



PLANNING & ZONING COMMISSION

Regular Meeting Agenda
CITY OF PARKVILLE, MISSOURI
Tuesday, January 9, 2024 5:30 PM
City Hall Board Room

- 1. Call to Order**
- 2. Roll Call**
- 3. General Business**
 - A. Approval of the January 9, 2024, regular meeting agenda.
 - B. Approve the minutes for the October 10, 2023, regular meeting
- 4. Unfinished Business**
- 5. Public Hearing**
 - A. Application for Preliminary Development Plan for Chase Bank, a financial institution on Lot 4 of APEX Plaza, generally located at the northwest corner of Highway 45 and Melody Lane. (Case No. PZ23-36); *Carlos Iglesias, Cumulus Design, Applicant.*
- 6. Regular Business**
- 7. Other Business**
 - A. Upcoming meetings & dates of importance:
 - Board of Aldermen Meetings: Tuesday, January 16 and February 6 at 7:00 p.m.
 - Board of Zoning Adjustments Meeting: Tuesday, January 23 at 5:30 p.m.
 - Planning & Zoning Commission Regular Meeting: Tuesday, February 13 at 5:30 p.m.
- 8. Adjournment**

**Minutes of the
Planning & Zoning Commission Regular Meeting
City of Parkville, Missouri**
Tuesday, October 10, 2023 5:30 PM
City Hall Board Room
City Hall Board Room

1. Call to Order

Chair Wright called the meeting to order at 05:30 PM.

2. Roll Call

Commissioners Present:

Barbara Wassmer
R. Douglas Krtek
Walt Lane
Spencer Keese
Andrew Barchers
Gareld Butler
Timothy Cahill
Jackson Kutey
Michael Wright

Absent:

A quorum of the Commission was present.

Staff Present:

Stephen Lachky, Community Development Director
Brad Stanton, Planner

3. General Business

A. Approval of the October 10, 2023 regular meeting agenda.

ACTION: Barbara Wassmer moved to approve, Gareld Butler seconded. Motion Passed: 9-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keese, Andrew Barchers, Gareld Butler, Timothy Cahill, Jackson Kutey

NOES: None

ABSTAIN: None

B. Approve the minutes for the September 12, 2023 regular meeting

ACTION: Gareld Butler moved to approve, Andrew Barchers seconded. Motion Passed: 8-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keese, Andrew Barchers, Gareld Butler, Timothy Cahill

NOES: None

ABSTAIN: None

4. Unfinished Business

5. Public Hearing

6. Regular Business

- A. An Application for Subdivision - Preliminary Plat for Village on the Green, a planned residential development consisting of twenty-three (23) 1-2-story 5-7 unit cluster townhomes (145 units total), seven (7) 1-3-story townhomes (80 units total) and related amenities (5,000+/- sq. ft.) on 25.76 acres, more or less, generally located south of Highway 45 and east of South National Drive. (Case No. PZ23-29); *Adam Tholen, Pulse Development Group, Applicant.*

Brad Stanton, Planner, provided an overview of items 6A, 6B, and 6C. The applicant is seeking to renew the expired preliminary and final plats for Village on the Green.

Adam Tholen, 7712 NW Scenic Dr, Weatherby Lake, applicant, was present.

Chair Wright inquired about the distance between buildings and fire approval. Stephen Lachky stated that Southern Platte Fire has reviewed the proposed plans as part of the preliminary development plan.

Sam Stewart, 6170 Lime Stone Ct, stated the bigger delay was a stormwater runoff problem. He sees a problem with stormwater runoff from near the access point to the Lime Stone HOA detention pond.

ACTION: Spencer Keesee moved to approve, Gareld Butler seconded. Motion Passed: 8-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keesee, Andrew Barchers, Gareld Butler, Timothy Cahill

NOES: None

ABSTAIN: None

- B. An Application for Subdivision - Final Plat for Village on the Green West, a one-lot residential subdivision on 5.30 acres, more or less. (Case No. PZ23-30); *Adam Tholen, Pulse Development Group, Applicant.*

ACTION: Barbara Wassmer moved to approve, Gareld Butler seconded. Motion : 9-0.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Walt Lane, Spencer Keesee, Andrew Barchers, Gareld Butler, Timothy Cahill, Jackson Kutey

NOES: None

ABSTAIN: None

- C. An Application for Subdivision - Final Plat for Village on the Green East, a one-lot residential subdivision on 20.46 acres, more or less. (Case No. PZ23-31); *Adam Tholen, Pulse Development Group, Applicant.*

ACTION: Andrew Barchers moved to approve, Spencer Keesee seconded. Motion Passed: 8-1.

AYES: Michael Wright, Barbara Wassmer, R. Douglas Krtek, Spencer Keesee, Andrew Barchers, Gareld Butler, Timothy Cahill, Jackson Kutey

NOES: Walt Lane

ABSTAIN: None

7. Other Business

- A. Upcoming meetings & dates of importance:

- Board of Aldermen Meetings: Tuesday, October 17 and November 7 at 7:00 p.m.
- Board of Zoning Adjustments Meeting: Tuesday, October 24 at 5:30 p.m.
- Planning & Zoning Commission Regular Meeting: Tuesday, November 14 at 5:30 p.m.

8. Adjournment

Chairman Wright called further discussion. Seeing none, he called for a motion to adjourn.

Submitted by:

Stephen Lachky, AICP
Community Development Director

Date

Brad Stanton
Planner

Date



Staff Analysis

<u>Agenda Item:</u>	5.A
<u>Proposal:</u>	Application for Preliminary Development Plan for Chase Bank, a financial institution on Lot 4 of APEX Plaza, generally located at the northwest corner of Highway 45 and Melody Lane in Parkville, MO 64152.
<u>Staff Recommendation:</u>	Approval (with conditions)
<u>Case No:</u>	PZ 2023-36
<u>Applicant:</u>	Carlos Iglesias, Cumulus Design
<u>Owners:</u>	Daniel Carr, CBC Parkville 4, LLC
<u>Location:</u>	9000 NW Highway 45, Generally at the northwest corner of 45 Hwy and Melody Ln.
<u>Zoning:</u>	"B-4-P" Planned Business District
<u>Parcel #s:</u>	Platte County parcel no. 20-6.0-23-400-005-002.000
<u>Exhibits:</u>	A. This Staff Analysis B. Application for Preliminary Development Plan C. Subject Property Area Map D. Preliminary Development Plans for Chase Bank (prepared by Cumulus Design; dated November 2, 2023) E. Application Narrative (Submitted by Applicant) F. Additional exhibits as may be presented during the meeting
<u>By Reference:</u>	A. Parkville Municipal Code, Title IV – Development Code in its entirety (https://www.ecode360.com/PA3395-DIV-05) 1. Chapter 404 Subdivision Regulations 2. Section 405.010 Zoning Districts Established 3. Section 405.020 Districts & Uses 4. Section 405.030 Standards Applicable to All Districts 5. Appendix B. Great Trees for the Kansas City Region B. Parkville Master Plan (http://parkvillemo.gov/government/city-plans-studies/master-plan/) C. Highway 45 Corridor Plan (http://parkvillemo.gov/download/Highway45CorridorPlan.pdf)

Overview

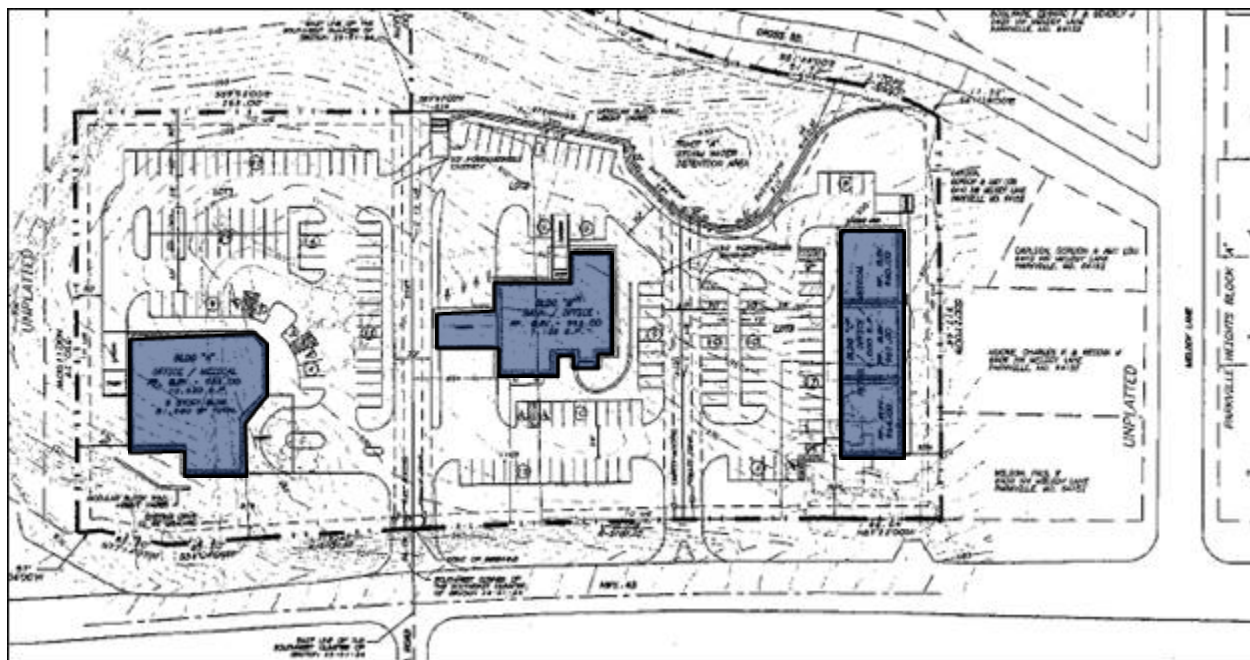
The application proposes a preliminary development plan for Lot 4 of APEX Plaza to construct Chase Bank, a service, general (bank) use located at the northwest corner of the intersection of 45 Hwy and Melody Ln. Approval of the preliminary development plan will effectively amend the existing approved preliminary development plan (2017) for APEX Plaza which includes Lot 4. The proposed one-story, drive-through bank is 3,333+/- sq. ft. The project area is approximately 1.05 acres (more or less), is addressed as 9000 NW Highway 45, and resides within Platte County parcel no. 20-6.0-23-400-005-002.000.



Exhibit C: Subject Property Area Map

Background

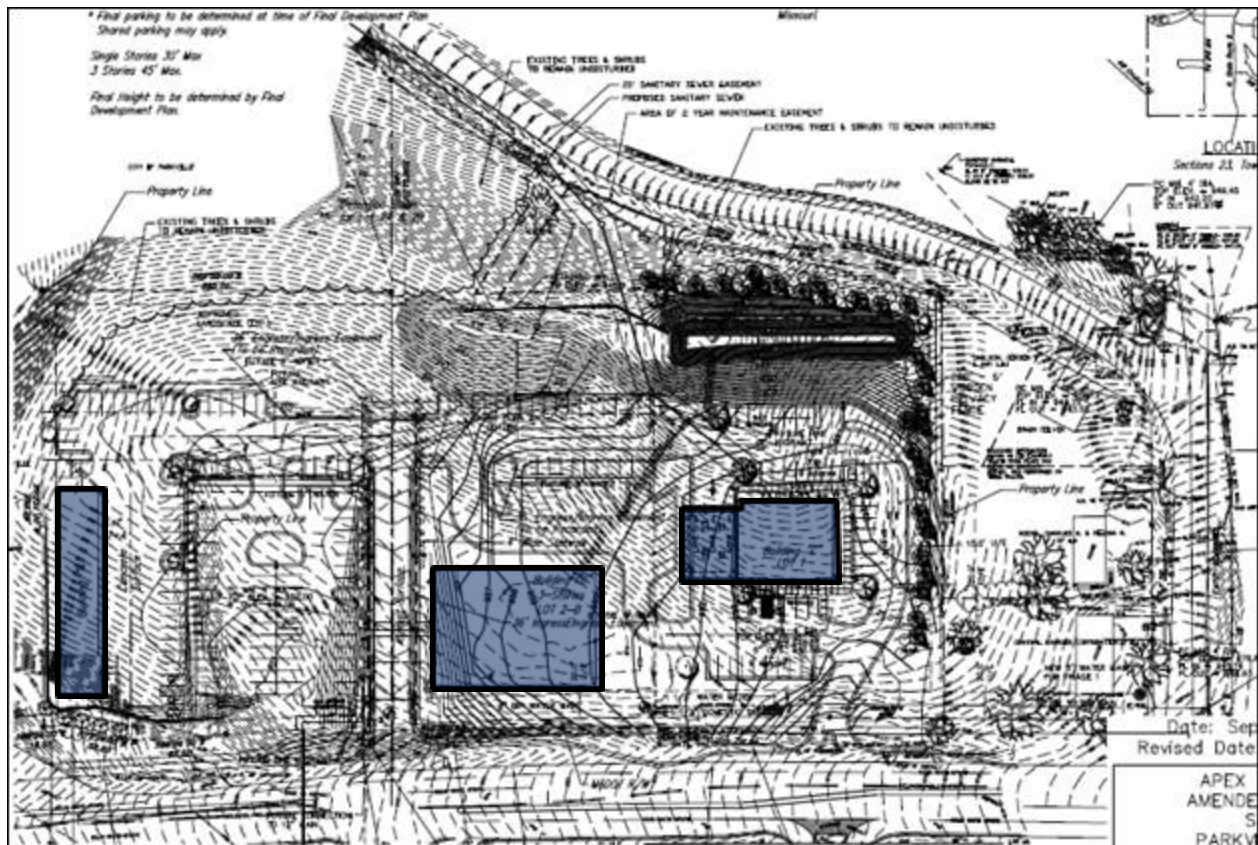
On April 10, 2003, the City of Parkville approved Ordinance No. 2062, the rezoning of property within APEX Plaza from “R-1” Single-Family Residential District to “B-4” Planned Business District, in conjunction with a preliminary development plan. The plan proposed three buildings — a 10,000+ sq. ft., 3-story office/medical building, 7,000+ sq. ft. bank/office, and a retail/office/medical multi-tenant building abutting residential properties along the eastern portion of the site (see building footprints highlighted in navy below). The validity of this approval was challenged by a lawsuit; however, in 2005 the court upheld the City’s approval of the rezoning.



APEX PLAZA Preliminary Development Plan (dated January 8, 2003)

On August 6, 2005, the Board of Aldermen approved revised plans to accommodate a bank on the east 1/3 of the property, replacing a previously-approved retail/office/medical multi-tenant building, reducing the total sq. ft., density and further separating the building from abutting residential properties to the east. And on July 18, 2006, the Board of Aldermen approved a preliminary and final plat for the approved preliminary development plan for utilities, road improvements, proposed building layouts in order to proceed with final plans.

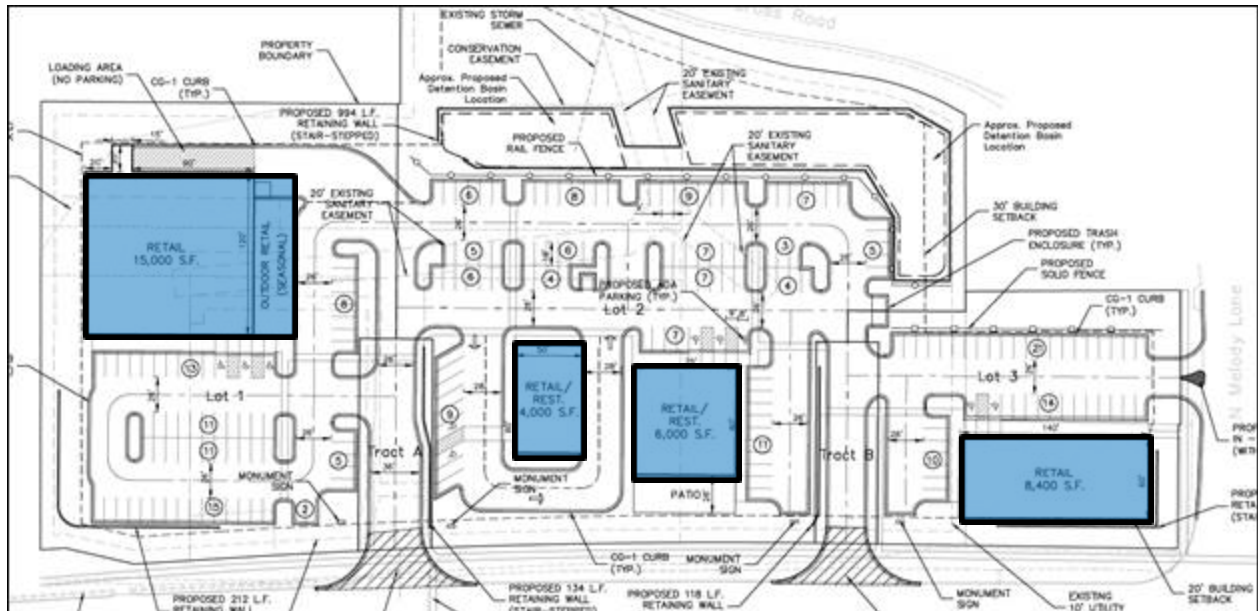
On November 17, 2009, the Board of Aldermen approved yet another revised preliminary development plan for APEX Plaza, along with a final development plan for Christian Brothers Automotive. This revision reconfigured the western half of the development to accommodate the automotive service/repair station (see building footprints highlighted in navy below).



APEX Development Amended Preliminary Site Plan (dated November 5, 2009)

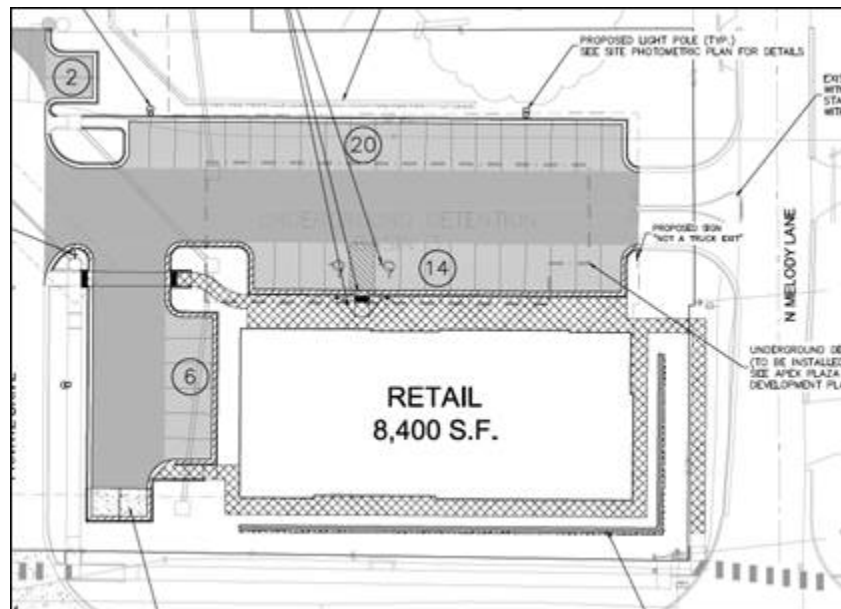
From 2003 to 2009 the preliminary development plan for APEX Plaza was revised four separate times, but the applicants never proceeded past a final development plan to permits for construction.

On June 6, 2017 the Board of Aldermen approved a new preliminary development plan on the subject property for CBC Real Estate APEX Plaza, re-platting the subject property to accommodate 4 buildings for retail use (15,000 sq. ft., 8,400 sq. ft., 6,000 sq. ft., and 4,000 sq. ft.). The development includes internal circulation, 211 parking spaces, and 3 points of access is indicated at the existing traffic signal at the intersection of Hwy 45 (i.e., NW 64th St. / Tom Watson Pkwy) and Bell Rd., right-in, right-out access off Hwy 45 about 300 ft. to the east of the Bell Rd. intersection, and right-in, right-out access off of NW Melody Ln. (see plans below).



CBC Real Estate APEX Plaza Preliminary Development Plan (dated March 31, 2017)

Final development plans have been submitted and approved for Lot 1 (Westlake ACE Hardware), Lot 2 (Whataburger) and Lot 3 (Verizon, Domino's, Roosters Men's Grooming Center). A final development plan for Lot 4 was approved by the Planning and Zoning Commission on April 10, 2018; and contains an 8,400 commercial strip building for retail tenants.



Excerpt from Sheet 4 (Site Plan), APEX Plaza – Lot 4 Final Development Plan



Architectural elevations of retail building on APEX Plaza – Lot 4

While the final development plan for Lot 4 was approved over four years ago, to-date no permits for construction have been issued and the property remains vacant. The applicant seeks to amend the preliminary development plan to modify the allowed uses on Lot 4 from retail uses to a service, general (bank) use and present site plans for a Chase Bank to be constructed on the property.

Review and Analysis

The table below provides a comparison of the preliminary development plan approved for Lot 4 in 2017 and the proposed preliminary development plan in this application.

	2017 Approved Plan	2024 Proposal
Use	Retail	Service, General (Bank)
Building Area	8,400 sq. ft.	3,333+/- sq. ft.
Parking Stalls	42 (required 42)	35 (required 10)

The purpose of a preliminary development plan is to allow preliminary review of a proposed planned development before substantial technical work has been undertaken. Additions to previously approved preliminary development plans may be considered an amendment to that plan and do not require a minimum size. Parkville Municipal Code, Section 403.040, Subsection C. provides criteria for how the Planning and Zoning Commission shall determine if a preliminary development plan is appropriate. The following are staff's findings and conclusions for the preliminary development plan (Case No. PZ 2023-36).

- 1. The plan represents an improvement over what could have been accomplished through strict application of otherwise applicable base zoning district standards, based on the goals of the Master Plan, and based upon generally accepted planning and design practice.**

In this case, proposed master planned development is not intending to avoid strict application of the applicable base zoning district standards; rather, the majority of the site is already zoned "B-4-P" Planned Business District via Ordinance No. 2062 (effective April 10, 2003). The preliminary development plan accomplishes the goals of the Parkville Master Plan and achieves many of the subdivision regulations and standards of Chapter 404 and site and landscape design standards of Chapter 407 (see below for more detail).

- 2. The benefits from any flexibility in the standards proposed in the plan promote the general public health, safety and welfare of the community, and in particular of the areas immediately near or within the proposed project, and are not strictly to benefit the applicant or a single project.**

The preliminary development plan is not intending to provide flexibility from the standards/regulations of the applicable zoning district ("B-4-P" Planned Business District); rather, the majority of the site is already zoned this district via Ordinance No. 2062 (effective April 10, 2003). Section 405.010 of the Development Code, specifically Table 405-1, finds this zoning district applicable to the Mixed Use/Support Commercial future land use projection, and the applicant seeks to present a new preliminary development plan for the subject property area. One advantage to having a master planned development for Lot 4 is that public health, safety and welfare can be addressed through the site planning process; specifically in this instance balancing service use with the immediate and nearby residential properties to the north and east through appropriate setbacks and buffering.

3. The benefits from any flexibility in the standards proposed in the plan allow the project to better meet or exceed the intent statements of the base zoning district(s) and the standards proposed to be modified when applied to the specific project or site.

Flexibility is requested from two development standards. The first is the applicant is proposing to exceed the parking maximum. Table 408-5 provides required parking counts for development, noting 3 spaces required per 1,000 sq. ft. of building area. A 3,333 sq. ft. building would require 10 parking spaces. The applicant has provided 35 parking spaces which is greater than the allowed parking maximum of 12. Staff finds this appropriate as it is maintaining the original APEX Plaza plan while also reducing the degree of non-conformance (42 parking stalls in the 2017 plan compared to 35 parking stalls in the proposed plan).

The second development standard the applicant has requested flexibility from is the street tree requirement of the landscape design standards. The applicant has not provided street trees along 45 Highway due to an existing retaining wall and related site challenges. The applicant has provided an additional large tree in the parking lot plantings as well as additional shrubs on the site.

4. The plan reflects generally accepted and sound planning and urban design principles with respect to applying the Master Plan and any specific plans to the area.

This plan furthers the planning and urban design principles of the broader APEX Plaza development.

5. The plan meets all of the review criteria for a Zoning Map amendment.

This application is not requesting a change in the underlying zoning district, nor substantial changes from the development standards.

Staff Conclusion and Recommendation

Staff recommends approval of the preliminary development plan for Chase Bank, subject to the following conditions:

1. Approval is based on the representations of the drawings presented as part of this application and does not waive any requirement or development standard contained within the Municipal Code.
2. Prior to Final Development Plan approval, the applicant shall install all stormwater management infrastructure as required by Public Works.
3. Any other conditions the Planning and Zoning Commission determines are necessary.

It should be noted that the recommendation contained in this report is made without knowledge of facts, comments or any additional information which may be presented during the meeting. For that reason, the conclusions herein are subject to change as a result of evaluating additional

information; additionally, staff reserves the right to modify or confirm the conclusions and recommendations herein based on consideration of any additional information that may be presented.

Necessary Action

Following consideration of the Application for Preliminary Development Plan, supporting information, associated exhibits, factors discussed above and any testimony presented during the public hearing, the Planning and Zoning Commission should recommend approval (with or without conditions), denial, or postpone the application for further consideration. If approved subject to conditions, the conditions should be noted for the record. Unless postponed, the Planning and Zoning Commission's action will be forwarded to the Board of Aldermen on February 6, 2024 for final action.

End of Memorandum

A handwritten signature in black ink, appearing to read "Brad Stanton", is written over a horizontal line.

Brad Stanton, AICP
Planner

01-04-2024
Date



Application #: _____
Date Submitted: _____
Public Hearing: _____
Date Approved: _____

CITY OF PARKVILLE • 8880 Clark Avenue • Parkville, MO 64152 • (816) 741-7676 • FAX (816) 741-0013

Application for Preliminary Development Plan

Pre-application meeting required per Parkville Municipal Code Title IV, Section 403.010, Subsection C.

1. Applicant/Contact Information

Applicant(s)

Name: Carlos Iglesias
Company: Cumulus Design
Address: 2080 North Highway 360 Suite 240
City, State: Grand Prairie, Texas
Phone: (214) 235-0367 Fax: _____
E-mail: Carlos@cumulusdesign.net

Engineer/Surveyor(s) preparing plans & legal desc.

Name: Matthew Cragun
Company: Cumulus Design
Address: 2080 North Highway 360 Suite 240
City, State: Grand Prairie, Texas
Phone: (214) 235-0367 Fax: _____
E-mail: matt@cumulusdesign.net

Owner(s), if different from applicant

Name: Dan Carr
Company: CBC Parkville 4, LLC
Address: 4706 Broadway, Suite 240
City, State: Kansas City, MO 64112
Phone: (818) 285-9553 Fax: (816) 285-2859
E-mail: dcarr@usfpc.com

Contact Person, if different from applicant

Name: _____
Company: _____
Address: _____
City, State: _____
Phone: _____ Fax: _____
E-mail: _____

We, the undersigned, do hereby authorize the submittal of this application and associated documents and certify that all information contained therein is true and correct. We acknowledge that development in the City of Parkville is subject to the Municipal Code of the City of Parkville. We do hereby agree to abide by and comply with the above-mentioned codes, and further understand that any violations from the provisions of such or from the conditions as stated herein shall constitute cause for fines, punishments and revocation of approvals as applicable.

Applicant's Signature (Required) Carlos Iglesias

Digitally signed by Carlos Iglesias
DN: cn=Carlos Iglesias, ou=Cumulus Design, ou, email=carlos@cumulusdesign.net, c=US
Date: 2023.11.02 14:38:04 -0500

Date: 11/2/2023

Property Owner's Signature (Required) _____

Daniel Carr

Date: 1/4/2024

2. Property Information

Property address and general location: 6408 NW Melody Lane

Legal description (may be attached): APEX Plaza Replat, Lot #4

Description of proposed use(s): Financial center

Zoning district: B-4-P "Planned Business District"

Gross acreage of lot: 1.04

Open space acreage: 0.38

Proposed block and lot pattern: N/A

Lot coverage: 0.07

Density/Intensity: _____

Net acreage of lot: 1.04

Building types/scale: Single Story

3. Factors affecting the project

Are any public improvements required for this project? N/A

Explain (may be attached):

N/A

4. Public Realm

- **All public improvements must be designed to city standards and require approval, guarantees and permits prior to installation.**

Functions of proposed new roadways: N/A

Proposed surface material: N/A

Maximum grade: N/A

General design characteristics, open spaces, civic spaces and circulation network:

N/A

Are area streets and utilities sufficient to serve the property once developed? N/A

(Note: a traffic study may be required in order to adequately address this question)

Explain: N/A

Attach a stormwater management study showing facilities/improvements needed to handle stormwater adequately.

Attach a narrative addressing:

1. *How the plan represents an improvement over what could have been accomplished through strict application of otherwise applicable base zoning district standards, based on the goals of the Master Plan, and based upon generally accepted planning and design practice.*
2. *How the benefits from any flexibility in the standards proposed in the plan promote the general public health, safety and welfare of the community, in particular areas immediately near or within the proposed project, and not strictly to benefit the applicant or single project.*
3. *How the benefits from any flexibility in the standards proposed in the plan allow the project to better meet or exceed the intent statements of the base zoning district(s) and the standards proposed to be modified when applied to the specific project or site.*
4. *How the plan reflects generally accepted and sound planning and urban design principles with respect to applying the Master Plan and any specific plans to the area.*
5. *How the plan meets all of the review criteria for a zoning map amendment.*

5. Checklist of required submittals

- ☒ Completed application, including site plans with all required details and supporting data.
- ☒ Nonrefundable application fee of \$500.00.
- ☒ Five (5) copies 24" x 36" size, or larger sets, and one (1) electronic set (PDF format) of the site plan and elevations for staff and service providers to review.
- ☒ Authorization signature of the applicant and owner of record of the property.
- ☐ If subject to covenants and/or deed restrictions, signed approval of the association/entity enforcing such.

For City Use Only

Application accepted as complete by: _____

Name/Title

Date

Application Fee (25.0000): \$ _____

By: ☐ Check # _____ ☐ MO# _____

Date Paid: _____

☐ Credit Card _____ ☐ Cash _____

Payment by: _____

Received by: _____

Final reimbursable costs paid (if applicable). Date of Action: _____

Planning Commission Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

Board of Aldermen Action: ☐ Approved ☐ Approved with Conditions ☐ Denied Date of Action: _____

Conditions if any: _____

6. Preliminary Development Plan checklist for staff review

1. Basic Information

- a. Name of the development
- b. Name, address, contact information of person or firm that prepared the plan
- c. Date plan was prepared, including any revision dates
- d. Graphic, engineering scale
- e. North arrow
- f. Vicinity map identifying boundaries and location of property in relation to City

2. Development Summary Table | *Provided on site plan in chart format*

- a. Existing zoning and proposed zoning if applicable
- b. Total land area in square feet and acres
- c. Proposed use or uses of each building and/or structure
- d. Height above grade of buildings and structures and number of stories of each building and/or structure
- e. Gross floor area per floor and total for each building/structure
- f. Residential buildings shall also include residential building type and total number of dwelling units. Residential development shall identify gross and net density
- g. Building coverage and floor area ratio
- h. Ratio of required number of parking spaces for each use and amount of proposed parking spaces

3. Plan Drawing

- a. Property lines and lot dimensions
- b. Proposed building footprint with lines
- c. Building(s) with dimensions and distance to property lines
- d. Cross-sections of the site detailing the height of buildings/structures, distances, and relationship to existing topography, and if applicable, proposed topography
- e. Existing and proposed rights-of-way improvements (curb/gutter/sidewalk/driveways, etc.) and easements
- f. All radii, acres, points of tangency, central angles and lengths of curves
- g. Existing and proposed topography, with major contour lines at intervals of 10 feet, and minor contour lines at an interval of 2 feet
- h. Indication of FEMA Special Flood Hazard Areas (SFHA) if applicable
- i. Location and identification of any proposed and any existing site features to be retained, including detention areas, retaining walls, existing mature trees, and other pertinent site features
- j. Identification of proposed or existing use or uses within each building, building entrances and exits, docks or other service entrances, utility entrances and screening to them, trash enclosures if applicable, outdoor storage and sales areas, and other paved areas.
- k. Architectural renderings of the completed project be provided, including elevations of each side of each structure and delineation of building materials.

4. Parking and Circulation

- a. Location and dimensions of the widths of existing or proposed private vehicular access into the property from perimeter streets and location of existing or approved accesses on properties adjacent or opposite the property
- b. Location of proposed or existing parking spaces, aisles, and drives with setback dimensions from proposed streets right-of-way and adjacent property lines; typical width and length of parking spaces; number of parking spaces per row; and width of parking and drive aisles
- c. Illustration of AutoTURN vehicular movements for emergency vehicle access to development, specifically a Pierce Velocity fire truck (duel axle type w/ 110 ft. ladder; vehicle specifications are 43.3 ft. length X 8 ft. width)
- d. Location of proposed trash enclosures if applicable
- e. Identification of all public and private existing and proposed sidewalks, trails, bicycle facilities, and/or open space areas (Tracts A, B, C, etc.)
- f. Indication of compliance with access and parking standards per City Code ([Chapter 408](#))

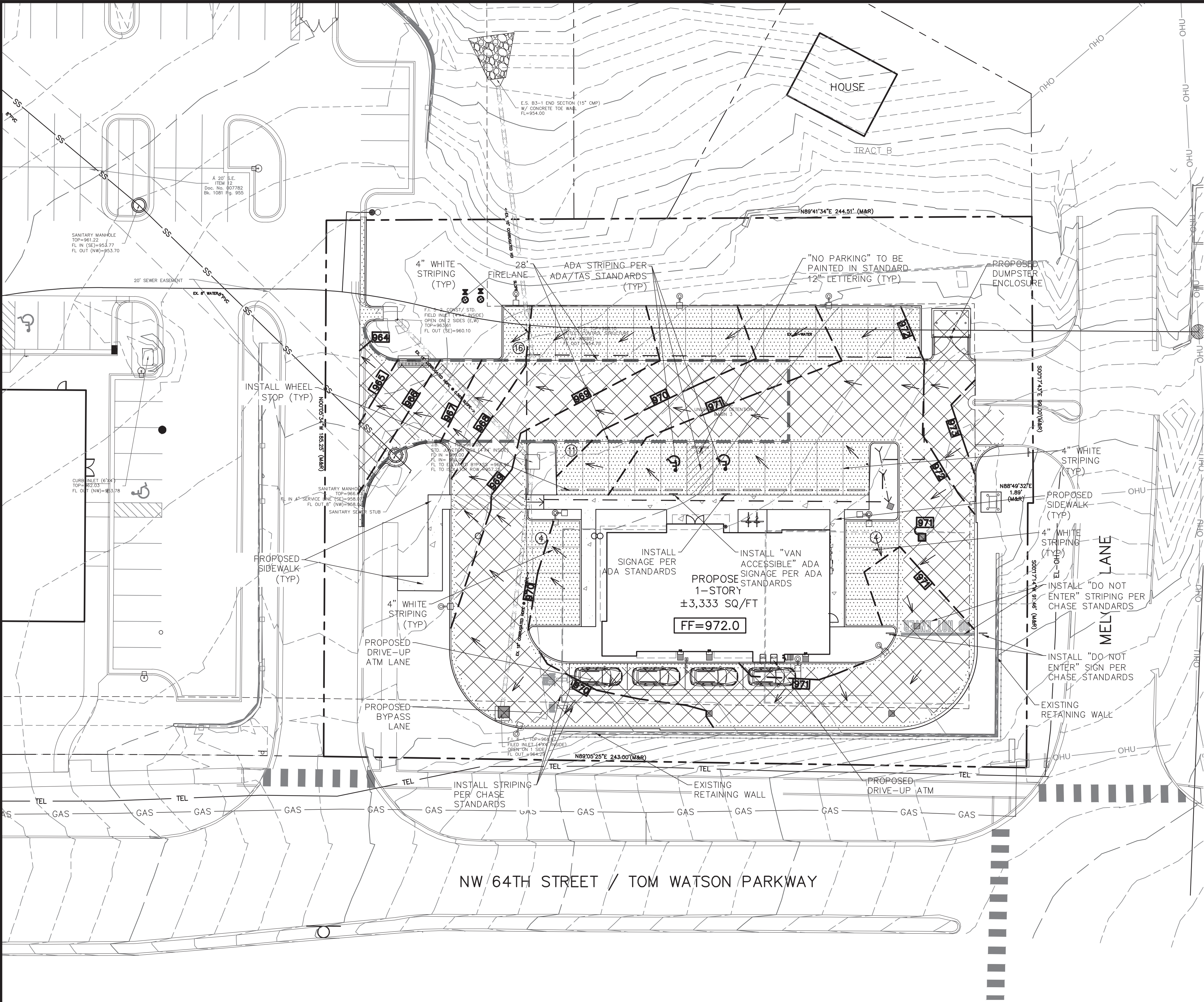
5. Landscaping and Screening

- a. A plan for landscaping design and screening in conformance with City Code ([Section 407.020](#) and [407.030](#))
- b. A lighting plan in conformance with City Code ([Section 407.040](#))
- c. A stormwater management plan in conformance with City Code ([Section 407.050](#))
- d. A landscape schedule showing compliance with City Code ([Chapter 407](#))

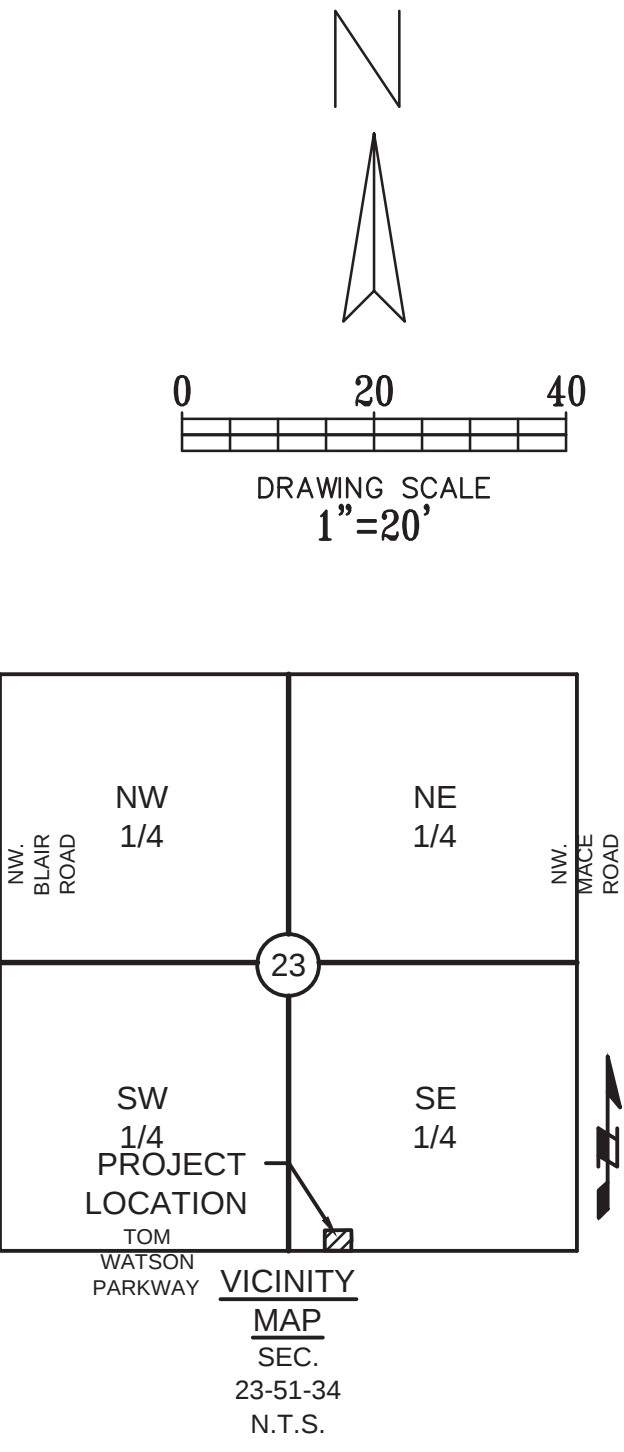
6. Other Requirements

- a. All survey monuments and benchmarks, together with their description
- b. Show windows and entrances
- c. Label all materials
- d. Show canopies and awnings if proposed
- e. Information regarding signage if proposed, in compliance with City Code ([Chapter 409](#))

Note: Submissions of preliminary development plans to the Planning and Zoning Commission that do not conform to the above checklist may, at the discretion of the Planning and Zoning Commission, be subject to delay until unfulfilled items are complied with.



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - 4" 4000 PSI REINFORCED CONCRETE PAVEMENT ON 4" CRUSHED STONE (REFERENCE GEOTECHNICAL REPORT)
 - 5" 4000 PSI REINFORCED CONCRETE PAVEMENT ON 4" CRUSHED STONE (REFERENCE GEOTECHNICAL REPORT)
 - 6" 4000 PSI REINFORCED CONCRETE PAVEMENT ON 4" CRUSHED STONE (REFERENCE GEOTECHNICAL REPORT)
 - ⑥ — PARKING COUNT
 - 671 — — EXISTING CONTOUR
 - [671] — PROPOSED CONTOUR
 - ➔ — DIRECTIONAL FLOW ARROW
 - PROPOSED VALLEY
 - R — PROPOSED RIDGE

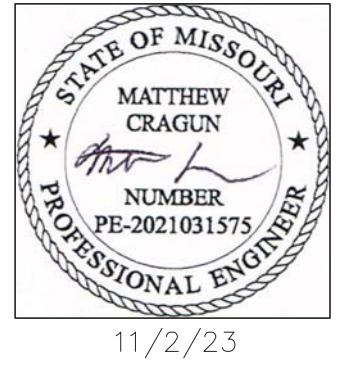


DEVELOPMENT CHECKLIST	
EXISTING ZONING: B-4-P PLANNED BUSINESS DISTRICT (NO PROPOSED CHANGES)	
LEASE ACREAGE:	1.05 ACRES (45,837 SQ FT)
LAND USE:	FINANCIAL INSTITUTION
PROPOSED BUILDING HEIGHT:	APPROXIMATELY 25 FEET
BUILDING FOOT PRINT (TOTAL):	3,333 SQUARE FEET
SITE COVERAGE:	3,333/45,837 : 7.3%
PARKING REQUIRED (5 PER 1000 SQ./FT. OF PROPOSED BUILDING):	17 SPACES
PARKING PROVIDED:	35 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES

!!! CAUTION !!!
UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION, ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: MO ONE CALL. ☎ 1-800-DIG-RITE (344-7483) AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

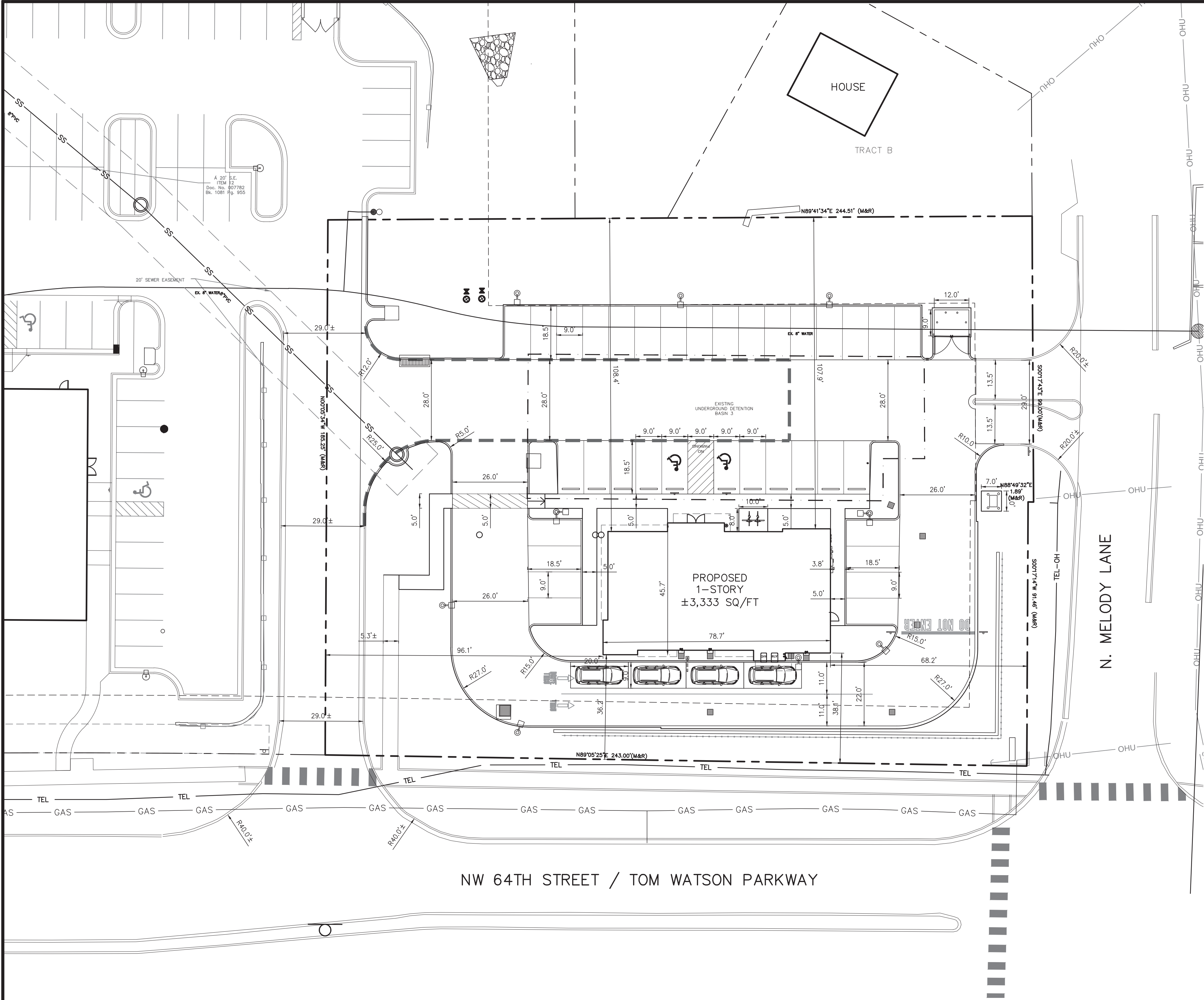


Cumulus Design
Firm # 801675898
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

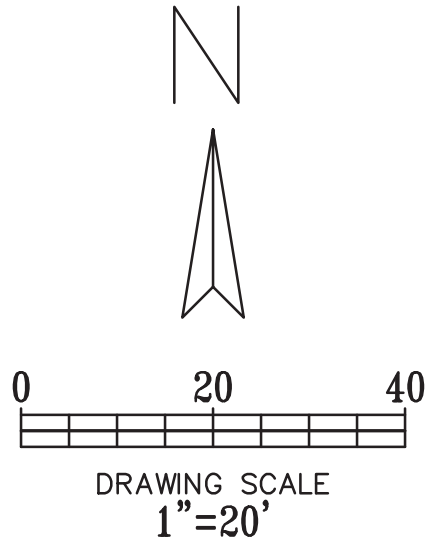


SITE PLAN
CHASE BANK – 6408 NW MELODY LN
PARKVILLE, MO 64152
PLATTE COUNTY

CHASE
PLOT DATE
11/02/23
DRAWING SCALE
1" = 20'
PROJECT NUMBER
CDC23019
SHEET NUMBER
C1.01



LEGEND
— EXISTING CURB
- PROPOSED CURB



Cumulus Design
Firm # 801675898
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



11/2/23

DIMENSION CONTROL PLAN
CHASE BANK – 6408 NW MELODY LN
PARKVILLE, MO 64152
PLATTE COUNTY



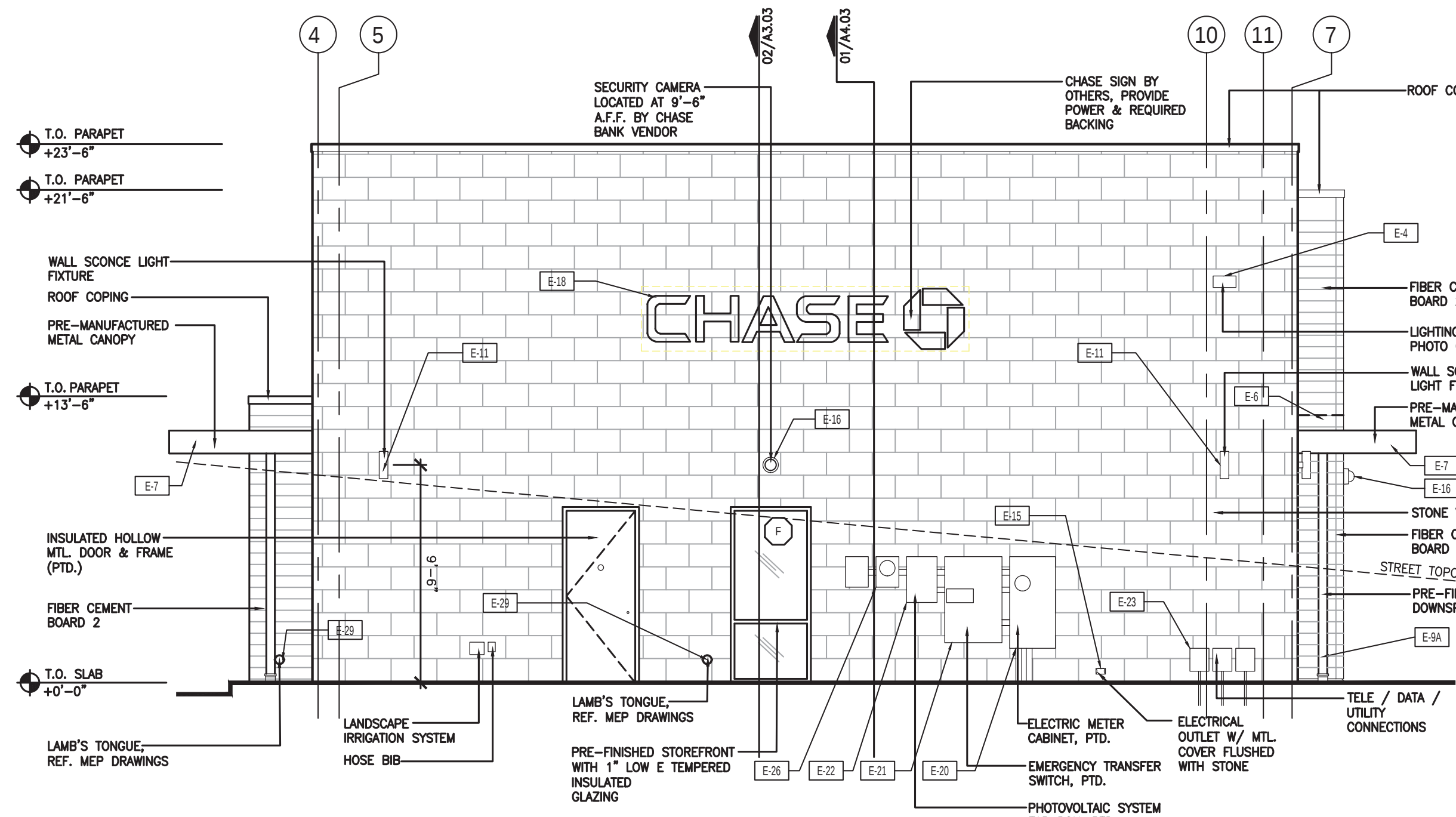
PLOT DATE
11/02/23
DRAWING SCALE
1" = 20'
PROJECT NUMBER
CDC23019
SHEET NUMBER
C4.01

!!! CAUTION !!!
UNDERGROUND UTILITIES

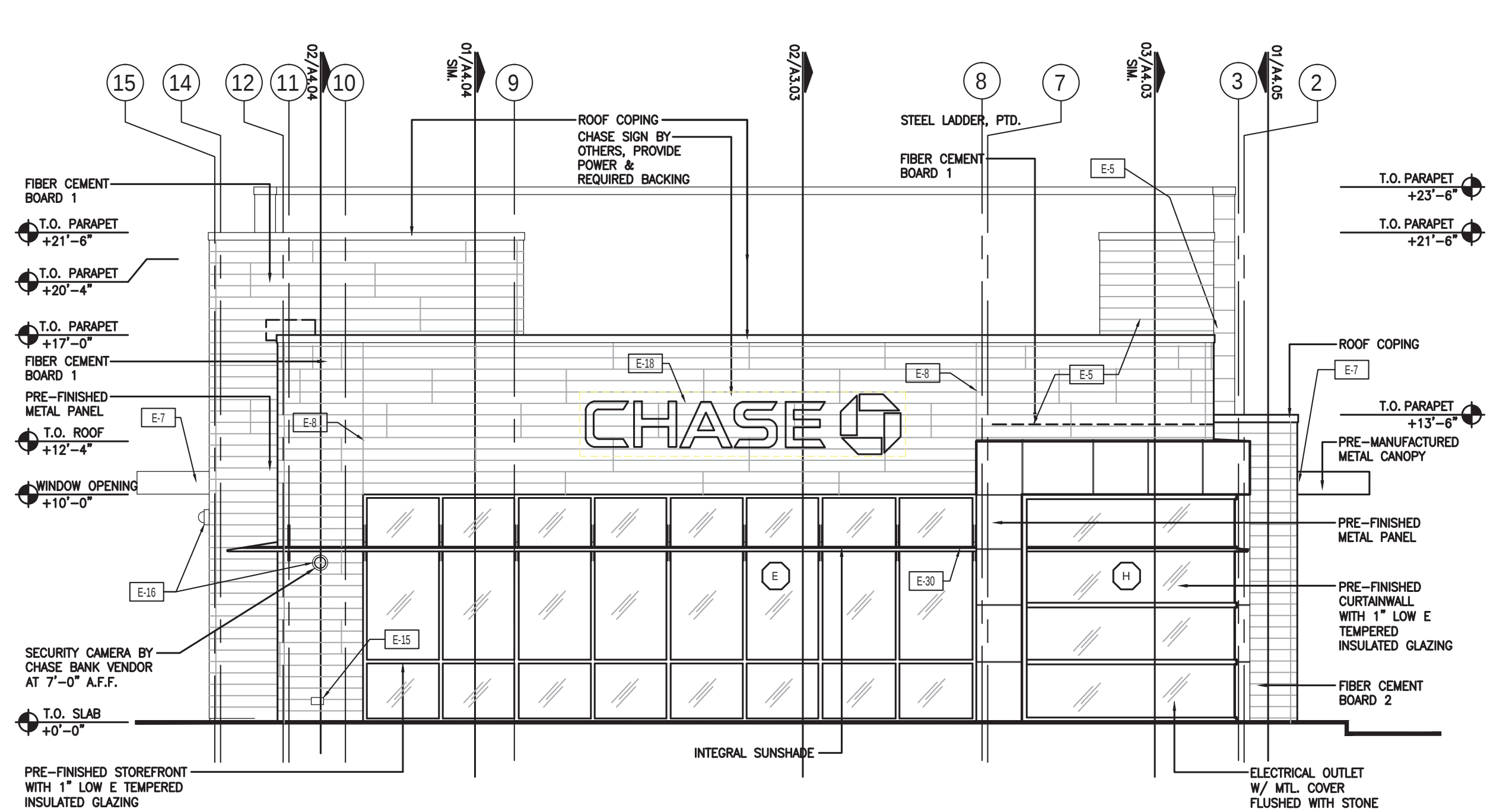
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: MO ONE CALL. ☎ 1-800-DIG-RITE (344-7483) AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

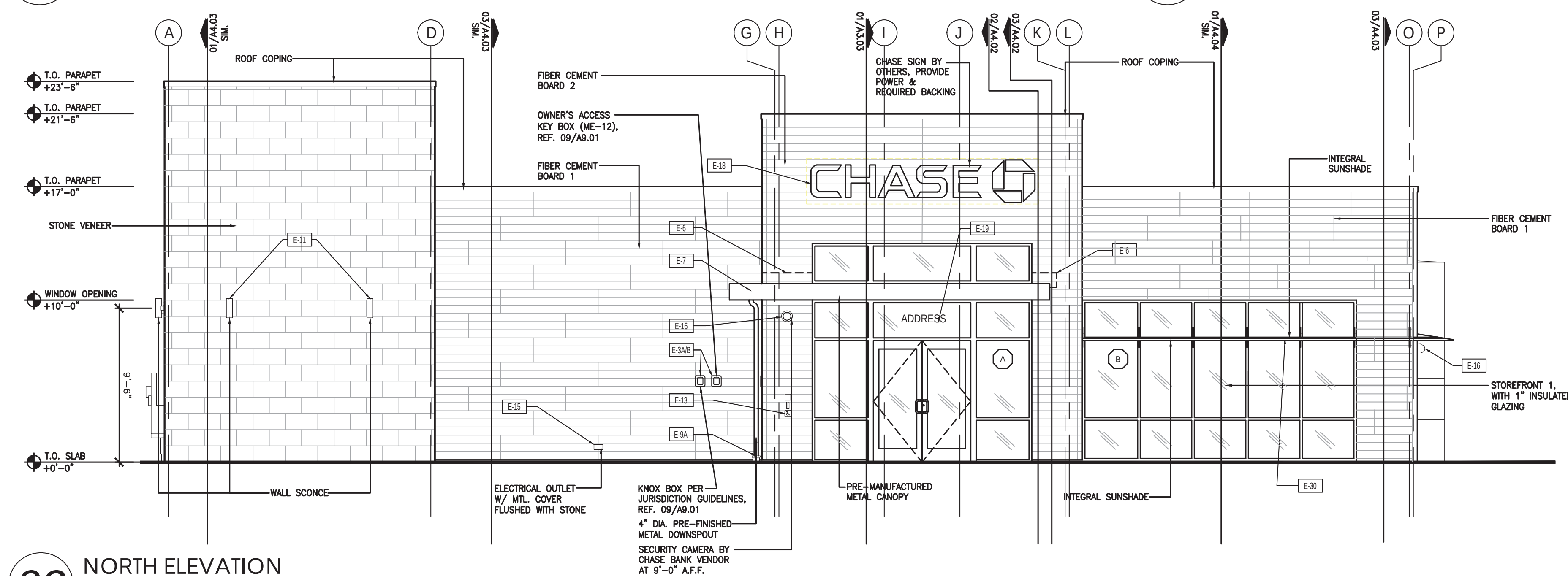




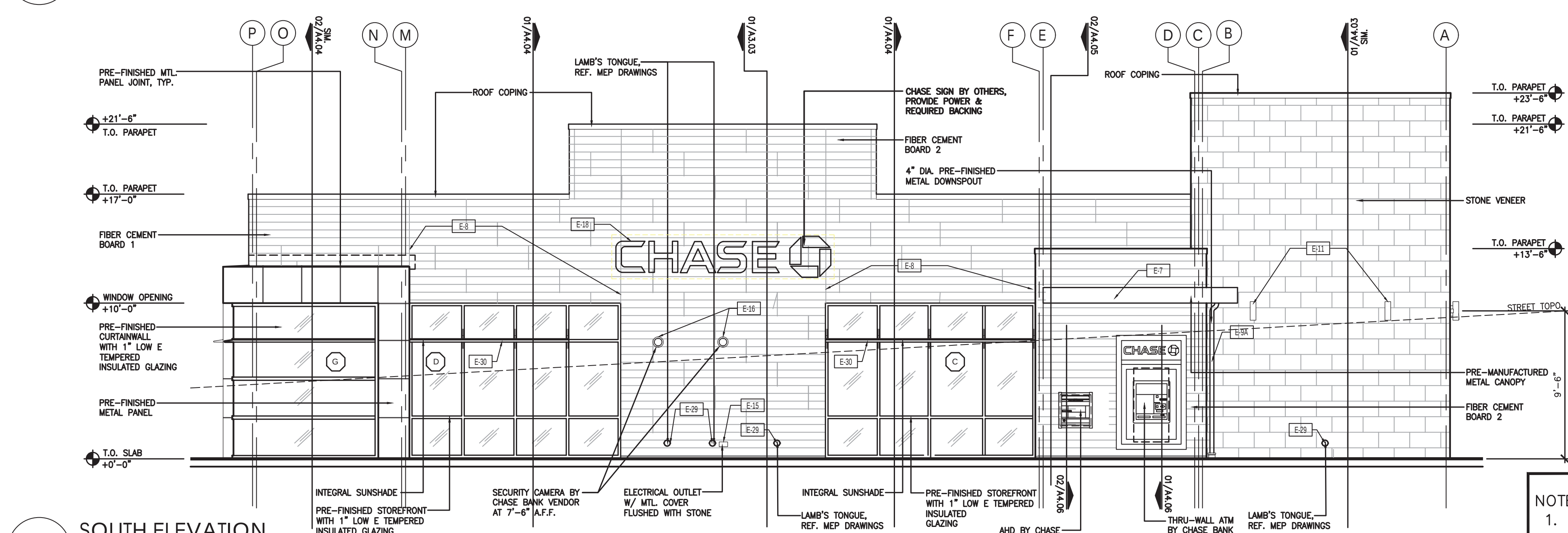
03 EAST ELEVATION
SCALE: 1/4"=1'-0"



04 WEST ELEVATION
SCALE: 1/4"=1'-0"



02 NORTH ELEVATION
SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL LEGEND	
METAL PANEL 1	MANUF. ALCOA ARCH PRODUCTS PRODUCT REYNOLDBOND COLOR DURAGLOSS 500 CHASE PROGRAM SILVER FINISH MATTE
FIBER CEMENT BOARD 1	MANUF. NICHIA PRODUCT VINTAGE WOOD AWP 1818 COLOR BARK SIZE 18" X 24" (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS ESSENTIAL FLASHING SYSTEM
FIBER CEMENT BOARD 2	MANUF. NICHIA PRODUCT VINTAGE WOOD AWP 3030 COLOR ASH SIZE 18" X 24" (NOMINAL) NOTES: PROVIDE FABRICATED 3.5" CORNERS AND MANUFACTURERS ESSENTIAL FLASHING SYSTEM
STONE VENEER	MANUF. CORONADO STONE PRODUCTS PRODUCT MANUFACTURED STONE VENEER COLOR CREAM FINISH CHISELED SIZE 24" WIDE X 12" HIGH X 3" THICK PATTERN RUNNING BOND NOTES: 1/4" NOMINAL JOINTS W/ FULL SMOOTH TOOLED NATURAL OFF WHITE PORTLAND CEMENT GROUT FIELD CUT TO MAX LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUF. FABRICATED RETURN CORNERS. MITERED CORNERS NOT ACCEPTABLE - CONTROL JOINTS AS RECOMMENDED BY MANUF.
ROOF COPING	MANUF. PAC-CLAD PRODUCT PAC-C CONTINUOUS COLOR BLACK
STOREFRONT 1	MANUF. KAWNEER COLOR ANODIZED BLACK
STOREFRONT 2	MANUF. KAWNEER COLOR CLEAR ANODIZED

NOTE:
1. GENERAL CONTRACTOR TO PROVIDE 4'-0" X 4'-0" MOCK-UP FOR ARCHITECT & DEVELOPER EXTERIOR FINISH APPROVAL.
2. INSTALL WALL MOUNTED SENSORS ON PARAPET SIDE OF PARAPET.

ELEVATION NOTES	
E-1	CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS.
E-2	CONCRETE CURB AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN
E-3A	EMERGENCY ACCESS KEY BOX: ONLY WHERE REQUIRED BY LOCAL CODE. VERIFY PRODUCT SPEC. REQD. W/ LOCAL AHD (ME-12 PREFERRED). RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH. VERIFY FINAL LOCATION WITH AHD
E-3B	OWNER'S ACCESS KEY BOX: REFER TO MISC. EQUIPMENT SCHEDULE HME-12. RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH
E-4	LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS
E-5	METAL FLASHING AND COUNTER FLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING TO MATCH ADJACENT ROOFING/COPING
E-6	FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING CONCEALED BEHIND WALL FINISH-REFER TO WALL SECTIONS AND DETAILS. COLOR TO MATCH EPT-4. VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS
E-7	ENTRANCE / ATM CANOPY: SHOP FABRICATED SITE-ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPARED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENED TO BUILDING STRUCTURE. MAPES ARCHITECTURAL CANOPIES SUPER LUMBERCK WITH FLAT SOFFIT AND 12" FASCIA, OR APPROVED EQUAL. REFER TO ROOF PLAN AND WALL SECTIONS. INSTALLED BY GC. MAPES CANOPIES CAN EITHER PRE-FAB THE UNITS AND SHIP READY-TO-INSTALL, OR SHIP AS KIT OF PARTS FOR GC TO ASSEMBLE ON-SITE. GC SELECTS OPTION WHEN THEY ORDER
E-8	CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH VENEER. MATCH SEALANT COLOR TO VENEER COLOR
E-9A	SMALL CANOPY DOWNSPOUT/OUTERLOW: 3" DIA. ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY. CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM. REFER TO SITE PLAN
E-9B	LARGE CANOPY DOWNSPOUT/OUTERLOW: ROUND ALUMINUM DOWNSPOUT, SIZED AS REQUIRED, WITH ATTACHMENT HARDWARE AS REQUIRED. PAINTED TO MATCH ADJACENT WALL/CANOPY FINISH. SPLASH TO CONCRETE DRIVE UP ISLAND
E-10	SCUPPER: REFER TO ROOF PLAN
E-11	SURFACE MOUNT DECORATIVE LIGHT FIXTURE: REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS
E-12	SURFACE MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT. REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE
E-13	AUTOMATIC DOOR OPERATOR BUTTON AND KEYCARD READER RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE MOUNT
E-14	HOSE BIB: SET FLUSH WITH FACE OF MASONRY VENEER. REFER TO PLUMBING FIXTURE SCHEDULE
E-15	ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER. PROVIDE METAL COVER COMPLAINT WITH N.E.C.
E-16	SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFER TO OWNER'S SECURITY CONSULTANT DRAWINGS
E-17	BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR. COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA
E-18	SIGNAGE: BY OWNERS SIGN VENDOR. N.I.C. PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION
E-19	BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM. MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE
E-20	ELECTRICAL SERVICE CT / METER CABINET: REFER TO ELECTRICAL DRAWINGS
E-21	EMERGENCY TRANSFER SWITCH: REFER TO ELECTRICAL DRAWINGS
E-22	PHOTOVOLTAIC SYSTEM FUSED DISCONNECT SWITCH: REFER TO ELECTRICAL DRAWINGS
E-23	TELE / DATA / UTILITY CONNECTIONS: REFER TO ELECTRICAL DRAWINGS
E-24	LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, AND DEDICATED WP POWER OUTLET. REFER TO SITE PLAN AND ELECTRICAL PLAN
E-25	NOT USED
E-26	FUTURE PHOTOVOLTAIC SYSTEM DISCONNECT SWITCH AND PERFORMANCE METER. REFER TO ELECTRICAL DRAWINGS
E-27	FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
E-28	FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQD. BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
E-29	ROOF OVERFLOW DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND DESIGN INTENT ARCHITECTURAL SITE PLAN
E-30	SUN SHADE: GLAZING SYSTEM MANUFACTURER'S STANDARD INTEGRAL SHADE ACCESSORY. REFER TO WALL SECTIONS. MATCH GLAZING SYSTEM FINISH. BASIS OF DESIGN IS KAWNEER VERSLOGL 30° WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES
E-31	BOLLARD: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN

CHASE

CHASE RETAIL BANKING CENTER
CHASE MELODY LANE
TON WATSON PARKWAY & NORTH MELODY LANE
PARKVILLE, MO 64152



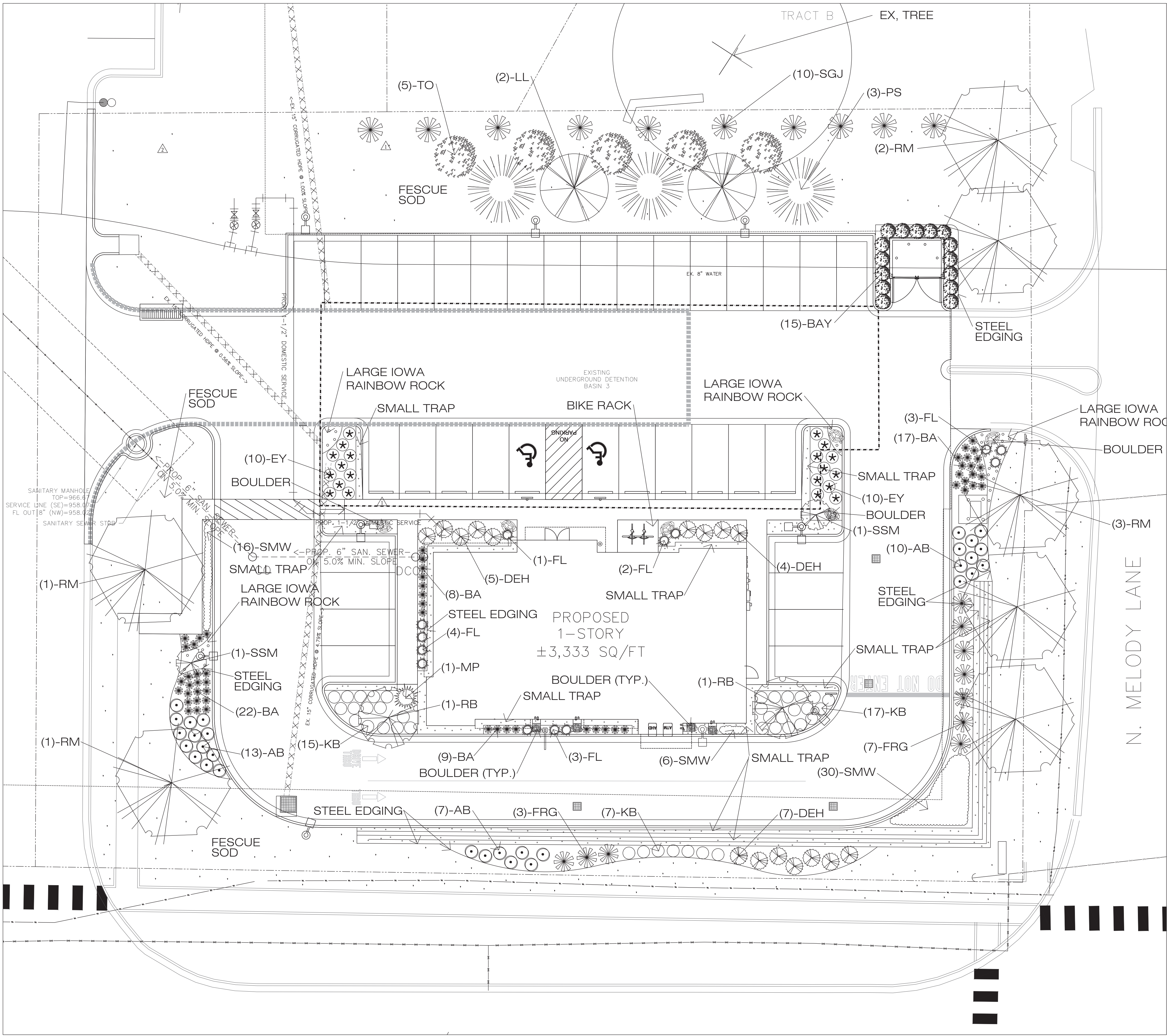
1445 ROSS AVE.
SUITE 5700
DALLAS, TEXAS 75202
214.997.6029
ROUGH ARCHITECTS, LLC COPYRIGHT © 2023



REVISIONS

DATE ISSUED: SEPTEMBER 15, 2023
JOB #: 2023025
SHEET NAME: EXTERIOR ELEVATIONS
SHEET :

A3.01



CITY OF PARKVILLE

Zoning: B-4-P Planned Business District
Site: 45,302 s.f. or 1.04 ac.

MINIMUM LANDSCAPE REQUIREMENTS:

LANDSCAPE AREA:

OPEN SPACE 12%
Required 5,436 s.f.
Provided 16,690 s.f.

STREET TREES

1 Large tree for every 40 feet of lot frontage, averaged
Tom Watson Parkway - 243 l.f.

Required 6 Trees
Provided 1 Trees

Melody Lane - 190 l.f.

Required 5 Trees
Provided 5 Trees

PARKING LOT PLANTING

1 Large tree for every 25 parking spaces, or 1 Small
or Ornamental tree for every 10 spaces @ 34 spaces

Required 3 Small trees
Provided 3 Small trees & 1 Large

1 Shrub for every 10 l.f. of perimeter landscape buffer,
and continuous shrub massing for an perimeter within
25 ft. of a street or internal access street.
Tom Watson Parkway - 243 l.f.

Required 24 Shrubs
Provided 24 Shrubs (Continuous)

Melody Lane - 190 l.f.

Required 19 Shrubs
Provided 44 Shrubs (Continuous)

FOUNDATION PLANTING

Continuous shrub massing along 75% of all non-paved
building frontages or any non-paved building facade
facing a publicly accessible area.

Any facade greater than 200 l.f. and not fronting on a
street or civic and open space shall have 1 large tree
per 50 l.f., 1 small or evergreen tree per 50 l.f. and 1
shrub per 10 l.f.

EXISTING TREES:

No existing trees on site

WATERING METHOD:

Underground sprinkler system with an automated timer

PLANT MATERIAL LIST

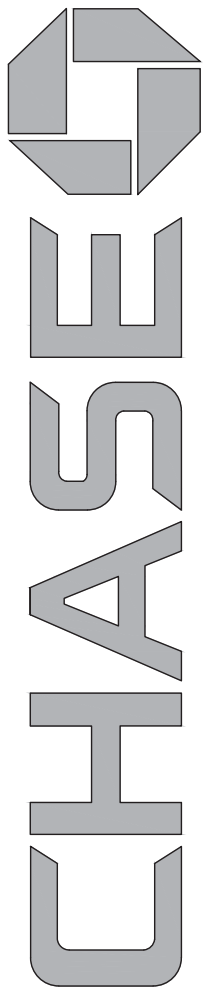
KEY	QUANTITY	TREES DESCRIPTION	SIZE
LL	2	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	3" CAL., MIN. 4' SPREAD, MIN. 10 FT. HT.
PS	3	PINUS STROBUS WHITE PINE	3" CAL., MIN. 4' SPREAD, MIN. 10 FT. HT.
RM	7	ACER TRUNCATUM 'PACIFIC SUNSET' PACIFIC SUNSET MAPLE	3" CAL., MIN. 4' SPREAD, MIN. 10 FT. HT.
KEY	QUANTITY	ORNAMENTAL TREES DESCRIPTION	SIZE
RB	2	CERCIS CANADENSIS 'OKLAHOMA' REDBUD	30 GAL., 8" HT., 3' SPREAD
TO	5	THUJA OCCIDENTALIS 'TECHY' TECHY ARBORVITAE	5 GAL., 24" HT.
KEY	QUANTITY	SHRUBS DESCRIPTION	SIZE
SGJ	10	JUNIPERUS 'SEA GREEN JUNIPER' SEA GREEN JUNIPER	5 GAL., MIN. 10" HT.
DEH	16	DISTYLIUM 'EMERALD HEIGHTS' EMERALD HEIGHTS DISTYLIUM	5 GAL., MIN. 20" HT.
SSM	2	SPIRAEA NIPPONICA 'SNOW MOUND' SNOWMOUND SPIREA	5 GAL., MIN. 20" HT.
AB	30	ABELIA 'KALEIDOSCOPE' ABELIA	5 GAL., MIN. 20" HT.,
EY	20	TAXUS X MEDIA 'EVERLOW' EVERLOW YEW	3 GAL., MIN. 12" HT.
KB	39	BUXUS SINICA VAR. INSULARIS 'WINTERGREEN' KOREAN BOXWOOD	5 GAL., MIN. 12" HT.
MP	1	PINUS MUGO 'JAKOBSEN' MUGO PINE	5 GAL., MIN. 15" HT.
BAY	15	MYRICA PENSYLVANICA NORTHERN BAYBERRY	10 GAL., MIN. 36" HT.
FL	13	DIANELLA TASMANICA 'VARIEGATA' FLAX LILY	3 GAL., MIN. 15" HT.
SMW	52	ASCLEPIAS INCARNATA SWAMP MILKWEED	1 GAL., MIN. 8" HT., 24" O.C.
KEY	QUANTITY	ORNAMENTAL GRASSES DESCRIPTION	SIZE
BA	56	BOUTELLOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	3 GAL., FULL PLANT 24" O.C.
FRG	10	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	3 GAL., FULL PLANT

01 LANDSCAPE PLAN
SCALE: 1" = 10'-0"



SHEET NOTES

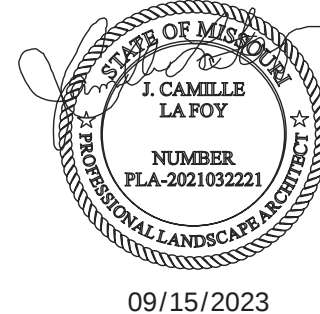
Remove all weeds and misc. debris on and around
the retaining wall and fencing.



CHASE RETAIL BANKING CENTER
CHASE MELODY LANE
TOM WATSON PARKWAY & NORTH MELODY LANE
PARKVILLE, MO 64152



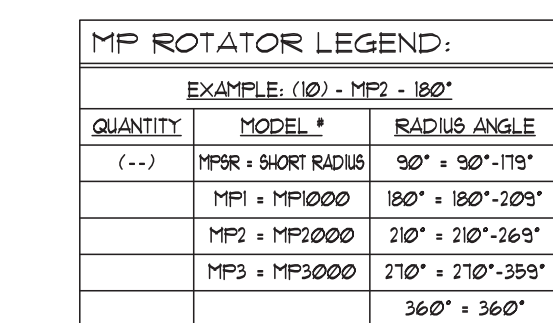
1445 ROSS AVE.
SUITE 5700
DALLAS, TEXAS 75202
214.997.6029
ROUGH ARCHITECTS, LLC COPYRIGHT © 2023



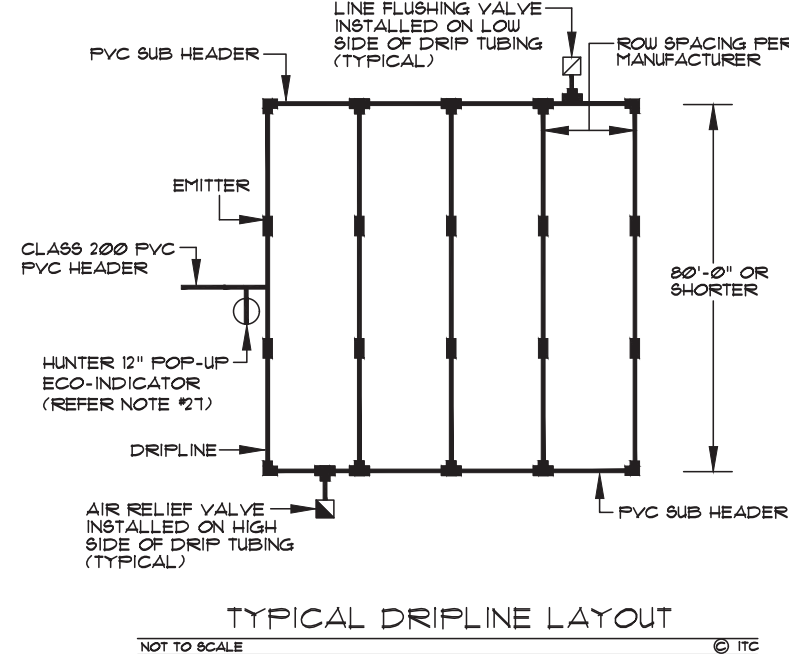
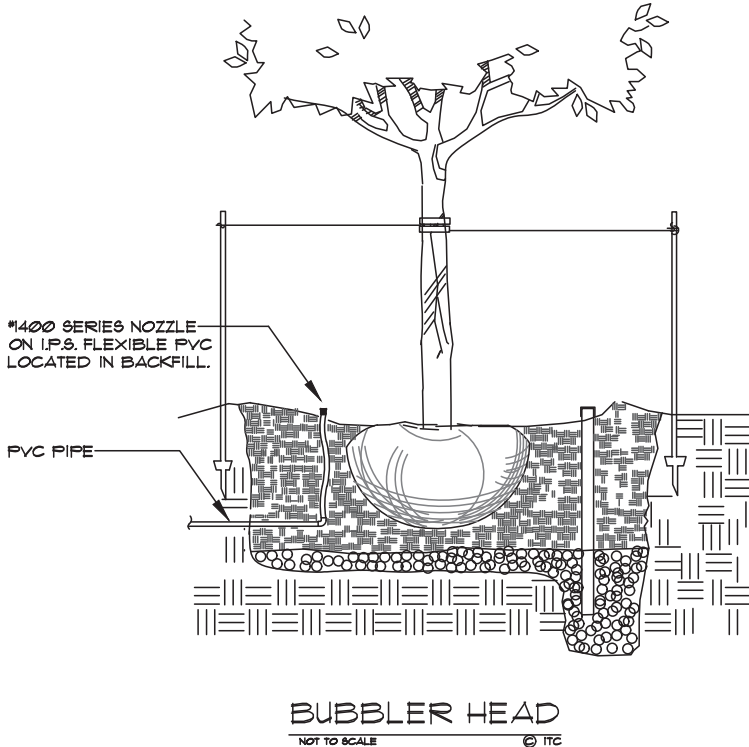
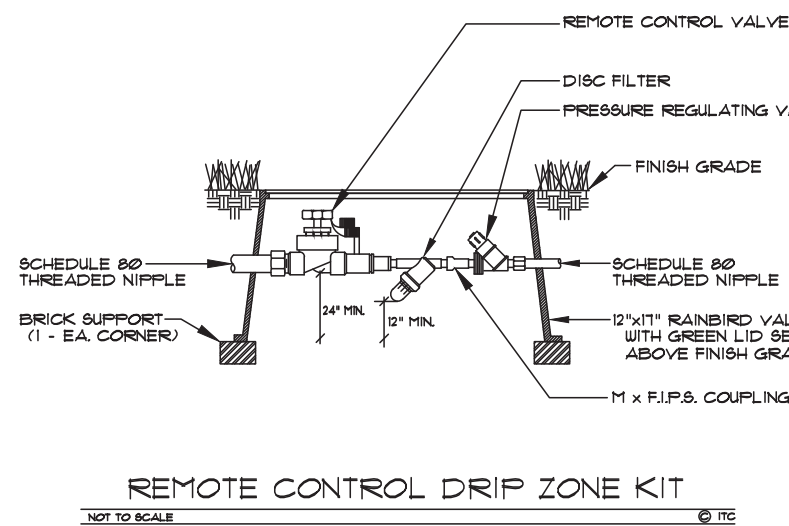
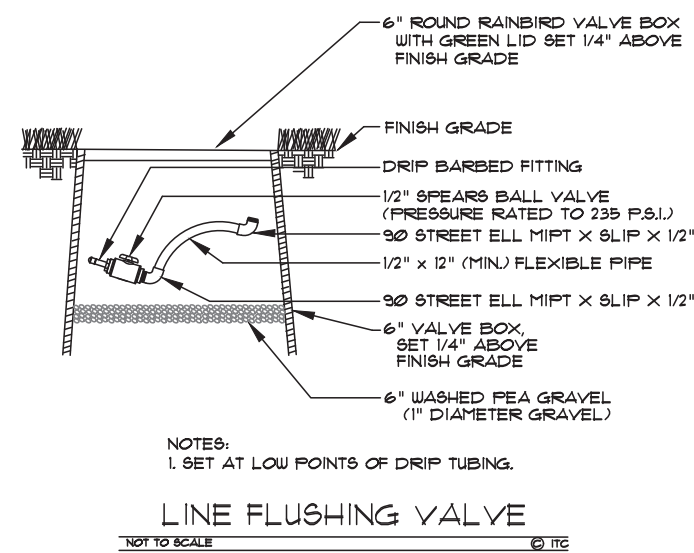
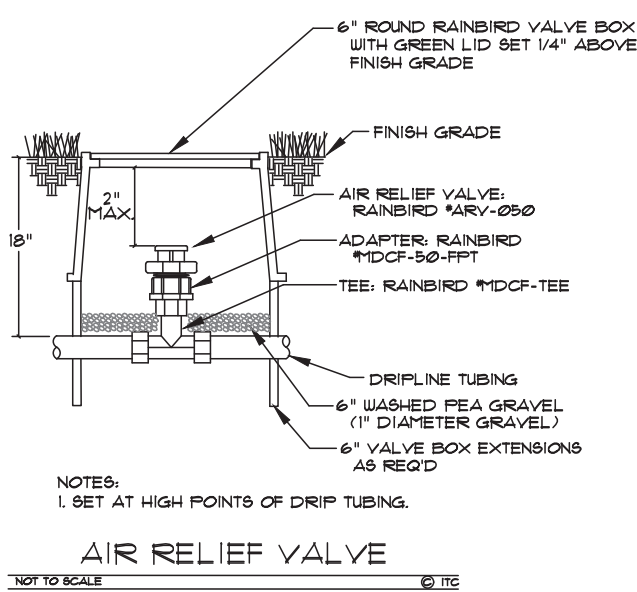
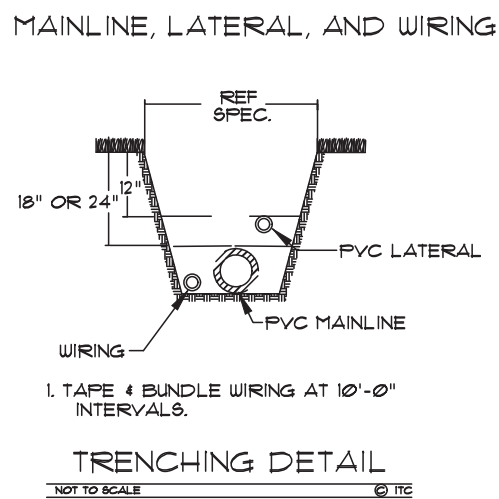
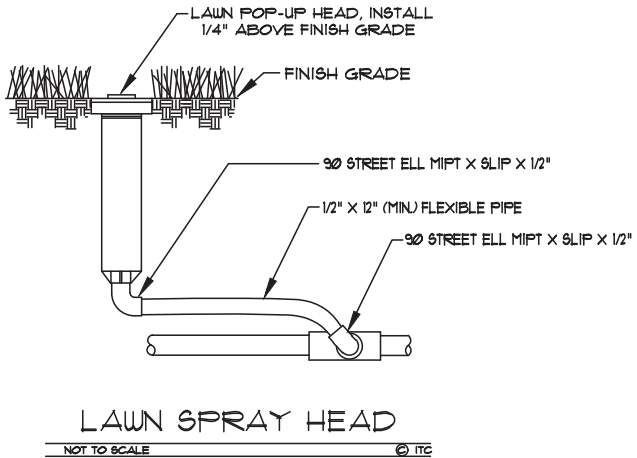
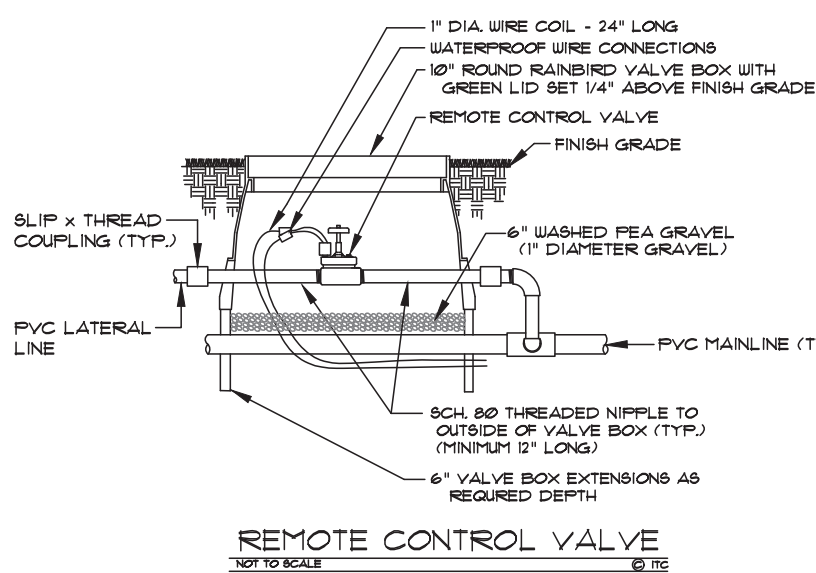
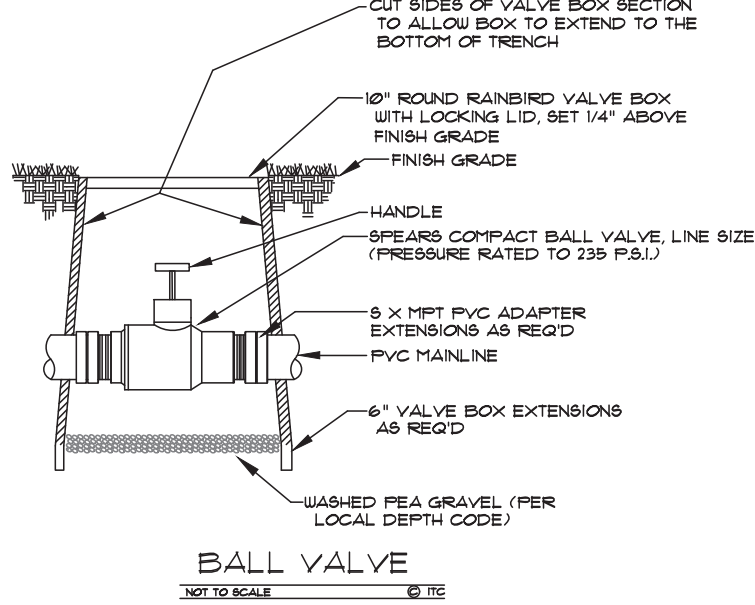
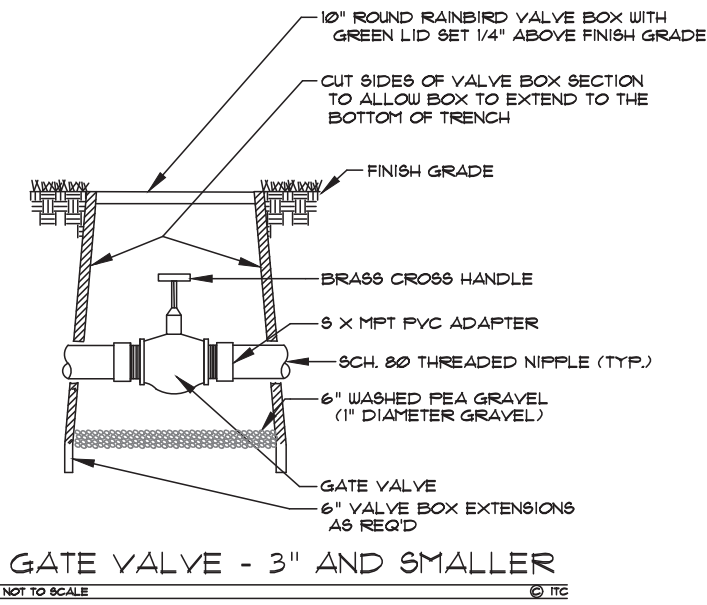
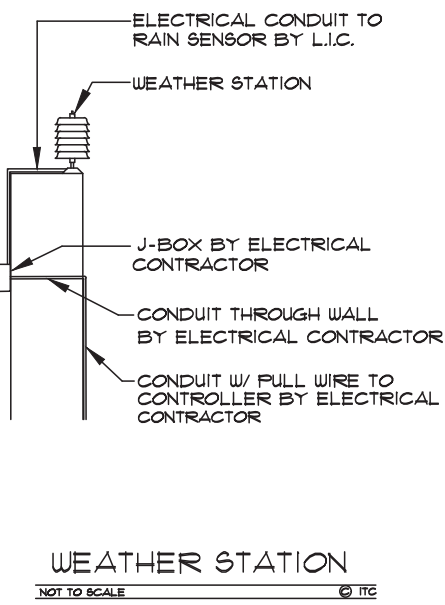
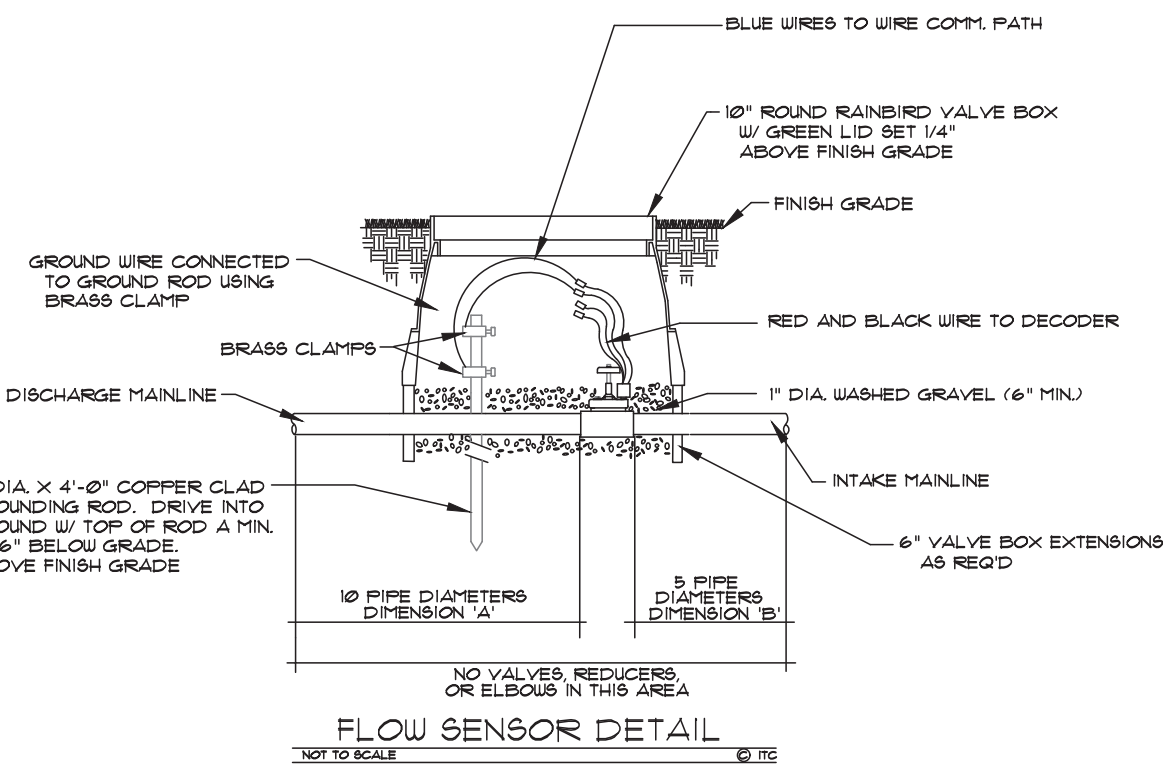
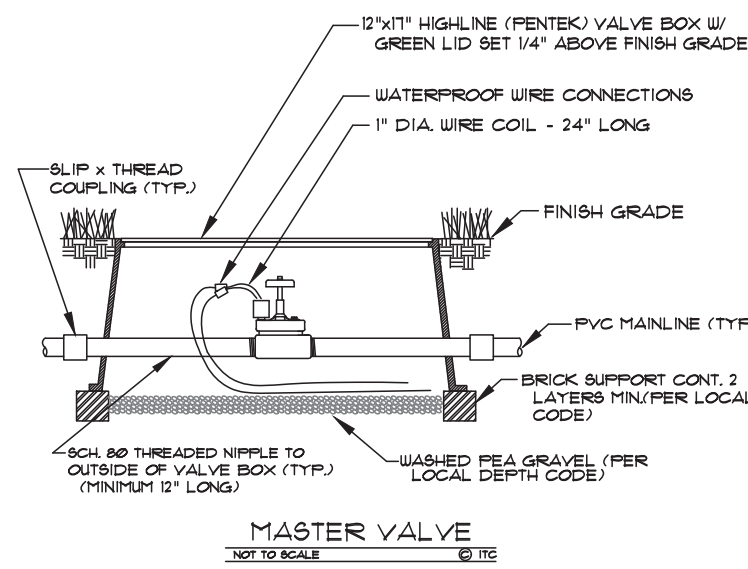
REVISIONS

DATE ISSUED: SEPTEMBER 15, 2023
JOB #: 2023025
SHEET NAME: LANDSCAPE PLAN
SHEET :

L1.01



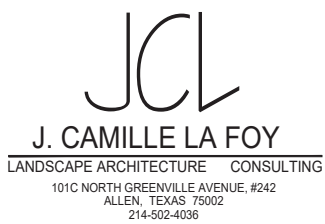
1. ALL 24 VOLT LEAD AND COMMON WIRE WIRING SHALL BE A MINIMUM OF UF-14 GA SINGLE CONDUCTOR REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE KING ONE-STEP #1 (TAN) OR 3M-DBY PERMANENT AND WATERPROOF PER THE SPECIFICATIONS.
2. COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PIPING MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
3. LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. USE WELD-ON #125 SOLVENT AND #1-60 PRIMER FOR PVC CONNECTIONS PER THE SPECIFICATIONS.
4. PIPING AND VALVES IN PAVING SHOWN FOR CLARITY. INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
5. THIS PROJECT WILL NOT ALLOW ANY PVC PUSH FITTINGS, SOLVENT LESS PVC FITTINGS, FLEXIBLE PVC COUPLINGS, ETC.
6. CONNECT LAWN SPRAY TEES TO LATERAL PIPING WITH 1/2" FLEXIBLE PVC AND 1/2" SCHEDULE 80 PVC FITTINGS AS REQUIRED. PER DETAIL SHOWN. USE WELD-ON #125 SOLVENT AND #1-60 PRIMER ON THESE CONNECTIONS PER THE SPECIFICATIONS.
7. INSTALL QUICK COUPLING VALVES IN TWELVE BY SEVENTEEN (12"x17") INCH RAINBIRD VALVE BOX PER DETAIL SHOWN. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH LASCO "UNITIZED" O-RING BUNG JOINTS PER DETAIL SHOWN. SUPPLY OWNER WITH THREE (3) COILER KEYS WITH GUNWEL HOSE BIBB EACH 153DK-10 AND 9H-40 PERFECTLY. VALVES TO BE INSTALLED SO THAT TOP OF QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX TOP. FURFLE LID READS "NOT-POTABLE, NOT SAFE FOR DRINKING" IN ENGLISH AND SPANISH.
8. INSTALL REMOTE CONTROL VALVES IN TEN (10") INCH ROUND RAINBIRD VALVE BOXES PER DETAIL SHOWN.
9. INSTALL REMOTE CONTROL DRIP VALVES IN TWELVE BY SEVENTEEN (12"x17") INCH RAINBIRD VALVE BOXES PER DETAIL SHOWN.
10. INSTALL ALL WIRE SPLICES IN TEN (10") INCH ROUND RAINBIRD VALVE BOXES.
11. PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. PROVIDE POWER TO CONTROLLER PER NOTE ON PLAN.
12. SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY OTHER TRADES.
13. ROUTE COMMON WIRE FROM CONTROLLER TO REMOTE SENSORS IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
14. CONTRACTOR TO INSTALL AND ADJUST VAN SERIES NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 30° DEGREE RADIUS SPRAY.
15. TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN 65.0 PSI, DO NOT START WORK UNTIL NOTIFIED TO PROCEED BY OWNER DESIGN PRESSURE IS 59.0 PSI.
16. MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE 18".
17. MINIMUM HORIZONTAL DISTANCE OF 36" TO BE MAINTAINED BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
18. WHERE SERVICE TEES ARE INSTALLED IN THE MAINLINE FOR INSTALLATION OF THE ELECTRIC VALVES AND/OR QUICK COUPLING VALVES CONTRACTOR TO LIMIT THE NUMBER OF THESE SERVICE TEES. DO NOT INSTALL MORE THAN A TOTAL OF EITHER THREE ELECTRIC VALVES OR A COMBINATION OF TWO ELECTRIC VALVES AND ONE QUICK COUPLER VALVE AT EACH TEE. THE MINIMUM DISTANCE BETWEEN FITTINGS TO BE 18" INCHES AS REFERENCED IN NOTE #6 AND #7.
19. LANDSCAPE IRRIGATION CONTRACTOR (L.I.C.) TO STAKE TREE BUBBLER HEAD OR DRIP RING LOCATIONS AND RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
20. LANDSCAPE IRRIGATION CONTRACTOR (L.I.C.) TO STAKE DRIFLINE AND RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
21. LANDSCAPE IRRIGATION CONTRACTOR (L.I.C.) TO USE XF DRIFLINE INSERT BARBED FITTINGS PER MANUFACTURER'S RECOMMENDATIONS.
22. ALL PLANTING BED DRIFLINE AND DISTRIBUTION TUBING TO BE INSTALLED AT FINISH GRADE AND BELOW MULCH LAYER. ALL DRIFLINE TO BE INSTALLED ON 1'-0" ROW SPACING UNLESS INSTRUCTED OTHERWISE. L.I.C. IS RESPONSIBLE TO VERIFY THE EXACT EMITTER FLOW, EMITTER SPACING, AND ROW SPACING WITH MANUFACTURER PRIOR TO INSTALLING TO PROVIDE PROPER PRECIPITATION RATE BASED ON PLANT MATERIAL AND SOIL TYPE. TUBING TO BE STAKED WITH RAINBIRD TOP-650 15GA WITH 500 GALVANIZED THE DOWN STAKES. INSTALL STAKES AT 3'-0" ON CENTER ALONG LENGTH OF TUBING AND A MINIMUM OF 24" FROM ANY FITTINGS. CONTRACTOR TO PROVIDE AND INSTALL PVC HEADERS BELOW GRADE PER DETAILS.
23. AIR RELIEF VALVE TO BE RAINBIRD ARV-050 INSTALLED IN A SIX-INCH (6") ROUND RAINBIRD VALVE BOX WITH GREEN LID AND GRAVEL SUMP.
24. FLUSH VALVES TO BE 1/2" SPEARS BALL VALVE ON 1/2" FLEXIBLE PIPE AND 1/2" SCHEDULE 80 FITTINGS INSTALLED IN A SIX-INCH (6") ROUND RAINBIRD VALVE BOX WITH GREEN LID AND GRAVEL SUMP.
25. LANDSCAPE IRRIGATION CONTRACTOR (L.I.C.) TO INCLUDE THE FOLLOWING ALLOWANCES FOR PROVIDING AND INSTALLING AIR RELIEF VALVES AND FLUSH VALVES FOR THE DRIP SYSTEM. EXACT QUANTITY AND LOCATION OF THESE DEVICES WILL BE DETERMINED AT THE TIME OF INSTALLATION. IN GENERAL, ALL AIR RELIEF VALVES WILL BE INSTALLED AT THE HIGH POINTS AND FLUSH VALVES WILL BE INSTALLED AT THE LOW POINTS. ALLOW FOR APPROXIMATELY (2) TWO AIR RELIEF VALVES AND APPROXIMATELY (2) TWO FLUSH VALVES PER DRIP ZONE FOR THIS PROJECT.
26. LANDSCAPE IRRIGATION CONTRACTOR (L.I.C.) TO PROVIDE ONE 12" POP-UP HUNTER ECO-INDICATOR (DRIP LINE OPERATION INDICATOR) FOR EACH DRIP ZONE TO VERIFY ZONE IS OPERATING.
27. WALL MOUNT THE CONTROLLER AND CELLULAR AIRCARD AT THE APPROXIMATE LOCATION SHOWN ON EXTERIOR OF BUILDING AND ACCORDING TO CHASE BANK STANDARDS. COORDINATE ELECTRICAL POWER WITH THE OWNER'S REPRESENTATIVE. CARE SHOULD BE TAKEN TO VIEW THE IRRIGATION CONTROLLER IN A LOCATION THAT IS ACCESSIBLE FOR MAINTENANCE AND SCREENED FROM THE REST OF THE BEHIND ENTRY WALLS, NEXT TO BUILDINGS, OR BEHIND PLANT MATERIAL. FINAL LOCATION TO BE APPROVED BY OWNER'S REPRESENTATIVE.



THE WEATHERMATIC IRRIGATION CONTROLLER MEETS CHASE REQUIREMENTS AND WILL PROVIDE UNIQUE CONNECTION TO THE BANK BUILDING MONITORING SYSTEM, LONG-TERM COMMUNICATIONS, AND MANAGED SERVICES. CONTACT THE DISTRIBUTOR FOR AL IRRIGATION EQUIPMENT ORDERING.

REQUIRED: AFTER INSTALLATION AND ONLINE SET UP OF THE SMARTLINK CONTROL SYSTEM USING THE PRODUCT INSTRUCTIONS INCLUDED, CONTACT WEATHERMATIC TO PROVIDE THE SITE NAME AND CONTROLLER NAME IN SMARTLINK FOR FINAL ACTIVATION.

EMAIL: JPMCsupport@weathermatic.com

[illegible]

DATE ISSUED:	SEPTEMBER 15, 2023
JOB #:	2023025
SHEET NAME:	LANDSCAPE IRRIGATION PLAN
SHEET :	

LI1.03

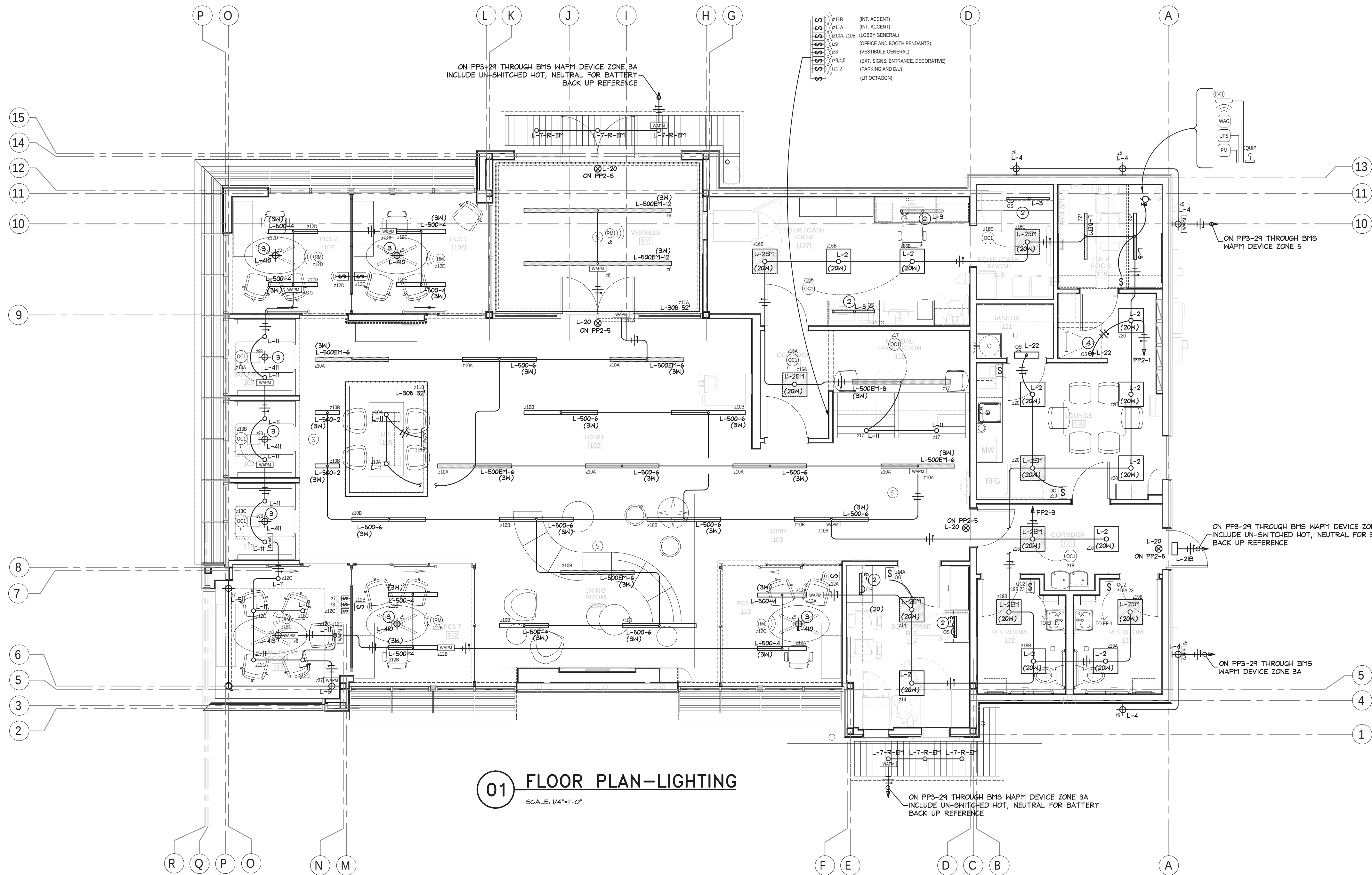
1445 ROSS AVE.
SUITE 5700
DALLAS, TEXAS 75202
214.997.6029
ROUGH ARCHITECTS, LLC COPYRIGHT ©2023

REVISIONS

DATE ISSUED: SEPTEMBER 15, 2023
JOB #: 2023025
SHEET NAME: LIGHTING PLAN

SHEET :

E2.01

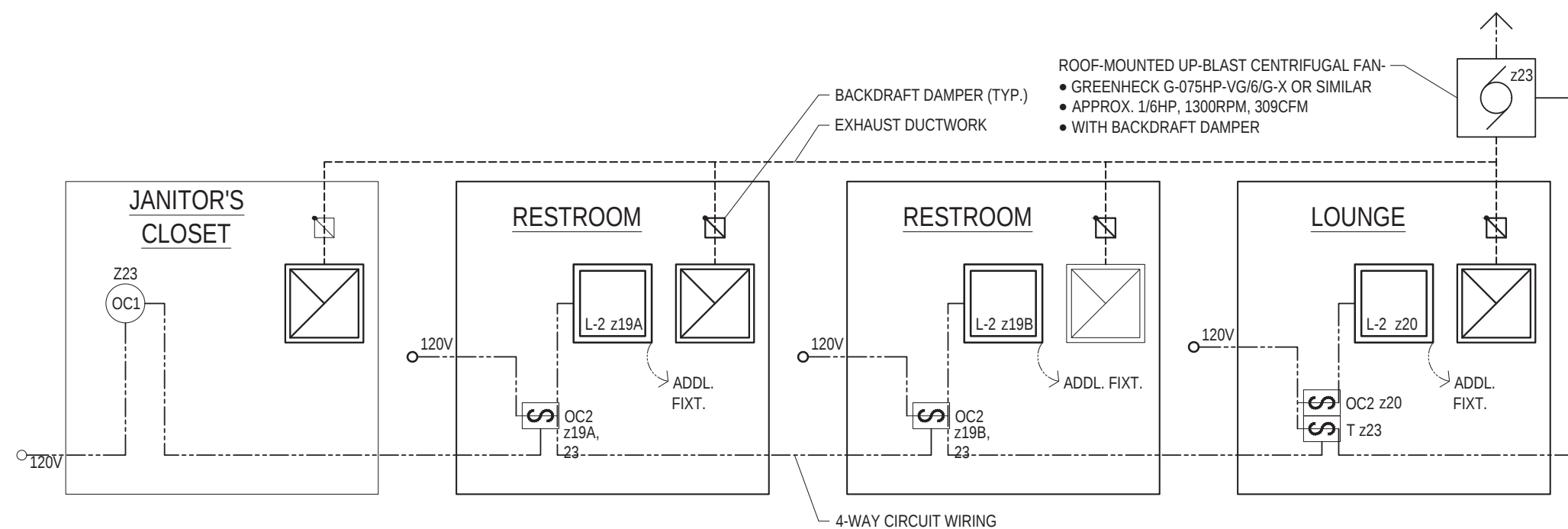


01 FLOOR PLAN-LIGHTING

SCALE: 1/4"=1'-0"

NOTES BY SYMBOL: (S)

- PROPOSED LOCATION FOR LOBBY LIGHTING SWITCH BANK. VERIFY DESIRED LOCATION WITH ARCHITECTURAL ELEVATIONS PRIOR TO INSTALLATION.
- CONNECT HOT NEUTRAL GROUND FROM NEAREST 120 VOLT RECEPTACLE CIRCUIT. CONDUIT AND WIRE SHALL BE CONCEALED WITHIN WALL.
- DECORATIVE PENDANT ON DAINTREE ZONE 9. CONNECT TO CIRCUIT PP2-2 THROUGH DAINTREE BMS "WAPM" DEVICE.
- 2' STRIP LIGHT "L-22" WITH MOTION SENSOR, PROVIDE SECURITY CAGE # INSTALLED VERTICALLY.

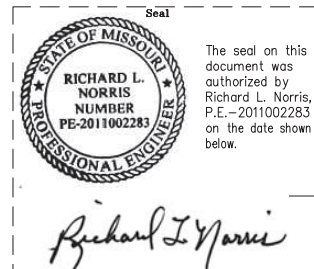


02 EXHAUST FAN WIRING DETAIL

SCALE: NONE

NOTE:

THE CONTRACTOR SHALL COORDINATE AND VERIFY THE PRECISE LOCATION AND MOUNTING HEIGHT OF ALL RECEPTACLES, DATA DROPS, SWITCHES AND OTHER ELECTRICAL DEVICES WITH ARCHITECT PRIOR TO ROUGH IN.

September 15, 2023
Project # 2160R Squared Consulting
Engineers, Inc.Firm Registration: F-15033
Professional Engineer
Richard L. Yanni
P.E. #201002180234
See the state seal for the date sheetMEP DRAWINGS ARE DIAGRAMMATIC
AND SHALL NOT BE USED FOR SCALING

REVISIONS

ASB #1 01.04.2024

DATE ISSUED: SEPTEMBER 15, 2023

JOB #: 2023025

SHEET NAME: PHOTOMETRIC PLAN

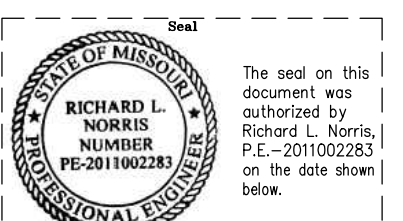
SHEET :

E2.02

MEP DRAWINGS ARE DIAGRAMMATIC
AND SHALL NOT BE USED FOR SCALING

01 PHOTOMETRIC PLAN

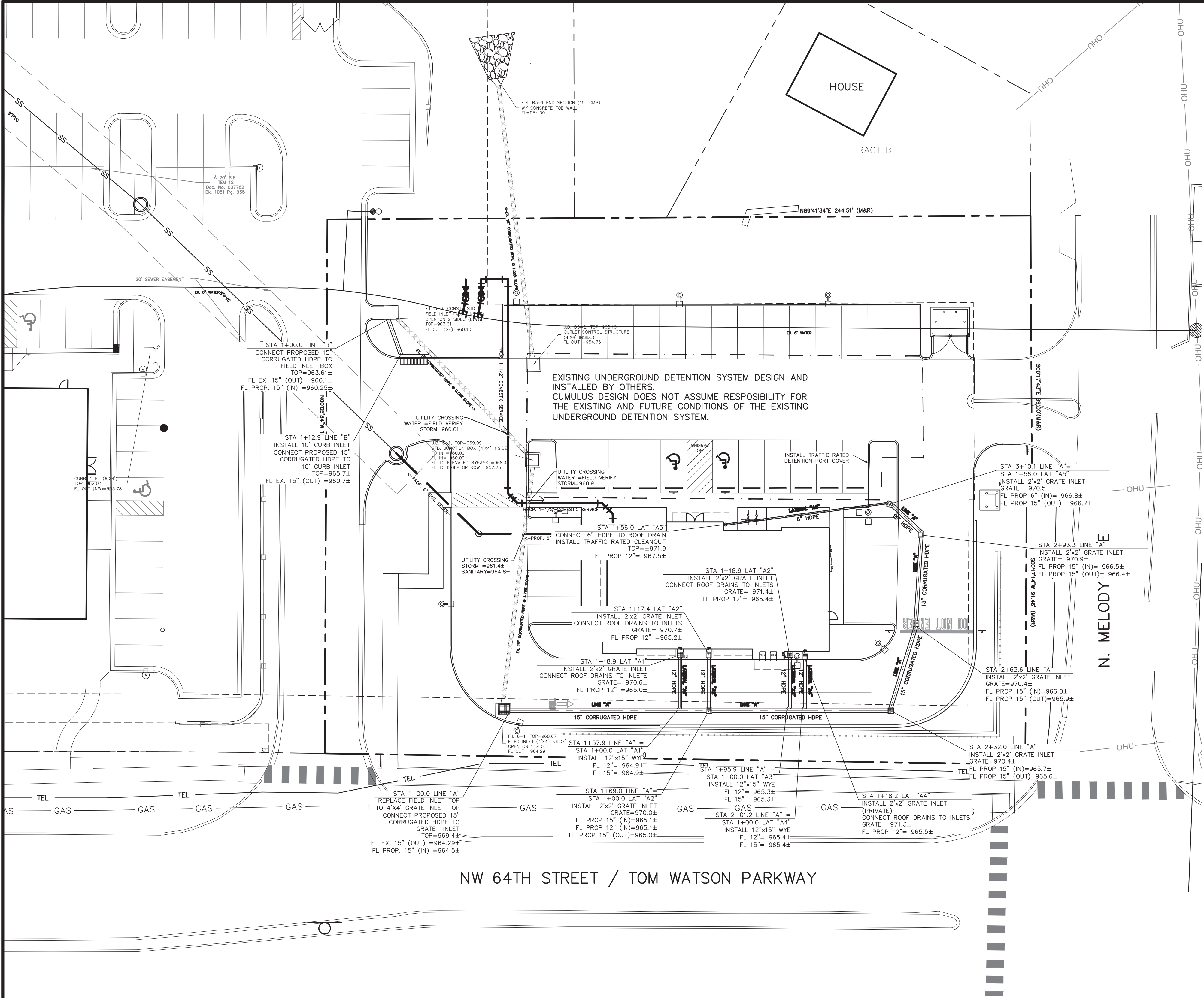
SCALE: 1/8"=1'-0"



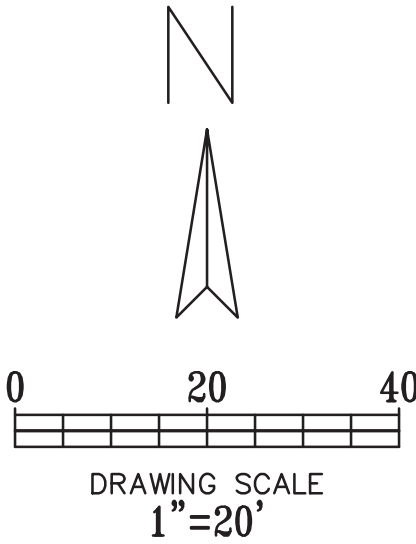
Richard L. Norris
September 15, 2023
Project # 2160

R Squared Consulting
Engineers, Inc.

Firm Registration: P-15033
1200 N. Main, Suite 200
St. Louis, MO 63103
Cell: 314-444-0077, Office: 314-544-6114
rsl@rsquared-engineers.com
© copyright 2023



- LEGEND:**
- EXISTING CURB
 - PROPOSED CURB
 - PROPOSED STORM PIPE
 - EXISTING STORM PIPE
 - PROPOSED WASTEWATER PIPE
 - EXISTING WASTEWATER PIPE
 - PROPOSED WATER PIPE



GENERAL NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS EXCEPT AS NOTED HEREIN OR APPROVED BY THE CITY.
2. ALL STORM SEWER PIPE 15" AND SMALLER SHALL BE SDR-35 PVC, ADS N-12 DRAINAGE PIPE OR APPROVED EQUAL. ALL STORM SEWER PIPE 18" AND LARGER SHALL BE IN CLASS III RCP OR AS INDICATED ON THE PLAN.
3. ALL DRAINAGE STRUCTURES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
4. ALL PRECAST BOX CULVERTS, DRAINAGE STRUCTURES AND RCP WILL REQUIRE A CERTIFICATION FROM THE MANUFACTURER THAT THE PRODUCT MEETS THE DESIGN REQUIREMENTS AND 28 DAY COMPRESSIVE STRENGTH.
5. CONTRACTOR SHALL HAVE A TRENCH SAFETY PLAN AND A TRAFFIC CONTROL PLAN (IF REQUIRED) AT THE TIME OF PRE-CONSTRUCTION MEETING.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION.
7. CONSTRUCTION SHALL BEGIN AT DOWNSTREAM END OF PROJECT AND CONTINUE UPSTREAM WITH PIPE GROOVES FACING UPSTREAM.
8. CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
9. THE LOCATION OF ALL UTILITIES INDICATED ON THESE PLANS ARE TAKING FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
10. SEE WATER AND SANITARY SEWER PLAN FOR ADDITIONAL INFORMATION RELATED TO OTHER UTILITY CONSTRUCTION.
11. ALL TRENCH BACKFILL FOR PUBLIC STORM SEWER SHALL BE COMPACTED AS REQUIRED BY THE CITY.
12. REFERENCE LANDSCAPE AND ARCHITECTURAL PLANS FOR ADDITIONAL STORM DRAINAGE INCLUDING GRATES, AREA

NW 64TH STREET / TOM WATSON PARKWAY

**!!! CAUTION !!!
UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION, ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: MO ONE CALL. 1-800-DIG-RITE (344-7483) AT LEAST 72 HRS PRIOR TO CONSTRUCTION.



Cumulus Design
Firm # 801675898
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

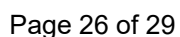


11/2/23

STORM PLAN
CHASE BANK – 6408 NW MELODY LN
PARKVILLE, MO 64152
PLATTE COUNTY

CHASE

PLOT DATE
11/02/23
DRAWING SCALE
1" = 20'
PROJECT NUMBER
CDC23019
SHEET NUMBER
C9.01



February 20, 2020

City of Parkville, Missouri
Alysen Abel
8880 Clark Avenue
Parkville, MO 64152



Dear Ms. Abel:

This letter is being sent to the city in accordance with the inspection requirement as outlined in the inspection manual for detention basin – IBC section 1704.13. The basins that serve the Apex Plaza development have been constructed and reviewed for compliance to the design plans as outlined in the permit drawings. Upon inspection, it has been determined that the basins were constructed in substantial compliance with the approved drawings.

If you have any further questions or comments, please let us know.

Sincerely,


Nicholas D. Heiser, PE
Olsson Project Engineer

1301 Burlington Street / Suite 100 / North Kansas City, MO 64116
O 816.361.1177 / olsson.com

EXISTING UNDERGROUND DETENTION SYSTEM DESIGN AND
INSTALLED BY OTHERS.
CUMULUS DESIGN DOES NOT ASSUME RESPOSIBILITY FOR
THE EXISTING AND FUTURE CONDITIONS OF THE EXISTING
UNDERGROUND DETENTION SYSTEM.

Cumulus Design
Firm # 801675898
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



11/2/23

ADS DETENTION DETAILS
CHASE BANK – 6408 NW MELODY LN
PARKVILLE, MO 64152
PLATTE COUNTY



PLOT DATE
11/02/23
DRAWING SCALE
1" = 20'
PROJECT NUMBER
CDC23019
SHEET NUMBER
C16.03



November 2, 2023

**City of Parkville
Planning Department**
8880 Clark Avenue
Parkville, MO 64152
Phone: (816)741-7676

Re: Application for Preliminary Development Plan
Proposed Chase Bank, 6408 NW Melody Lane

To Whom It May Concern,

Thank you for your help and time with our proposed project. We would like to request your review and approval of the included Preliminary Development Plan. We feel that it meets the requirement laid out for this development. Specifically we feel that it meets the following requirements.

1. How the plan represents an improvement over what could have been accomplished through strict application of otherwise applicable base zoning district standards, based on the goals of the Master Plan, and based upon generally accepted planning and design practice.

This proposed development is already part of an existing master development. We feel that its design will follow the existing guidelines that have been establish for the development. This project will achieve LEED certification, which will help promote the sustainability and environmental goals outlined in focus area 2 of the City's Master Plan.

2. How the benefits from any flexibility in the standards proposed in the plan promote the general public health, safety and welfare of the community, in particular areas immediately near or within the proposed project, and not strictly to benefit the applicant or single project.

The benefits from the flexibility in the standards provides the proposed development the ability to match the existing portion of the overall development. This development promotes the general health, safety and welfare of the community by providing a safe and efficient access from Melody Lane to the remainder of the overall development. This development will provide an easily accessible financial institution for the surrounding residents, reducing the distances they must travel for services.

3. How the benefits from any flexibility in the standards proposed in the plan allow the project to better meet or exceed the intent statements of the base zoning district(s) and the standards proposed to be modified when applied to the specific project or site.

The benefits from the flexibility in the standards allows the proposed development be consistent with the remainder of the existing overall development as well as to provide additional landscaping and other on-site improvements.

4. How the plan reflects generally accepted and sound planning and urban design principles with respect to applying the Master Plan and any specific plans to the area.

The proposed development plan reflects and continues the overall planning that was provided as part of the overall existing development of which it is a part.

5. How the plan meets all of the review criteria for a zoning map amendment.

The proposed development plan is laid out to meet the requirements as provided in the overall development of which it is a part.

Thank you again for your help and time. Should you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

Carlos Iglesias