																																																																																																																																																																																																																																																																		
97																																																																																																																																																																																																																																																																																																																		
98																																																																																																																																																																																																																																																																																																																		
99																																																																																																																																																																																																																																																																																																																		
100																																																																																																																																																																																																																																																																																																																		
Renaissance Infrastructure Consulting 100 E 17th Street Kansas City, Missouri 64108 Tel: 816.800.0050 www.ri-consult.com		Sheet C12																																																																																																																																																																																																																																																																																																																

LANDSCAPE CALCULATIONS

Street Trees
 Required: 1 large tree / 40' lot frontage
 Provided:
 Elizabeth Street (152') = 4 trees*
 Meadow Lane (207') = 5 trees
 Brink Meyer Road (152') = 4 trees

*Due to existing utility easements, a continuous shrub hedge is proposed in lieu of street trees along Elizabeth Street.

Parking Lot Plantings
 Required: 1 large tree / 25 parking spaces, 1 shrub / 10' perimeter landscape buffer, cont. shrub hedge for any perimeter within 25' of a street
 Provided: 1 tree + cont. shrub hedge for parking lot perimeter

Buffers
 Required: Not applicable

Open Space
 Required: 5%
 Provided: 23%

LANDSCAPE NOTES

1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERSEDE SCHEDULED QUANTITIES.
4. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
5. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
6. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
7. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
8. ALL TREES SHALL BE STAKED PER DETAIL.
9. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
10. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
11. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SOODING/SEEDING OPERATIONS.
12. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SOODED WITH TURF TYPE FESCUE.
13. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
TREES				
	GP	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maadonah Tree	B&B, 2" Cal.	8
	QT	Quercus macrocarpa 'Skyline' / Skyline Honey Locust	W&R, 2" Cal.	4
	TC	Tilia cordata 'Greenspire' / Littleleaf Linden	B&B, 2" Cal.	1
EVERGREEN				
	JS	Juniperus chinensis 'Spartan' / Spartan Juniper	B&B, 6' Ht. Min.	8
SHRUBS				
	CA3	Celastrus alnifolia 'Ruby Spice' / Ruby Spice Cestiva	3 Gal.	8
	HPS	Hypericum torridosum 'Sunburst' / Sunburst Hypericum	3 Gal.	10
	PV	Panicum argatum 'Haines Home' / Haines Home Switch Grass	3 Gal.	20
EVERGREEN SHRUBS				
	JF	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 Gal.	21
GROUND COVERS				
	AM2	Aggregate Mulch RE: Noes	MULCH	2,336 sf
	TR3	Turfgrass Sod Fescue Mix / Sod	SOD	6,010 sf



Final Development Plan

24-0148
 Creekside Commercial Building 2
 Parkville, Plate County, MO

Landscape Plan

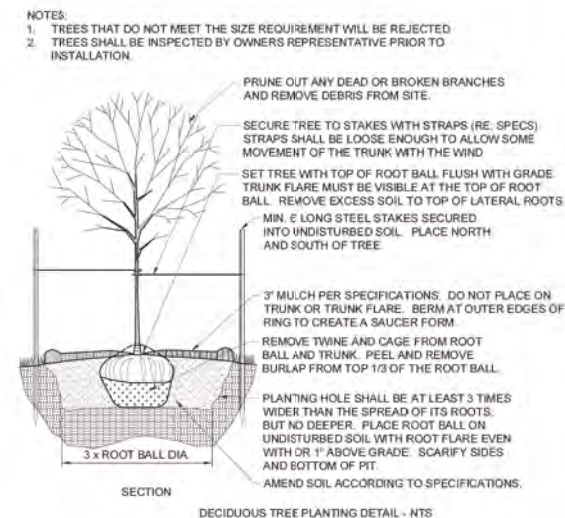
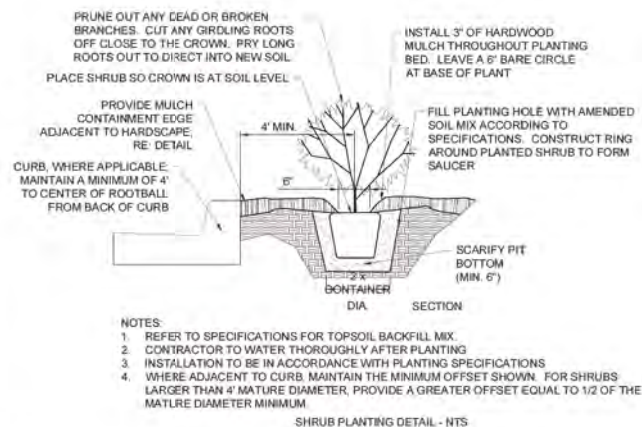
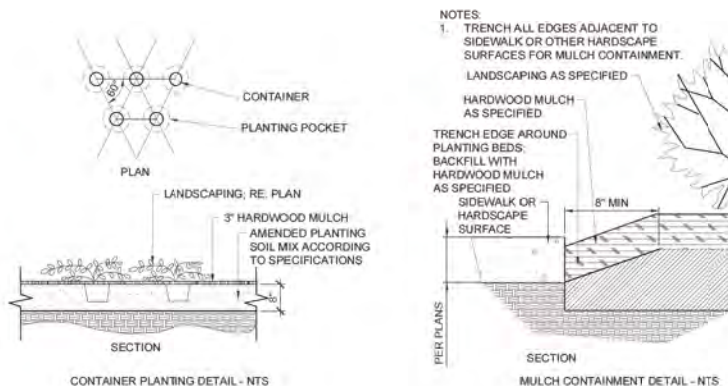
Renaissance
 Infrastructure
 Consulting

1100 E. 17th Street
 Kansas City, Missouri 64108
 816.500.0950
 www.ri-consulting.com

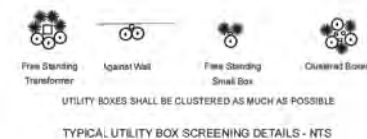
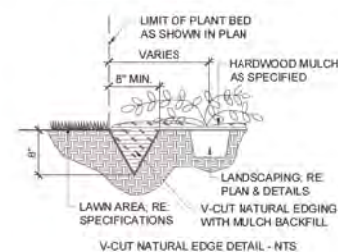
STATE OF MISSOURI
 LANDSCAPE ARCHITECT
 NUMBER 1A-200713214
 1A-200713214
 NEW LA 08/09/2018

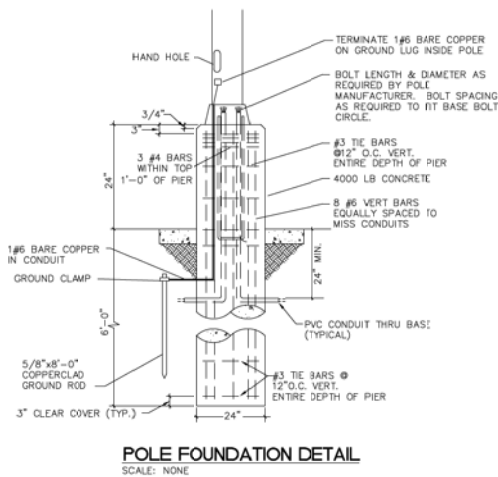
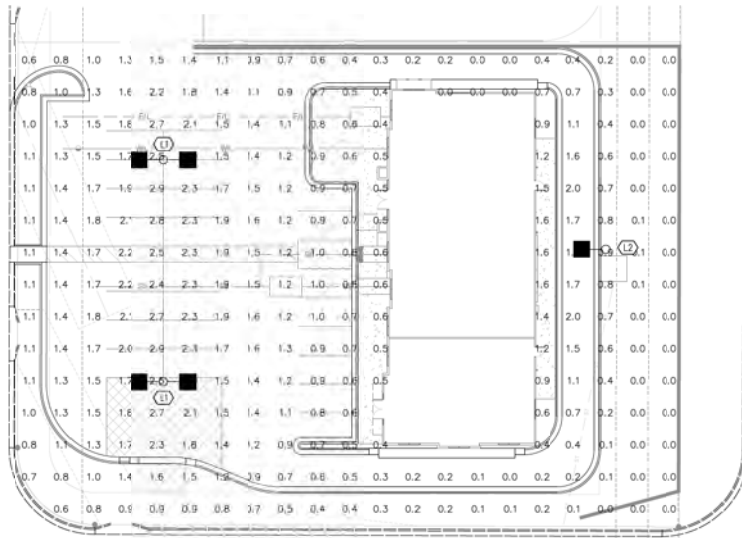
Sheet
 L01

NOT FOR CONSTRUCTION 7/9/21



- NOTES:
- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT
 - TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE. DETAIL THIS SHEET
 - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.





PARKING LOT

AVERAGE FOOT-CANDLES	1.31
MAXIMUM FOOT-CANDLES	3.0
MINIMUM FOOT-CANDLES	0.0
MAXIMUM TO MINIMUM FC RATIO	2.97 / 0.00
AVERAGE TO MINIMUM FC RATIO	1.31 / 0.00

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MOUNTING	MODEL	WATTAGE	QUANTITY	MOUNTING HEIGHT	LAMP DEPRECIATION
L1	■—○—■	POLE	LSI INDUSTRIES, INC., MRM-LED-09-SL-4-40-70CRI	62 W	2	27 FT.	0.9
L2	○—■	POLE	LSI INDUSTRIES, INC., MRM-LED-09L-SL-2-40-70CRI-IL	62 W	1	27 FT.	0.9

Mirada Medium (MRM)

Outdoor LED Area Light

PH 80

Technical Data

Light Output	12,000 lm
Beam Angle	140°
Mounting Height	20-30 ft
Weight	15 lbs
Dimensions	18" x 18" x 18"

Quick Links

[Download Spec](#) [Download Data](#) [Download Photos](#) [Download](#)

FEATURES & SPECIFICATIONS

Construction

- High-temperature polycarbonate lenses
- Aluminum housing powder coated and anodized
- Designed to meet or exceed all applicable codes
- Available in 10' or 15' heights
- Available in 10' or 15' heights
- Available in 10' or 15' heights

Electrical

- High-temperature polycarbonate lenses
- Aluminum housing powder coated and anodized
- Designed to meet or exceed all applicable codes
- Available in 10' or 15' heights
- Available in 10' or 15' heights
- Available in 10' or 15' heights

Optical Output

- High-temperature polycarbonate lenses
- Aluminum housing powder coated and anodized
- Designed to meet or exceed all applicable codes
- Available in 10' or 15' heights
- Available in 10' or 15' heights
- Available in 10' or 15' heights

Steel Poles

Square Straight

PH 80

Technical Data

Light Output	12,000 lm
Beam Angle	140°
Mounting Height	20-30 ft
Weight	15 lbs
Dimensions	18" x 18" x 18"

Quick Links

[Download Spec](#) [Download Data](#) [Download Photos](#) [Download](#)

FEATURES & SPECIFICATIONS

Pole Design

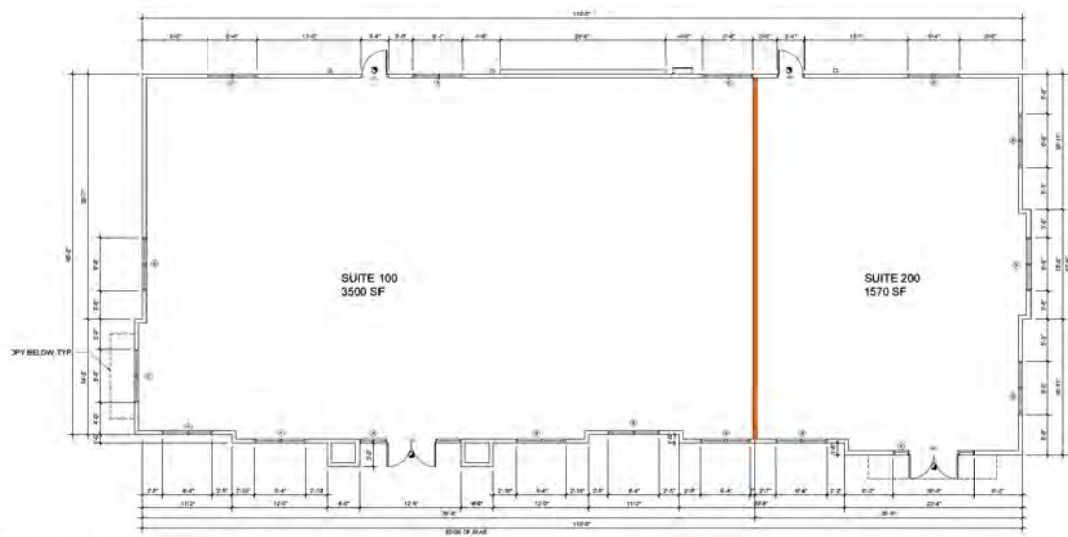
- High-temperature polycarbonate lenses
- Aluminum housing powder coated and anodized
- Designed to meet or exceed all applicable codes
- Available in 10' or 15' heights
- Available in 10' or 15' heights
- Available in 10' or 15' heights

Electrical

- High-temperature polycarbonate lenses
- Aluminum housing powder coated and anodized
- Designed to meet or exceed all applicable codes
- Available in 10' or 15' heights
- Available in 10' or 15' heights
- Available in 10' or 15' heights

Optical Output

- High-temperature polycarbonate lenses
- Aluminum housing powder coated and anodized
- Designed to meet or exceed all applicable codes
- Available in 10' or 15' heights
- Available in 10' or 15' heights
- Available in 10' or 15' heights



floor plan



ARIZONA STACK HACKETT
STONE VENEER



CEMENTITIOUS LAP SIDING
PAINTED SW255



CEMENTITIOUS BOARD AND
BATTEN SIDING PAINTED SW7048

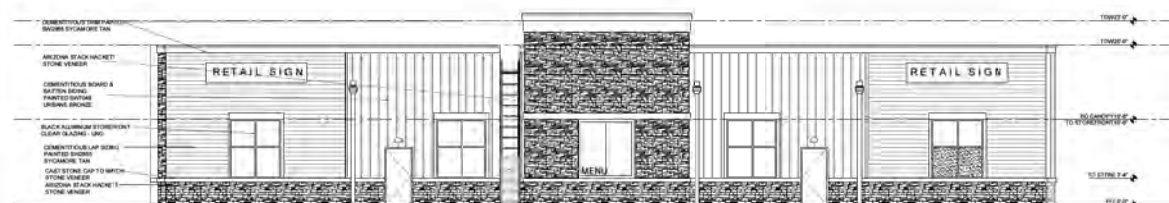
material selections



west elevation



south elevation



east elevation



north elevation

SCALE: $\frac{1}{8}" = 1'-0"$



architecture & interiors
115 n. nettleton
bonner springs, ks
913.422.5762 ph

CREEKSIDE OLD TOWN RETAIL BUILDING 2

INTERSECTION OF RUSTIC LANE &
ELIZABETH STREET
PARKVILLE, MISSOURI

ISSUE
DATE: 6/28/24

A1



west elevation rendering



southeast elevation rendering



northwest elevation rendering



southwest elevation rendering



architecture & interiors
115 n. nettleton
bonner springs, ks
913.422.5762 ph

CREEKSIDE OLD TOWN RETAIL BUILDING 2

INTERSECTION OF RUSTIC LANE &
ELIZABETH STREET
PARKVILLE, MISSOURI

ISSUE
DATE: 6/28/24

A2

bolt dtl

SCALE: 1 1/2" = 1'-0"

bollard dtl

wall sect

SCALE: 1/2"= 1'-0"

ARIZONA STACK HACKETT
STONE VENEER

CEMENTITIOUS LAP SIDING
PAINTED SW2855

CEMENTITIOUS BOARD AND
BATTEN SIDING PAINTED SW7048

material selections

enclosure elevations

SCALE: 1/4"= 1'-0"

trash enclosure

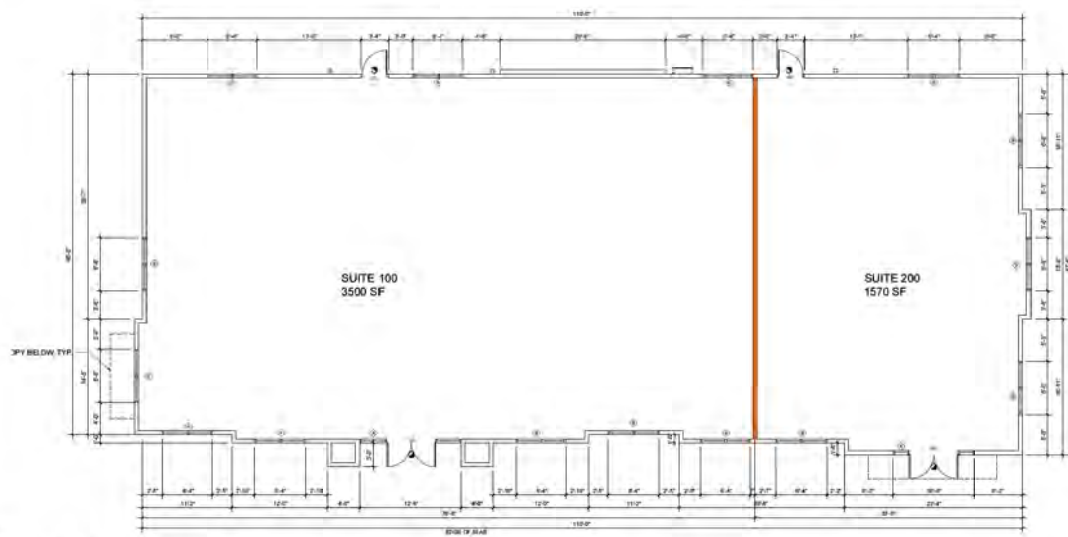
SCALE: 1/4"= 1'-0"

CREEKSIDE OLD TOWN RETAIL BUILDING 2

INTERSECTION OF RUSTIC LANE &
ELIZABETH STREET
PARKVILLE, MISSOURI

ISSUE DATE: 6/28/24

A3



floor plan



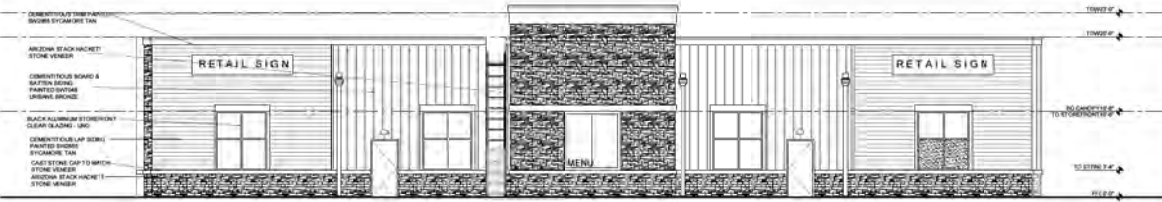
material selections



west elevation



south elevation



east elevation



north elevation

bnb design
architecture & interiors
115 n. nettleton
bonner springs, ks
913.422.5762 ph

CREEKSIDE OLD TOWN RETAIL BUILDING 2
INTERSECTION OF RUSTIC LANE &
ELIZABETH STREET
PARKVILLE, MISSOURI

ISSUE DATE: 6/28/24

A1



west elevation rendering



southeast elevation rendering



northwest elevation rendering



southwest elevation rendering



architecture & interiors
115 n. nettleton
bonner springs, ks
913.422.5762 ph

CREEKSIDE OLD TOWN RETAIL BUILDING 2

INTERSECTION OF RUSTIC LANE &
ELIZABETH STREET
PARKVILLE, MISSOURI

ISSUE
DATE: 6/28/24

A2



Application #: _____
Date Submitted: _____
Public Hearing: _____
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Final Development Plan

Pre-application meeting required per Parkville Municipal Code, Title IV, Section 403.010, Subsection C.

1. Applicant/Contact Information

Applicant(s)

Name: Parkville Development 38
Company: c/o Brian Mertz
Address: 7607 NW John Anders Road
City, State: Kansas City, MO 64152
Phone: (816) 616-9016 Fax: _____
E-mail: bmertz1@kc.rr.com

Engineer/Surveyor(s) preparing plans & legal desc.

Name: Patrick Cassity
Company: Renaissance Infrastructure Consulting
Address: 5015 NW Canal Street, Ste. 100
City, State: Riverside, MO 64150-7203
Phone: (816) 800-0950 Fax: _____
E-mail: pcassity@ric.consult.com

Owner(s), if different from applicant

Name: _____
Company: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

Contact Person, if different from applicant

Name: Patricia R. Jensen
Company: Rouse Frets White Goss Gentile Rhodes
Address: 4510 Belleview Avenue, Suite 300
City, State: Kansas City, MO 64150
Phone: (816) 502-4723 Fax: _____
E-mail: pjensen@rousepc.com

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that development in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) [Signature] Date: June 5, 2024

Property Owner's Signature (Required) [Signature] Date: June 5, 2024

2. Property Information

Zoning district: BP-2

Property address and general location: NE Corner Rustic Lane and Elizabeth St.

Legal description (may be attached): All of Lot 02, Old Town at Creekside 3rd Plat, Parkville, Platte County, Missouri

Description of proposed use(s): Commercial/Retail

Gross acreage of lot: 0.71 Net acreage of lot: 0.71

Open space acreage: .177 Lot coverage: .164

Is proposal an alteration to an existing building or new construction? ☐ alteration ☒ new construction

3. Factors affecting the projectAre any public improvements required for this project? No

Explain (may be attached):

Attach a narrative addressing:

1. *How the site is capable of accommodating the buildings, proposed use, access and other site design elements required by this code and will not negatively impact the function and design of rights-of-way or adjacent property.*
2. *How the design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.*
3. *How the architecture and building design uses quality materials and the style is appropriate for the context considering the proportion, massing, and scale of different elements of the building.*
4. *How the overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features or site design elements.*
5. *Whether any additional site-specific conditions are necessary to meet the intent of the zoning district or the intent and design objectives of any of the applicable development standards.*
6. *How the final development plan is substantially consistent with the approved preliminary development plan.*

4. Checklist of required submittals

- ☐ Completed application, including site plan with all required details and supporting data.
- ☐ Nonrefundable application fee of \$300.00.
- ☐ Five (5) copies 24" x 36" size, or larger sets, and one (1) electronic set (PDF format) of the site plan and elevations for staff and service providers to review.
- ☐ Authorization signature of the applicant and owner of record of the property.
- ☐ If subject to covenants and/or deed restrictions, signed approval of the association/entity enforcing such.

For Office Use Only

Application accepted as complete by (name & title): _____ Date: _____

Application Fee (27.0000): \$ _____ By: ☐ Check # _____ ☐ MO# _____Accepted by: _____ ☐ Credit Card _____ ☐ Cash _____☐ Final reimbursable costs paid (if applicable). Date of Action: _____**Planning Commission Action:** ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

5. Final Development Plan checklist for staff review**1. Basic Information**

- a. Name of the development
- b. Name, address, contact information of person or firm that prepared the plan
- c. Date plan was prepared, including any revision dates
- d. Graphic, engineering scale
- e. North arrow
- f. Vicinity map identifying boundaries and location of property in relation to City

2. Development Summary Table | *Provided on site plan in chart format*

- a. Existing zoning and proposed zoning if applicable
- b. Total land area in square feet and acres
- c. Proposed use or uses of each building and/or structure
- d. Height above grade of buildings and structures and number of stories of each building and/or structure
- e. Gross floor area per floor and total for each building/structure
- f. Residential buildings shall also include residential building type and total number of dwelling units. Residential development shall identify gross and net density
- g. Building coverage and floor area ratio
- h. Ratio of required number of parking spaces for each use and amount of proposed parking spaces

3. Plan Drawing

- a. Property lines and lot dimensions
- b. Proposed building footprint with lines
- c. Building(s) with dimensions and distance to property lines
- d. Cross-sections of the site detailing the height of buildings/structures, distances, and relationship to existing topography, and if applicable, proposed topography
- e. Existing and proposed rights-of-way improvements (curb/gutter/sidewalk/driveways, etc.) and easements
- f. All radii, acres, points of tangency, central angles and lengths of curves
- g. Existing and proposed topography, with major contour lines at intervals of 10 feet, and minor contour lines at an interval of 2 feet
- h. Indication of FEMA Special Flood Hazard Areas (SFHA) if applicable
- i. Location and identification of any proposed and any existing site features to be retained, including detention areas, retaining walls, existing mature trees, and other pertinent site features
- j. Identification of proposed or existing use or uses within each building, building entrances and exits, docks or other service entrances, utility entrances and screening to them, trash enclosures if applicable, outdoor storage and sales areas, and other paved areas.
- k. Architectural renderings of the completed project be provided, including elevations of each side of each structure and delineation of building materials.

4. Parking and Circulation

- a. Location and dimensions of the widths of existing or proposed private vehicular access into the property from perimeter streets and location of existing or approved accesses on properties adjacent or opposite the property
- b. Location of proposed or existing parking spaces, aisles, and drives with setback dimensions from proposed streets right-of-way and adjacent property lines; typical width and length of parking spaces; number of parking spaces per row; and width of parking and drive aisles
- c. Illustration of AutoTURN vehicular movements for emergency vehicle access to development, specifically a Pierce Velocity fire truck (dual axle type w/ 110 ft. ladder; vehicle specifications are 43.3 ft. length X 8 ft. width)
- d. Location of proposed trash enclosures if applicable
- e. Identification of all public and private existing and proposed sidewalks, trails, bicycle facilities, and/or open space areas (Tracts A, B, C, etc.)
- f. Indication of compliance with access and parking standards per City Code (Chapter 408)

5. Landscaping and Screening

- a. A plan for landscaping design and screening in conformance with City Code (Section 407.020 and 407.030)
- b. A lighting plan in conformance with City Code (Section 407.040)
- c. A stormwater management plan in conformance with City Code (Section 407.050)
- d. A landscape schedule showing compliance with City Code (Chapter 407)

6. Conformity with Preliminary Development Plan

- a. Clearly indicate where the final development plan differs from the approved preliminary development plan
- b. Clearly indicate when exhibits do not conform to the final development plan and reasons for any nonconformities

7. Other Requirements

- a. All survey monuments and benchmarks, together with their description
- b. Show windows and entrances
- c. Label all materials
- d. Show canopies and awnings if proposed
- e. Information regarding signage if proposed, in compliance with City Code (Chapter 409)

Note: Submissions of final development plans to the Planning and Zoning Commission that do not conform to the above checklist may, at the discretion of the Planning and Zoning Commission, be subject to delay until unfulfilled items are complied with.